Franklin County Planning & Zoning Agenda

July 09, 2019 at 6:30 P.M.

Franklin County Courthouse Annex PLEASE NOTE: PLANNING AND ZONING COMMISSION MAKES RECOMMENDATIONS TO THE FRANKLIN COUNTY BOARD OF COMMISSIONERS REGARDING YOUR APPLICATION. ALL APPLICANT'S ARE NOTIFIED THAT IF YOUR APPLICATION IS DENIED, IT MAY NOT BE RESUBMITTED FOR ONE YEAR. ALSO, ANY PERSON WISHING TO APPEAL THE RECOMMENDATION OF THE PLANNING AND ZONING COMMISSION OR THE DECISION OF THE FRANKLIN COUNTY BOARD OF COUNTY COMMISSIONER BOARD ARE RESPONSIBLE TO ENSURE THAT A VERBATIM TRANSCRIPT OF THE PRCEEDINGS IS MADE.

1. Approval of the minutes of the meeting held, Tuesday, May 14, 2019 as mailed.
2. Review of the Monthly Building Report for June, 2019.

Critical Shoreline Application:

3. Consideration of a request to construct a Single Family Dock located Unit 1, Block U, Lot 5, also known as 2308 Highway 98 East, Carrabelle, Franklin County Florida. The proposed access walkway for the dock will be 197ft x 4 ft, with a 6ft x 20ft terminus, and one 12ft x 20ft boatlift. Approval will be contingent upon DEP and COE permitting. Request submitted by Garlick Environmental Associates, Inc agent for Orion Weddington, applicant. (Has House)

4. Consideration of a request to repair a Single Family dock located at Tract 3, Yancey Tracts, also known as 2602 Highway 98 East, Carrabelle, Franklin County Florida. The proposed project consists of repair to the existing 159ft access walkway, and construct a 154ft extension, as well as add a 8ft x 20ft terminus, and a 10ft x 20ft boatlift. Including the 636 sq ft of the existing walkway and the 616 sq ft of the proposed walkway, and the 160 sq ft terminus, the project total 1412 sq ft. Approval Contingent upon received DEP and COE permitting. Request submitted by Garlick Environmental Associates. Inc agent for Bobbie Whiddon. (Has House)

5. Consideration of a request to construct a Single Family Dock located at Lot 4, Block 2, Unit 1, also known as 612 Mariner's Circle, Alligator Point, Franklin County, Florida. The proposed access walkway is 100ft x 4ft, with a 10ft x 16ft terminus, a 13ft x 20ft covered boat lift, and two additional pilings within Alligator Harbor Preserve. Customer has DEP permit and is exempt from COE permitting. Request submitted by Daniel Oligmueller, applicant. (Has House)

Re-Zoning, Commercial Site Plan Review, & Sketch Plats:

6. Consideration of a request to Re-Zone a 22.77 acre parcel from R1 to R1-A. Located at 2153 Highway 98, Carrabelle, Franklin County, Florida. Request submitted by Garlick Environmental Associates, Inc agent for William Simmons.

7. Consideration of a request for a Sketch Plat approval of a 22.77 acre parcel. The proposed new plat for the 22.77 acre parcel Shell Bay Subdivision, proposes 36 parcels, including 2 lots and as Common Area south of Highway 98. Lying in Section 35, Township 7 South, and Range 5 West located in Carrabelle, Franklin County, Florida. Request submitted by Garlick Environmental Associates, Inc. Agent for William Simmons.

8. Consideration of a request to rezone a .29 acre parcel from C1- Commercial Fishing to C3- Commercial Recreation. Parcel is located at 332 Patton Drive, St. George Island, Franklin County, Florida. Request submitted by Susan Reeder, owner.

9. Consideration of a request to have a 4 lot RV/Cottage recreation on the property located at 332 Patton Drive, Eastpoint, Franklin County, Florida. Request submitted by Susan Reeder, owner.

10. Consideration of a request to construct a 6,225 sq. ft. commercial space containing a Restaurant, Coffee Shop, and Retail Space. Lying in Section 29, Township 9 South, Range 6 West, also known as 243 Gulf Beach Drive, St George Island, Franklin County, Florida. Request submitted by Stephen Hull, agent for Hull House on SGI, LLC.

Zoning Administrators Report:

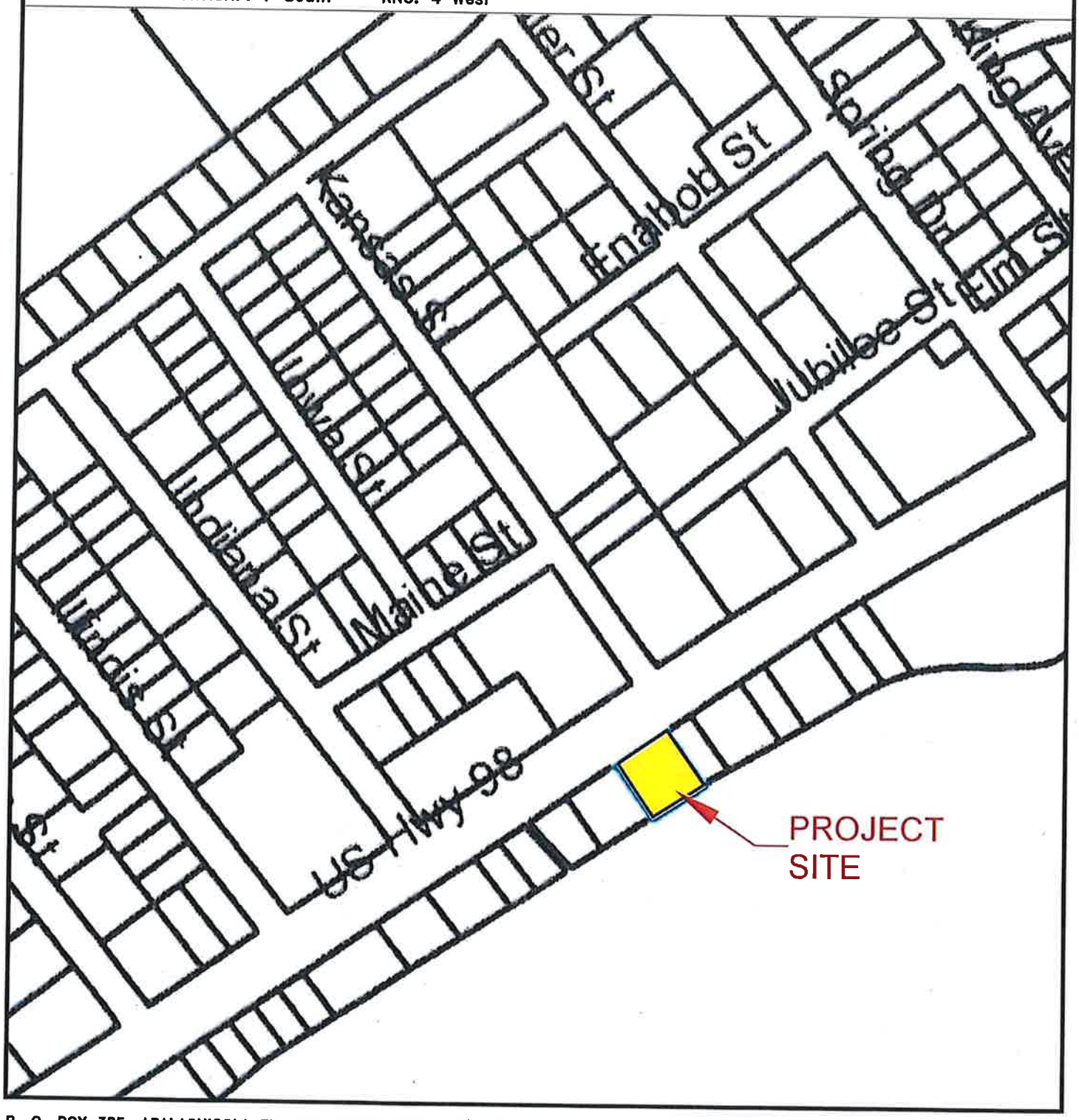
A) Dock lighting: I have created an affidavit gathered from the Dock Ordinance and will be making that available to the Marine Contractor's Agents and Owner/Builders applicants to sign stating that they are aware of what will be required to make the Dock/Pier compliant with the Dock Ordinance.

ITEM #3 WEDDINGTON

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

APPLICANT/CLIENT: ORION WEDDINGTON
WATERBODY/CLASS: ST GEORGE SOUND / CLASS II / OFW / not AP
PURPOSE: Development Feasibility Assessment
PROJECT LOCATION / USGS: FRANKLIN COUNTY
LATITUDE: 29° 52' 44.18"
LONGITUDE: 84° 35' 54.81"
SECTION: 14 TWNSHP: 7 South RNG: 4 West

JOB: 19-060
DEP:
COE:
OTHER:
DATE: May 21, 2019
SHEET: 1/4

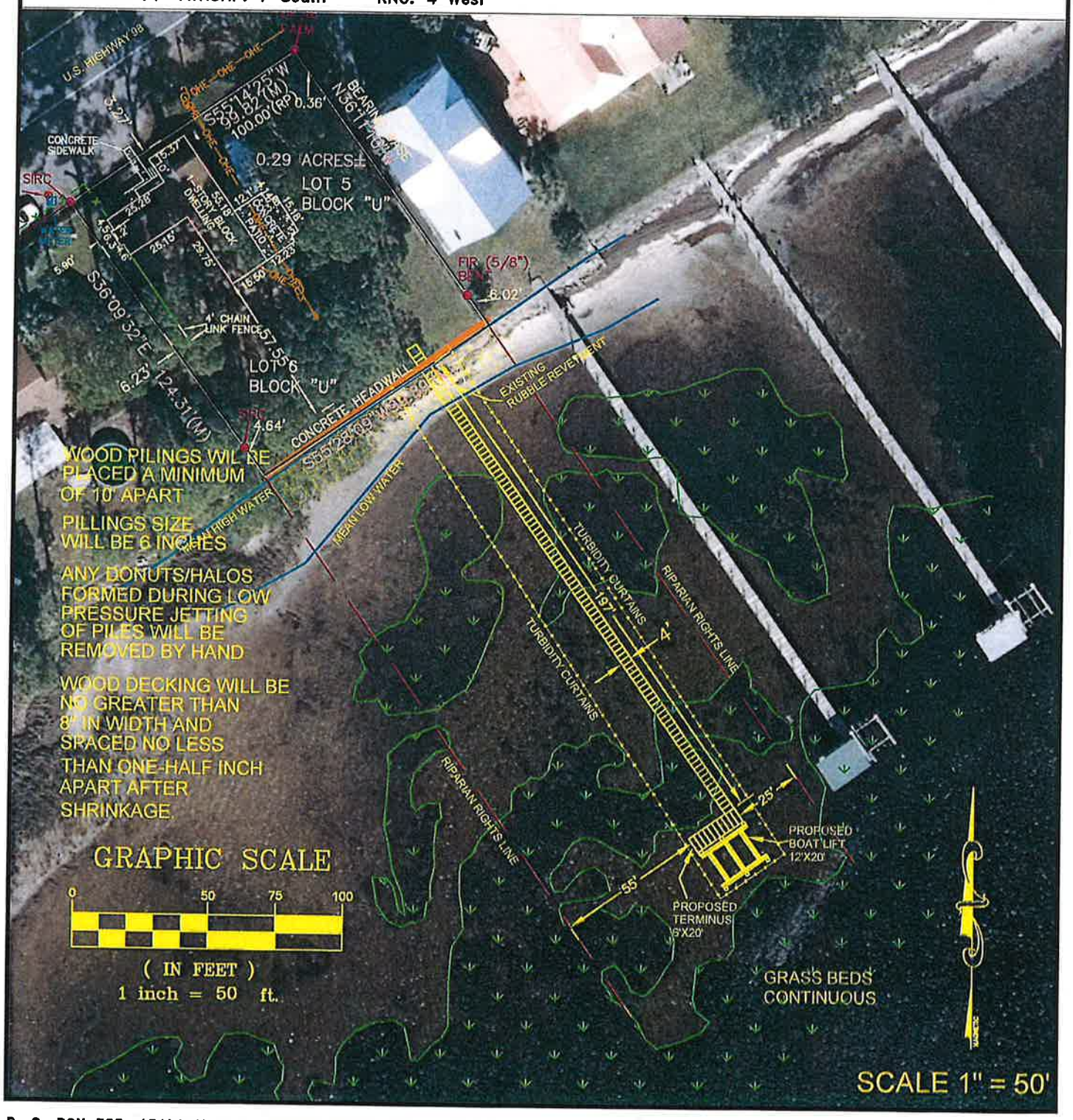


P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385 (850) 653-8899 FAX (850) 653-9656 garlick@garlickenv.com

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

APPLICANT/CLIENT: ORION WEDDINGTON
WATERBODY/CLASS: ST GEORGE SOUND / CLASS II / OFW / not AP
PURPOSE: Development Feasibility Assessment
PROJECT LOCATION / USGS: FRANKLIN COUNTY
LATITUDE: 29° 52' 44.18"
LONGITUDE: 84° 35' 54.81"
SECTION: 14 TWNSHP: 7 South RNG: 4 West

JOB: 19-060
DEP:
COE:
OTHER:
DATE: May 21, 2019
SHEET: 2/4

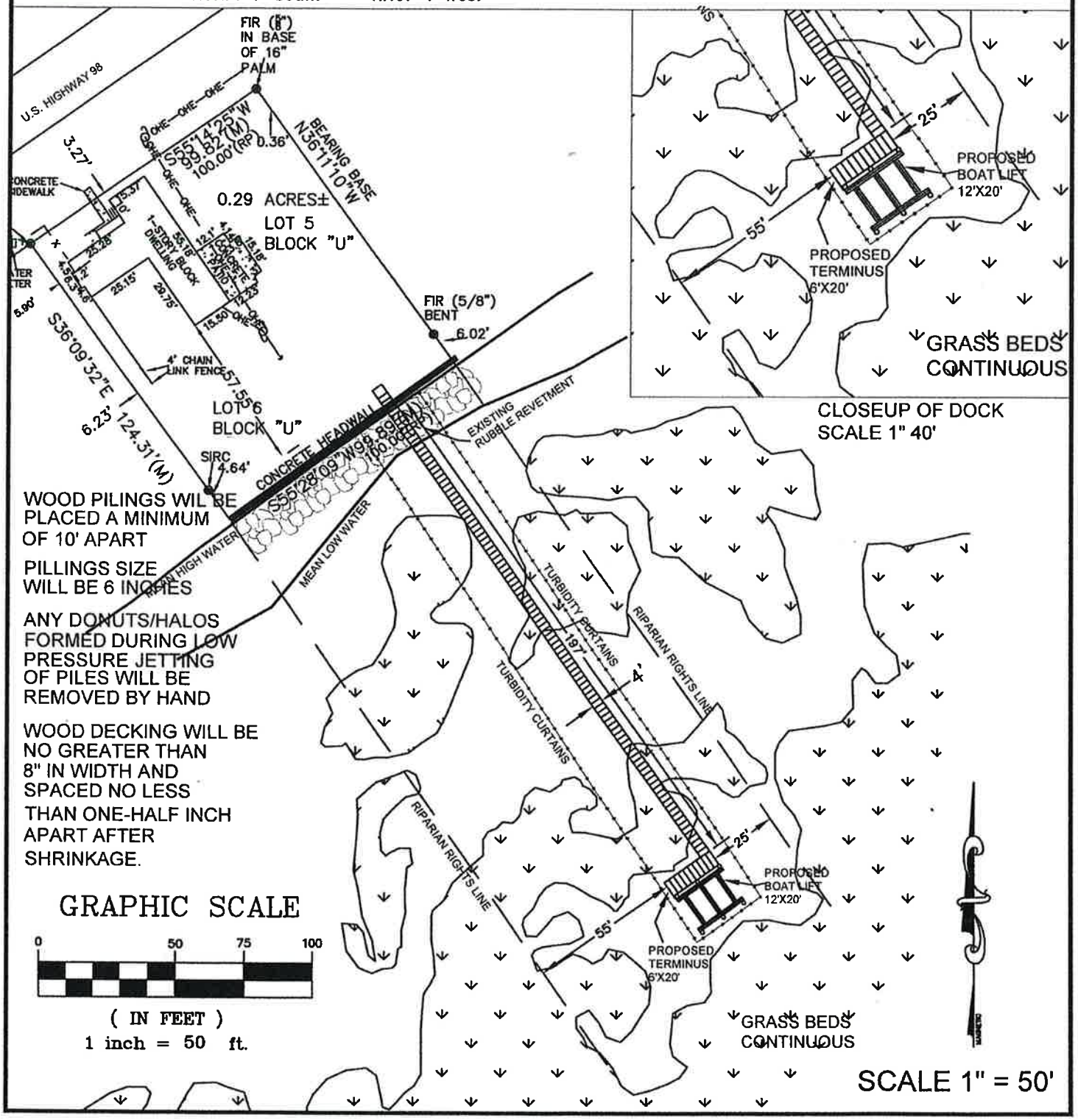


P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385 (850) 653-8899 FAX (850) 653-9656 garlick@garlickenv.com

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

APPLICANT/CLIENT: ORION WEDDINGTON
WATERBODY/CLASS: ST GEORGE SOUND / CLASS II / OFW / not AP
PURPOSE: Development Feasibility Assessment
PROJECT LOCATION / USGS: FRANKLIN COUNTY
LATITUDE: 29° 52' 44.18"
LONGITUDE: 84° 35' 54.81"
SECTION: 14 TWNSHP: 7 South RNG: 4 West

JOB: 19-060
DEP:
COE:
OTHER:
DATE: May 21, 2019
SHEET: 3/4



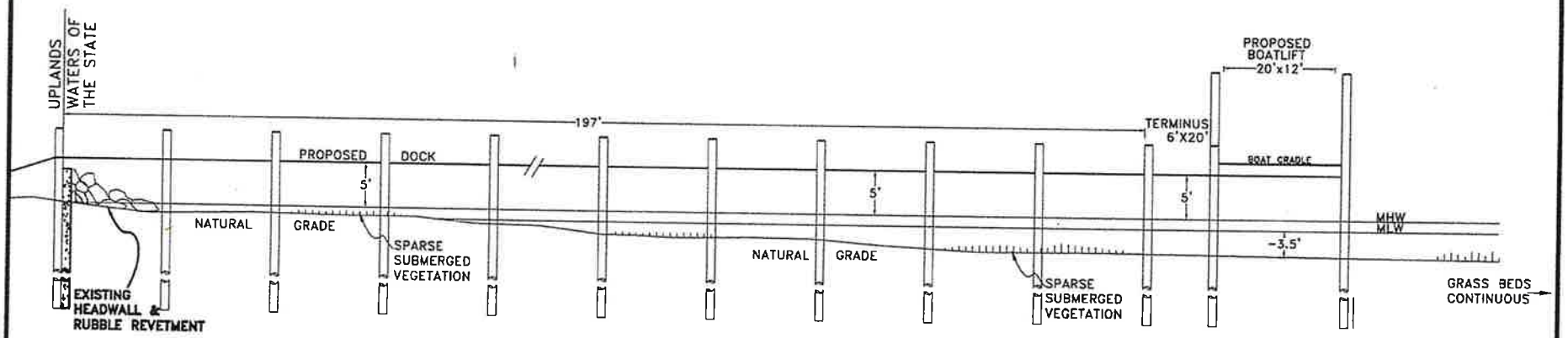
P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385 (850) 653-8899 FAX (850) 653-9656 garlick@garlickenv.com

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.
P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385 (850) 653-8899 FAX (850) 653-9656 garlick@garlickenv.com
LB No. 7415

APPLICANT/CLIENT: ORION WEDDINGTON
WATERBODY/CLASS: ST GEORGE SOUND / CLASS II / OFW/NOT AP
PURPOSE: SINGLE FAMILY RESIDENTIAL DOCK
PROJECT LOCATION / USGS: LANARK / FRANKLIN COUNTY
LATITUDE: 29° 52' 44.18"
LONGITUDE: 84° 35' 54.81"
SECTION: 14 TWNSHP: 7 SOUTH RNG: 4 WEST

JOB: 19-060
DEP:
COE:
OTHER:
DATE: MAY 21, 2019
SHEET: 4/4

Cross Section
of Proposed Dock
Not To Scale



WOOD PILINGS WIL BE PLACED A MINIMUM OF 10' APART

PILLINGS SIZE WILL BE 6 INCHES

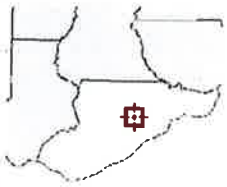
ANY DONUTS/HALOS FORMED DURING LOW PRESSURE JETTING OF PILES WILL BE REMOVED BY HAND

WOOD DECKING WILL BE NO GREATER THAN 6" IN WIDTH AND SPACED NO LESS THAN ONE-HALF INCH APART AFTER SHRINKAGE.

These drawings are for permitting purposes only. Not intended for construction purposes

qPublic.net™ Franklin County, FL

Overview



Legend

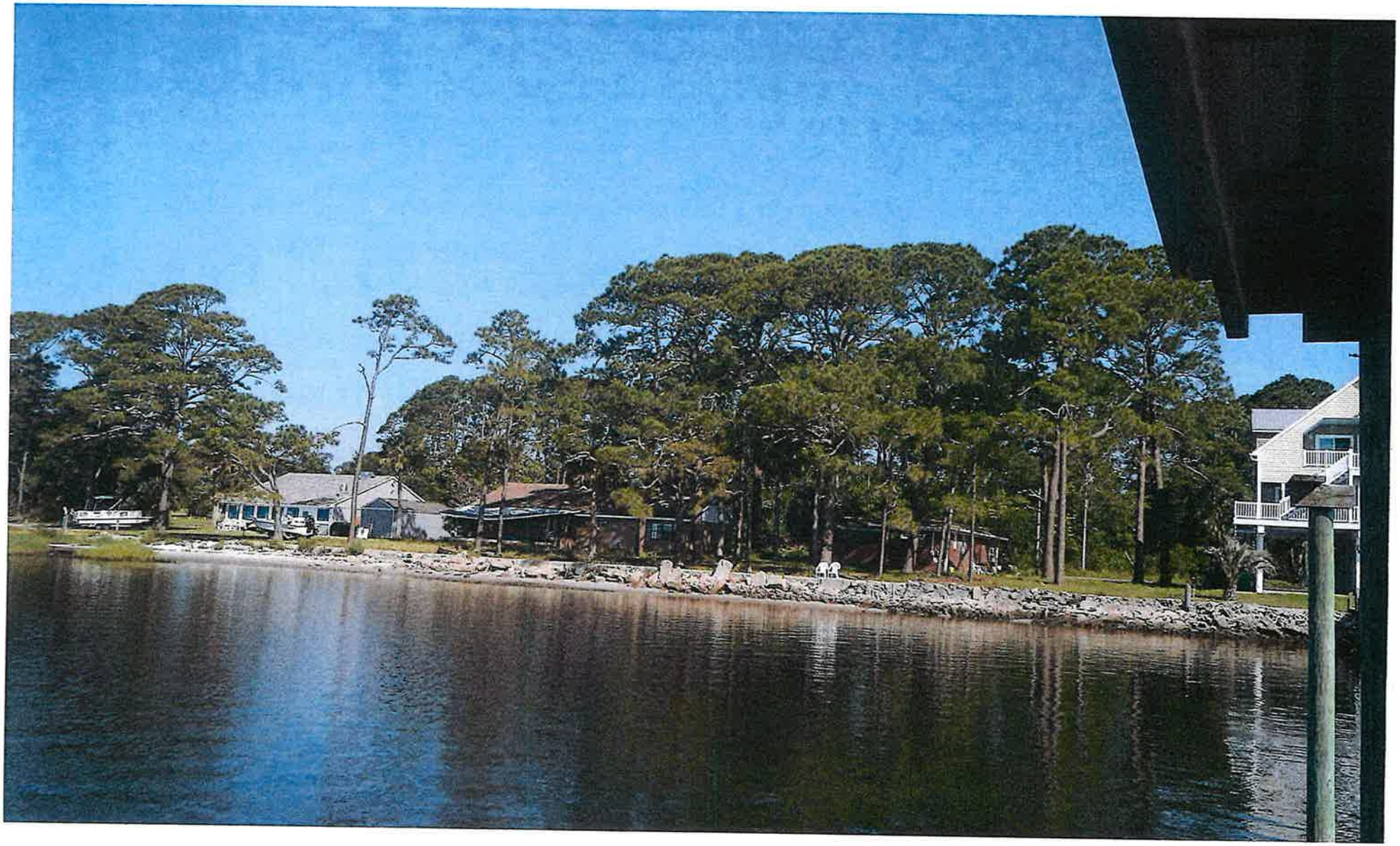
- Parcels
- Roads
- City Labels

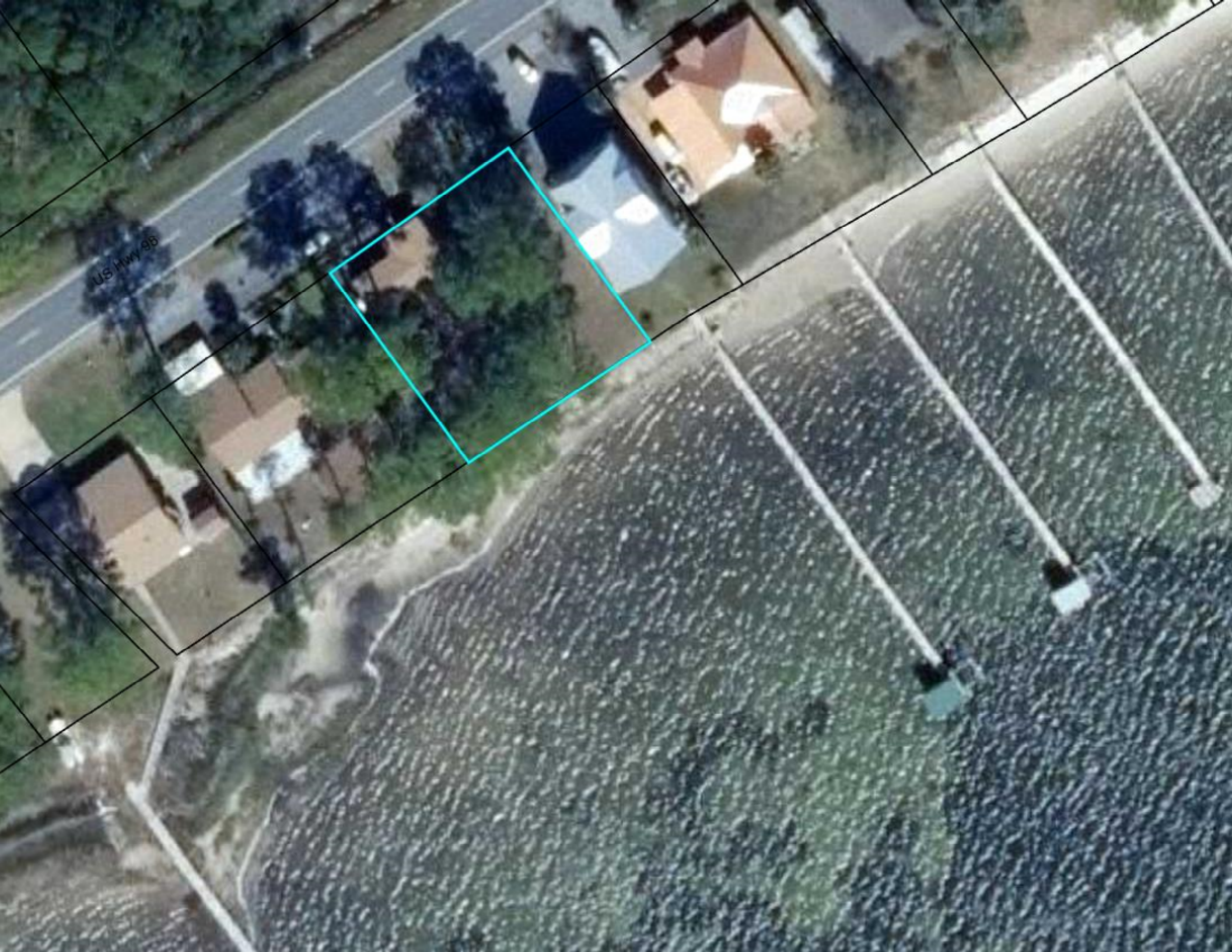
Parcel ID	14-07S-04W-3131-000U-0050	**Alternate ID**	04W07S143131000U0050	**Owner Address**	WEDDINGTON ORION
Sec/Twp/Rng	14-7S-4W	**Class**	SINGLE FAM		4256 WW KELLEY ROAD
Property Address	2308 HWY 98 E	**Acreage**	n/a		TALLAHASSEE, FL 32310
District	6				
Brief Tax Description	UNIT 1 BL U LOTS 5 6 1239/769				

(Note: Not to be used on legal documents)

Date created: 5/9/2019
Last Data Uploaded: 5/9/2019 7:05:34 AM

Developed by Schneider GEOSPATIAL



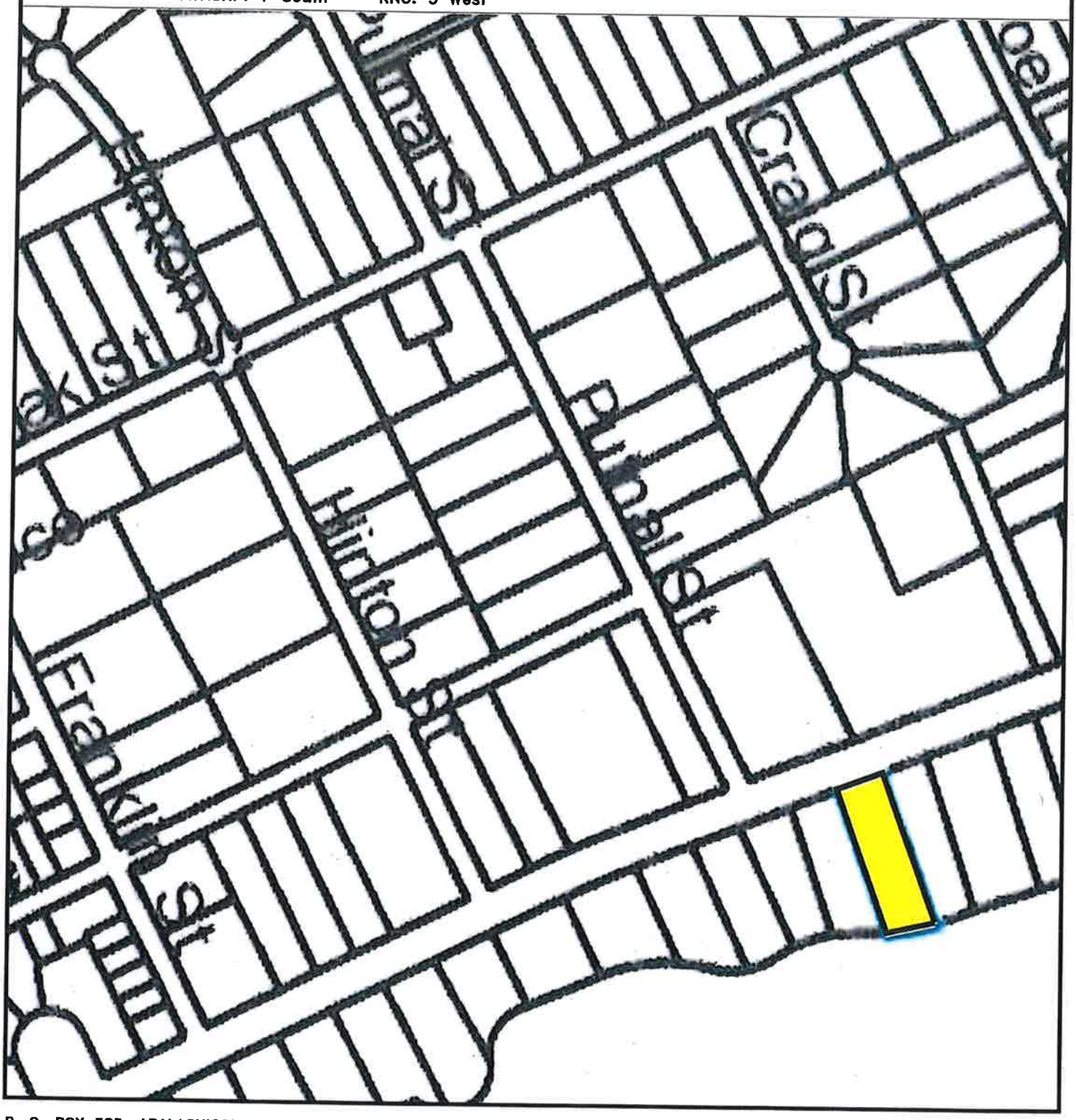

US Hwy 98

ITEM #4 WHIDDON

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

APPLICANT/CLIENT: Bobbie Whiddon
WATERBODY/CLASS: St George Sound / ClassII / OFW / not an AP
PURPOSE: Environmental Permitting
PROJECT LOCATION / USGS: Lanark Village – Franklin County
LATITUDE: 29° 53' 15.62"
LONGITUDE: 84° 34' 39.59"
SECTION: 7 TWNSHP: 7 South RNG: 3 West

JOB: 19-055
DEP:
COE:
OTHER:
DATE: May 9, 2019
SHEET: 1/4

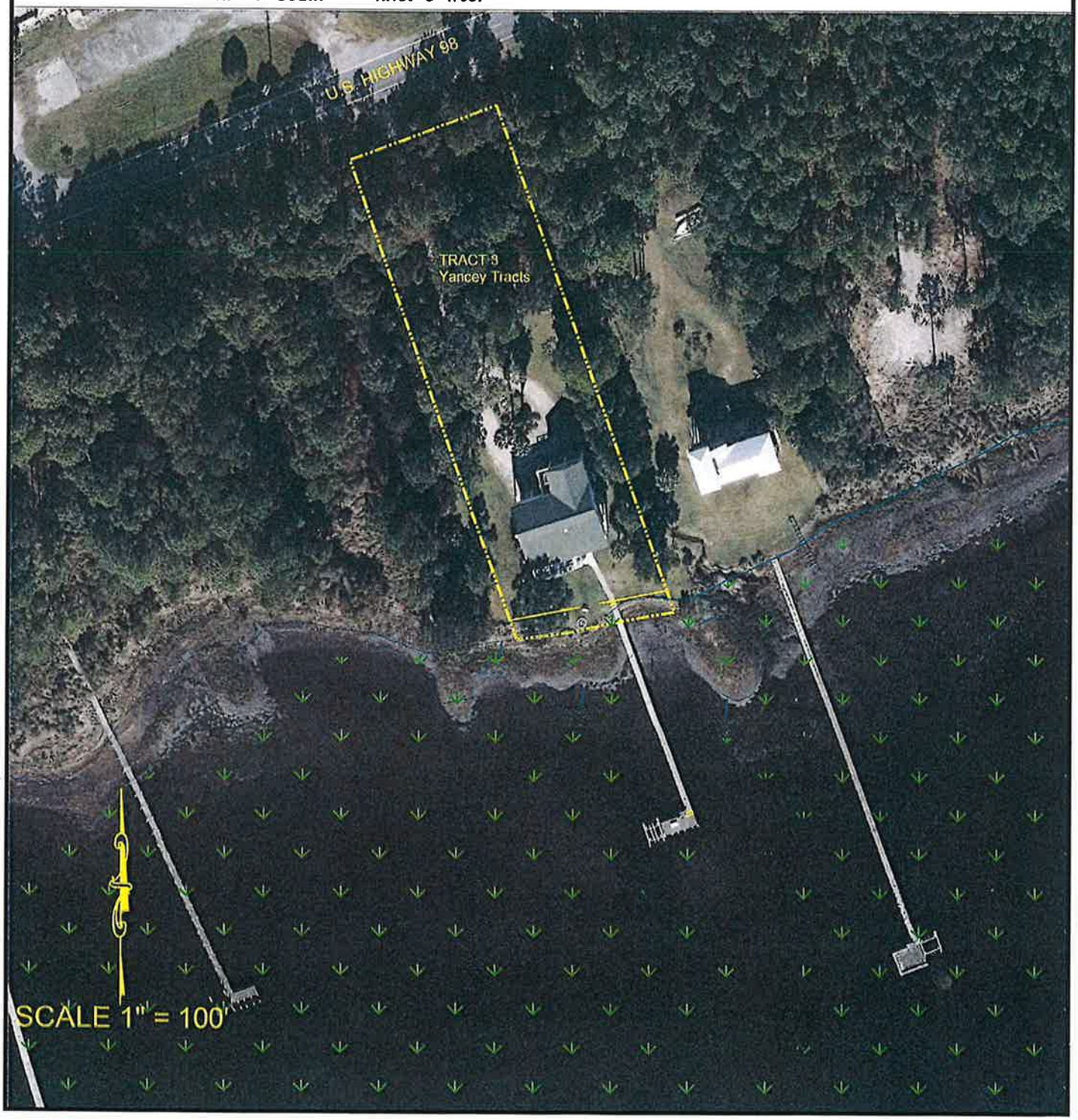


P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385 (850) 653-8899 FAX (850) 653-9656 garlick@garlickenv.com

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

APPLICANT/CLIENT: Bobbie Whiddon
WATERBODY/CLASS: St George Sound / ClassII / OFW / not an AP
PURPOSE: Environmental Permitting
PROJECT LOCATION / USGS: Lanark Village – Franklin County
LATITUDE: 29° 53' 15.62"
LONGITUDE: 84° 34' 39.59"
SECTION: 7 TWNSHP: 7 South RNG: 3 West

JOB: 19-055
DEP:
COE:
OTHER:
DATE: May 28, 2019
SHEET: 2/4

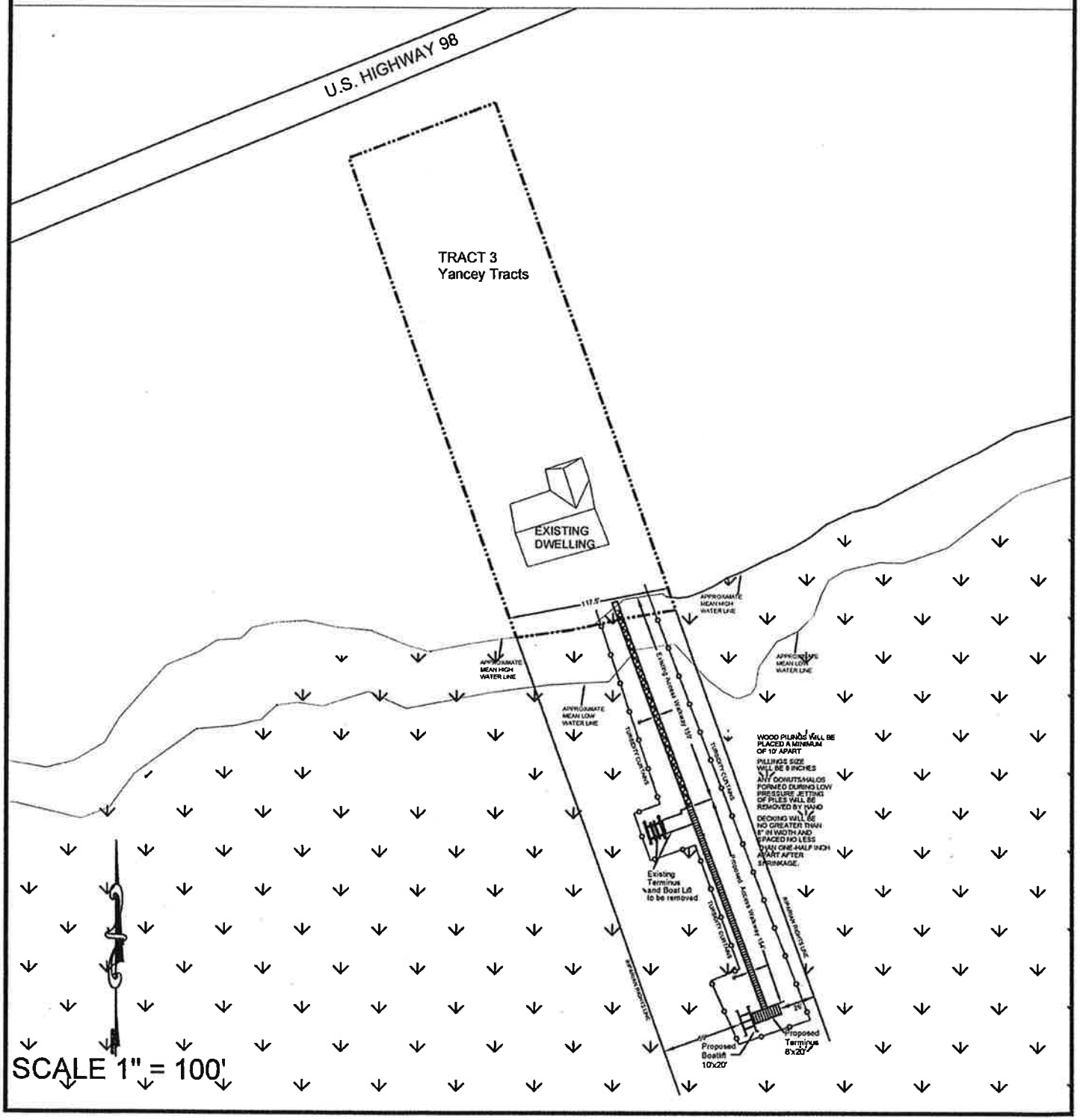


P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385 (850) 653-8899 FAX (850) 653-9656 garlick@garlickenv.com

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

APPLICANT/CLIENT: Bobbie Whiddon
WATERBODY/CLASS: St George Sound / ClassII / OFW / not an AP
PURPOSE: Environmental Permitting
PROJECT LOCATION / USGS: Lanark Village – Franklin County
LATITUDE: 29° 53' 15.62"
LONGITUDE: 84° 34' 39.59"
SECTION: 7 TWNSHP: 7 South RNG: 3 West

JOB: 19-055
DEP:
COE:
OTHER:
DATE: May 28, 2019
SHEET: 3/4

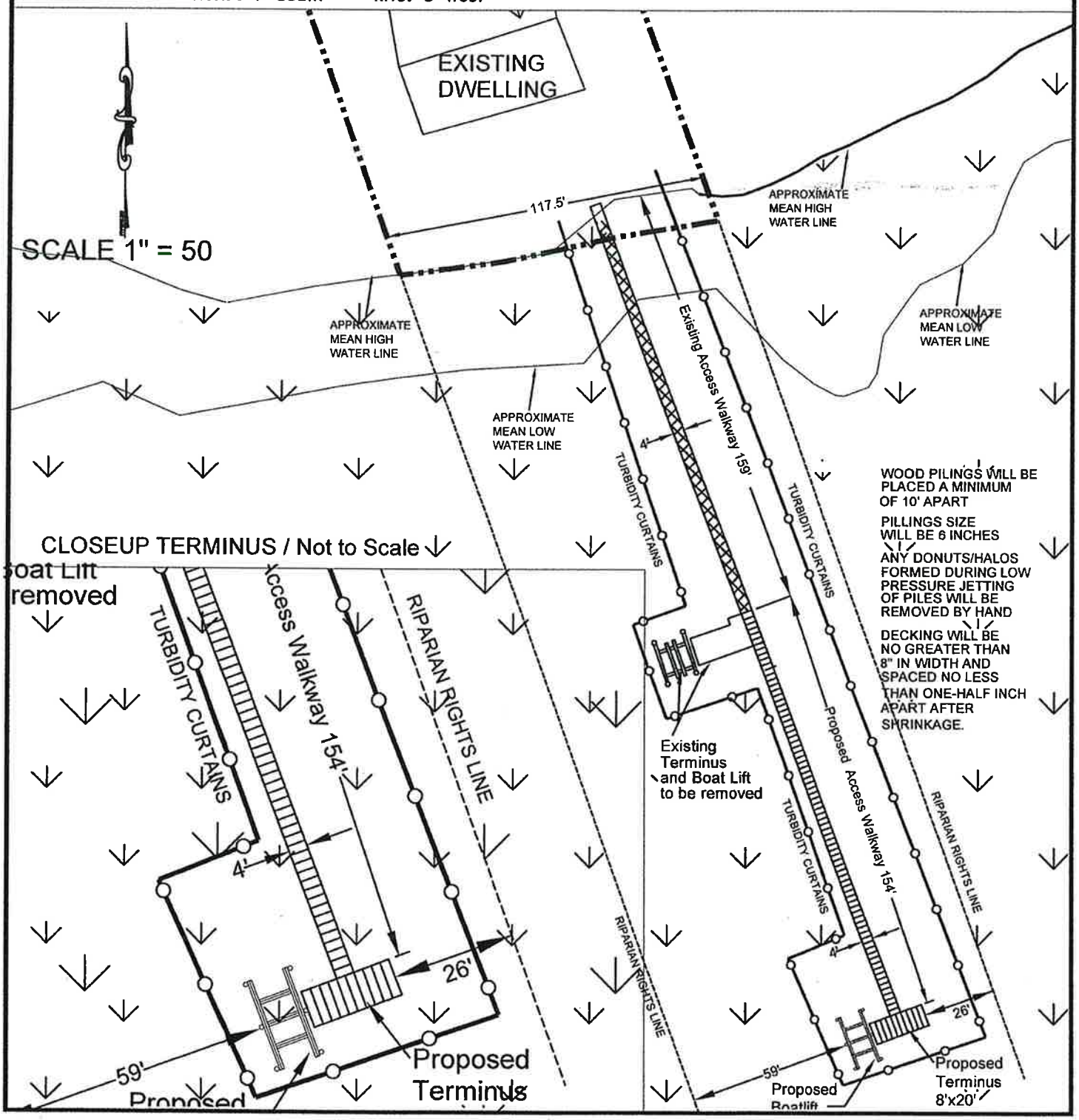


P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385 (850) 653-8899 FAX (850) 653-9656 garlick@garlickenv.com

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

APPLICANT/CLIENT: Bobbie Whiddon
WATERBODY/CLASS: St George Sound / ClassII / OFW / not an AP
PURPOSE: Environmental Permitting
PROJECT LOCATION / USGS: Lanark Village – Franklin County
LATITUDE: 29° 53' 15.62"
LONGITUDE: 84° 34' 39.59"
SECTION: 7 TWNSHP: 7 South RNG: 3 West

JOB: 19-055
DEP:
COE:
OTHER:
DATE: May 28, 2019
SHEET: 3a/4



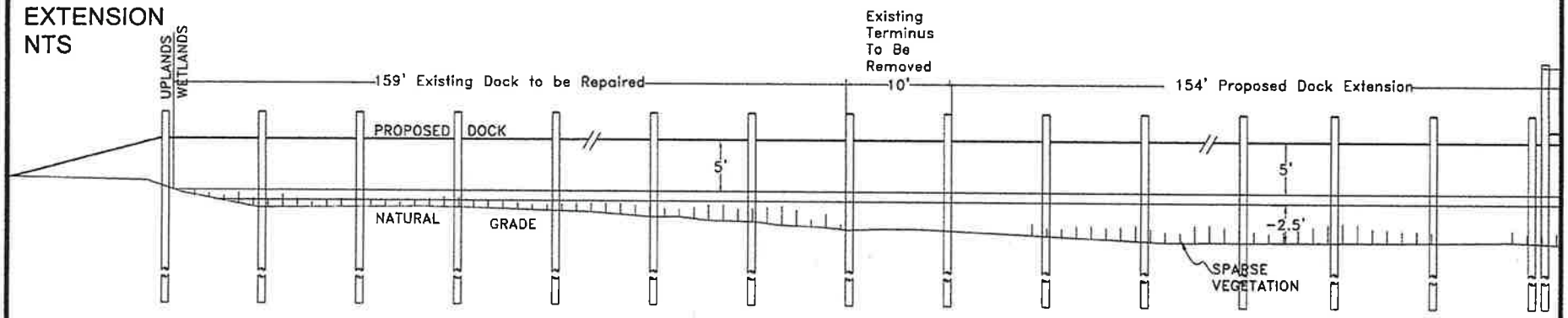
P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385 (850) 653-8899 FAX (850) 653-9656 garlick@garlickenv.com

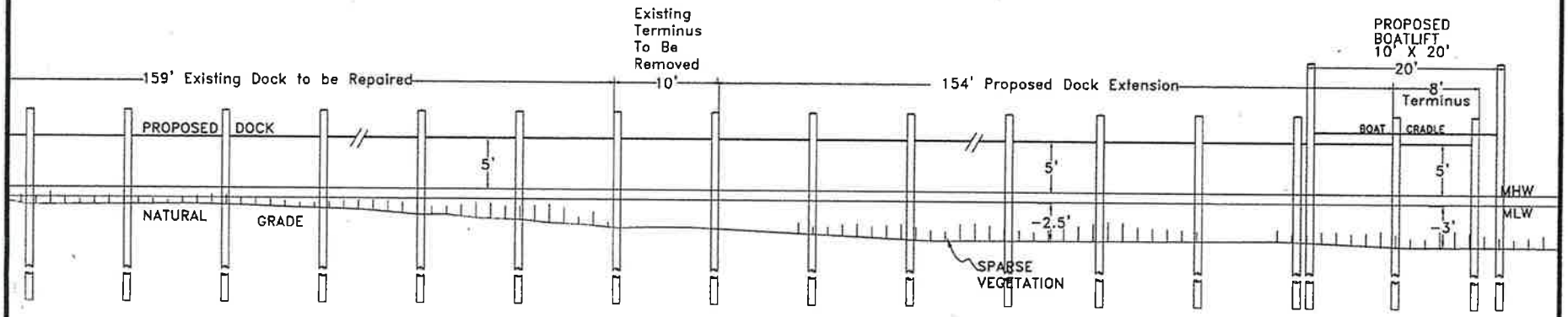
PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.
P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385 (850) 653-8899 FAX (850) 653-9656 garlick@garlickenv.com
LB No. 7415

APPLICANT/CLIENT: Bobbie Whiddon
WATERBODY/CLASS: St George Sound / ClassII / OFW / Not an AP
PURPOSE: Extension of an Existing Dock
PROJECT LOCATION / USGS: Lanark - Franklin County
LATITUDE: 29° 53' 15.62"
LONGITUDE: 84° 34' 39.59"
SECTION: 7 TWNSHP: 7 South RNG: 3 West

JOB: 19-055
DEP:
COE:
OTHER:
DATE: May 28, 2019
SHEET: 4/4

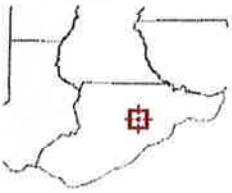
CROSS SECTION
OF PROPOSED DOCK
EXTENSION
NTS





qPublic.net™ Franklin County, FL

Overview



Legend

- Parcels
- Roads
- City Labels

Parcel ID	07-07S-03W-0000-0040-0130	**Alternate ID**	03W07S07000000400130	**Owner Address**	WHIDDON WILLIAM DAVID AND WHIDDON BOBBIE MICKLER 856 CARONDELET ST # 1 NEW ORLEANS, LA 70130
Sec/Twp/Rng	--	**Class**	SINGLE FAM		
Property Address	2606 US HWY 98 E	**Acreage**	n/a		

District 6

Brief Tax Description A PARCEL KNOWN AS TRACT 3

(Note: Not to be used on legal documents)

Date created: 5/7/2019
Last Data Uploaded: 5/7/2019 7:27:31 AM

Developed by Schneider GEOSPATIAL

ITEM #5 OLIGMUELLER

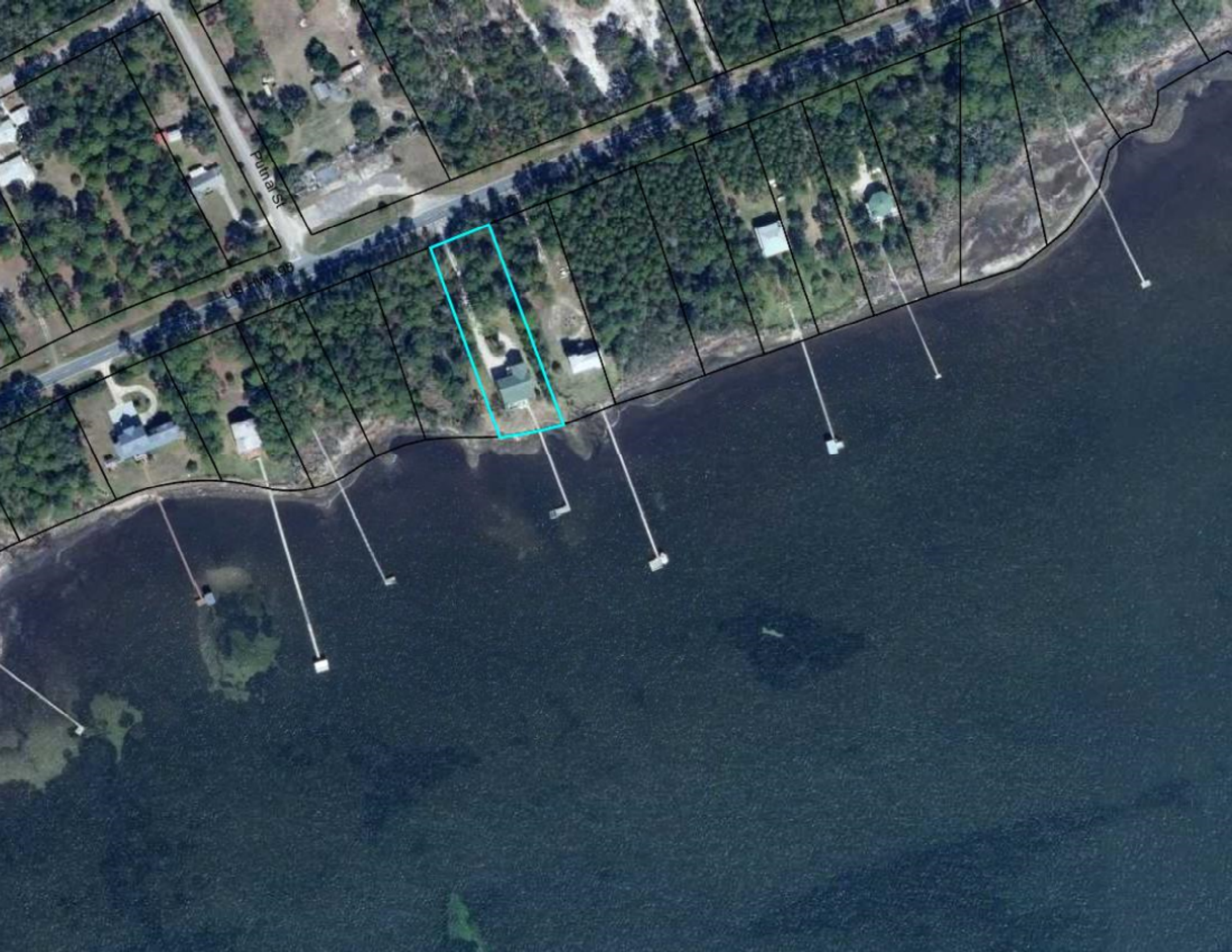
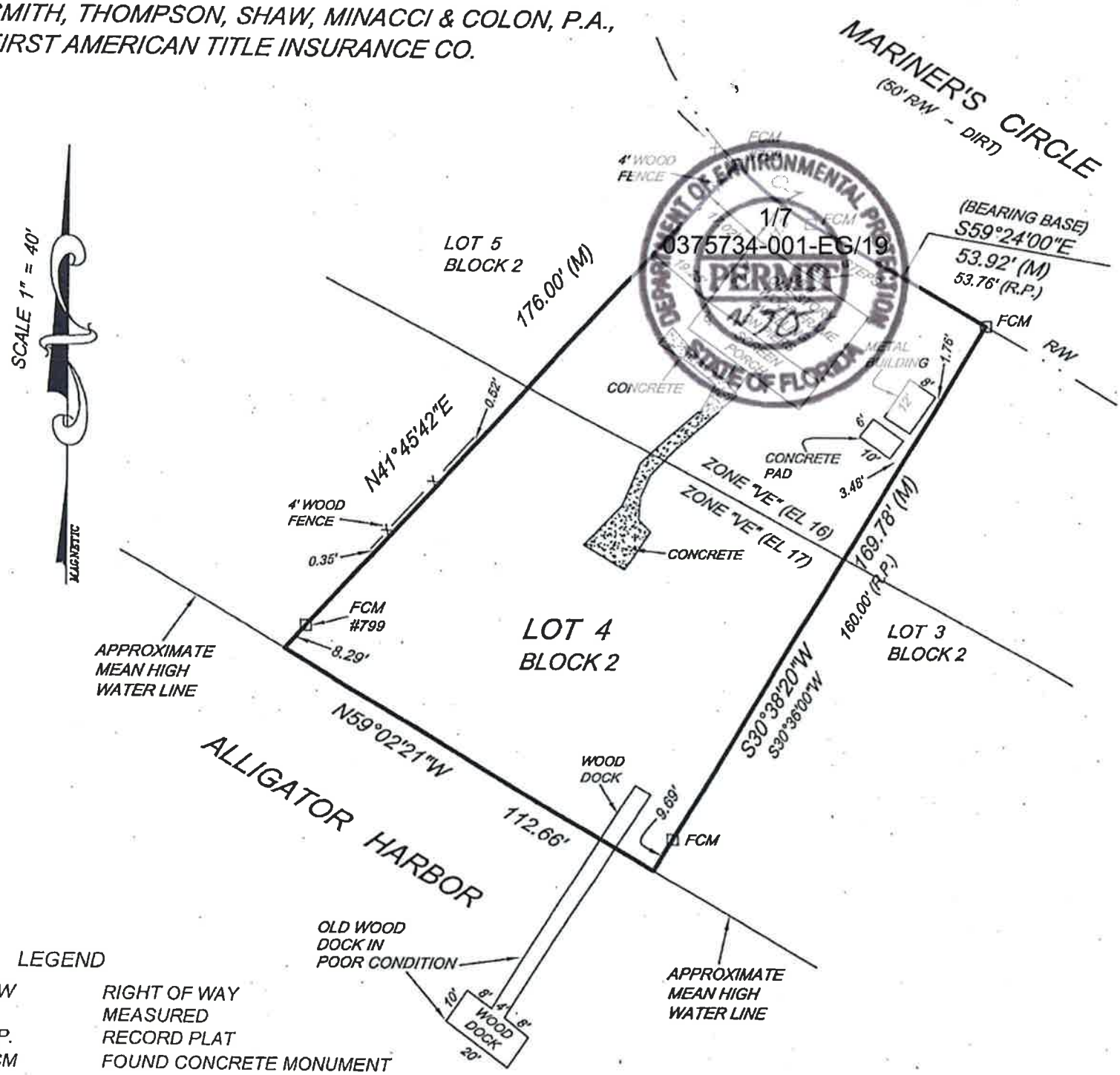

Putnam St
US Hwy 98

EXHIBIT A

PLAT OF BOUNDARY SURVEY CERTIFIED TO:
ELISE MCCABE,
SMITH, THOMPSON, SHAW, MINACCI & COLON, P.A.,
FIRST AMERICAN TITLE INSURANCE CO.



DEPARTMENT OF ENVIRONMENTAL PROTECTION
1/7
0375734-001-EG/19
PERMIT
STATE OF FLORIDA

LEGEND

R/W	RIGHT OF WAY
M	MEASURED
R.P.	RECORD PLAT
FCM	FOUND CONCRETE MONUMENT

C-1
Δ = 14°23'18"
R = 100.00'
L = 25.11'

LEGAL DESCRIPTION:
Lot 4, Block "2" of SUN N' SAND BEACHES, a subdivision as per map or plat thereof recorded in Plat Book 3, Page 20, of the Public Records of Franklin County, Florida.

Prepared By: Daniel J Oligmueller
(719) 337 - 1615 doligmueller@icloud.com

DATE: April 29, 2019 **SHEET: 1/5**

APPLICANTS: Walton Accom 22 LLC, Daniel Oligmueller
WATERBODY/CLASS: Alligator Harbor
PURPOSE: Environmental Permitting
PROJECT LOCATION / USGS: Alligator Point - Franklin Count
LATITUDE: 29 54' 44.76"
LONGITUDE: 84 22' 06.69"

DEPARTMENT OF ENVIRONMENTAL PROTECTION
2/7
0375734-001-EG/19
PERMIT
NJC
STATE OF FLORIDA

Parcel ID	32-06S-01W-1060-0002-0040	**Alternate ID**	01W06S32106000020040	**Owner Address**	WALTON ACCOMMODATIONS 22,LLC 12225 NORTHCLIFF RD ELBERT, CO 80106
Sec/Twp/Rng	32-6S-1W	**Class**	SINGLE FAM		
Property Address	612 MARINER CIR ALLIGATOR POINT	**Acreage**	0.348		
District	1				
Brief Tax Description	UNIT 1 BL 2 LOT 4 (Note: Not to be used on legal documents)				

Date created: 4/24/2019
Last Data Uploaded: 4/23/2019 10:52:57 PM

Developed by Schneider GEOSPATIAL

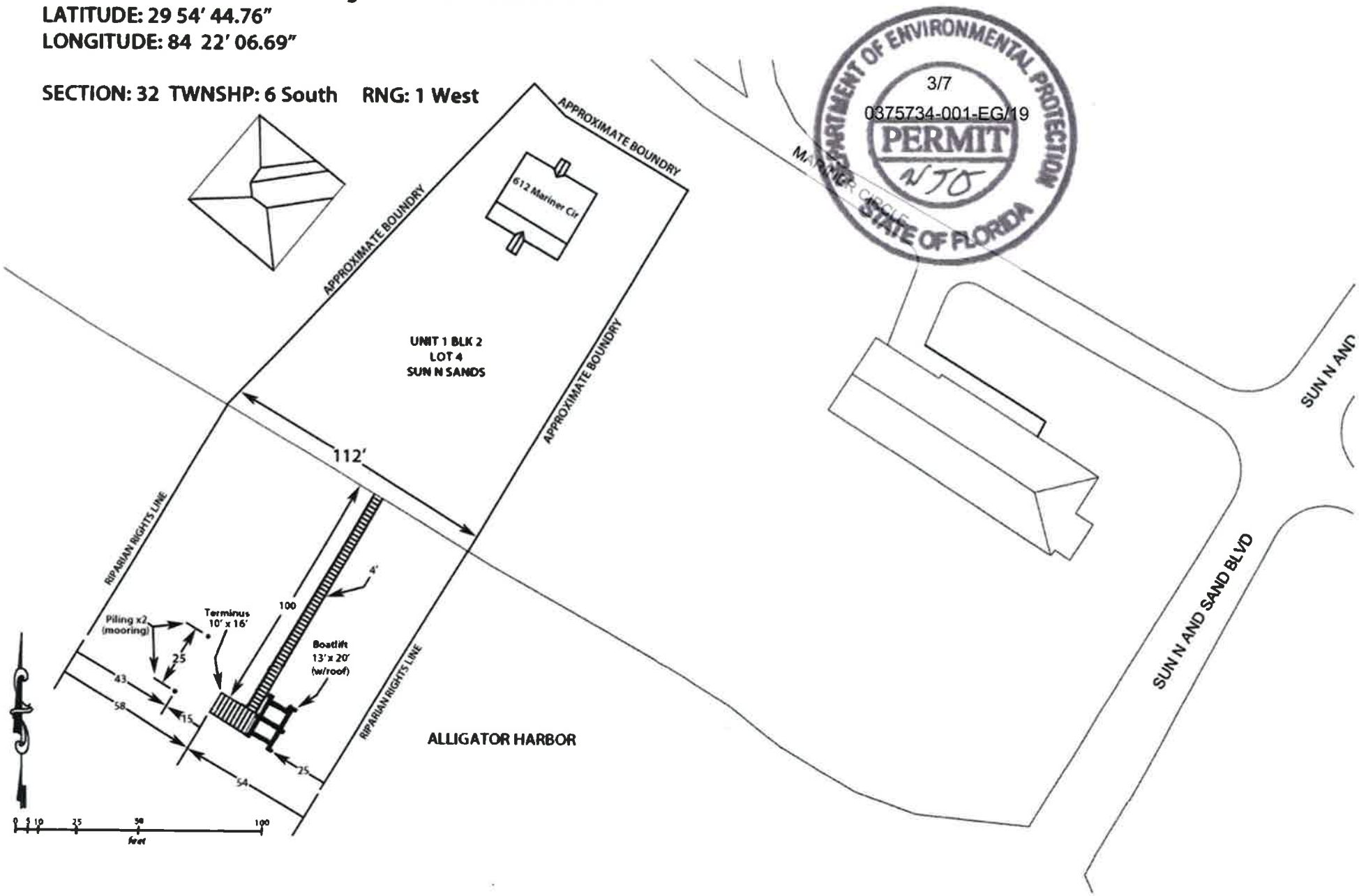
Prepared By: Daniel J Oligmueller
(719) 337 - 1615 doligmueller@icloud.com

DATE: April 29, 2019

SHEET: 2/5
Revision 2 May 2, 2019

APPLICANTS: Walton Accom 22 LLC, Daniel Oligmueller
WATERBODY/CLASS: Alligator Harbor
PURPOSE: Environmental Permitting
PROJECT LOCATION / USGS: Alligator Point - Franklin Count
LATITUDE: 29 54' 44.76"
LONGITUDE: 84 22' 06.69"

SECTION: 32 TWNSHP: 6 South RNG: 1 West



DEPARTMENT OF ENVIRONMENTAL PROTECTION
3/7
0375734-001-EG/19
PERMIT
NJO
STATE OF FLORIDA

Prepared By: Daniel J Oligmueller
(719) 337 - 1615 doligmueller@icloud.com

DATE: April 29, 2019 **SHEET: 4/5**
Revision 2 May 3, 2019

APPLICANTS: Walton Accom 22 LLC, Daniel Oligmueller
WATERBODY/CLASS: Alligator Harbor
PURPOSE: Environmental Permitting
PROJECT LOCATION / USGS: Alligator Point - Franklin Count
LATITUDE: 29 54' 44.76"
LONGITUDE: 84 22' 06.69"

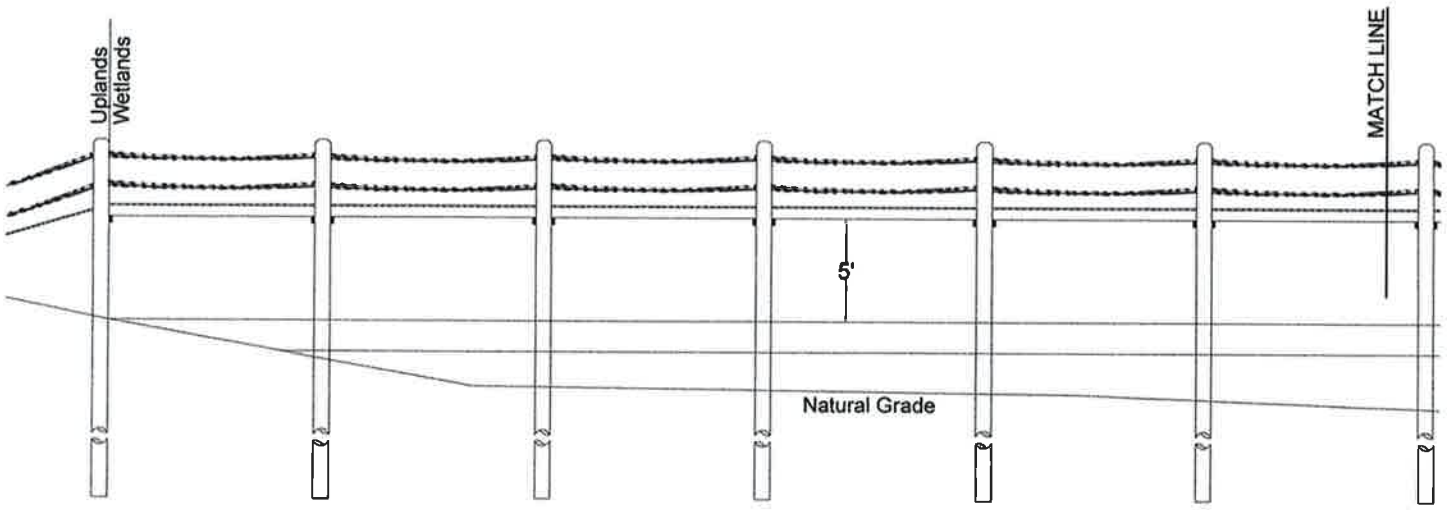
SECTION: 32 TWNSHP: 6 South RNG: 1 West

5/7
0375734-001-EG/19

DEPARTMENT OF ENVIRONMENTAL PROTECTION
PERMIT
NTS
STATE OF FLORIDA

100'

Cross Section
of Proposed Dock
Not to Scale



Prepared By: Daniel J Oligmueller
(719) 337 - 1615 doligmueller@icloud.com

DATE: April 29, 2019 **SHEET: 4/5**
Revision 2 May 3, 2019

APPLICANTS: Walton Accom 22 LLC, Daniel Oligmueller
WATERBODY/CLASS: Alligator Harbor
PURPOSE: Environmental Permitting
PROJECT LOCATION / USGS: Alligator Point - Franklin Count
LATITUDE: 29 54' 44.76"
LONGITUDE: 84 22' 06.69"

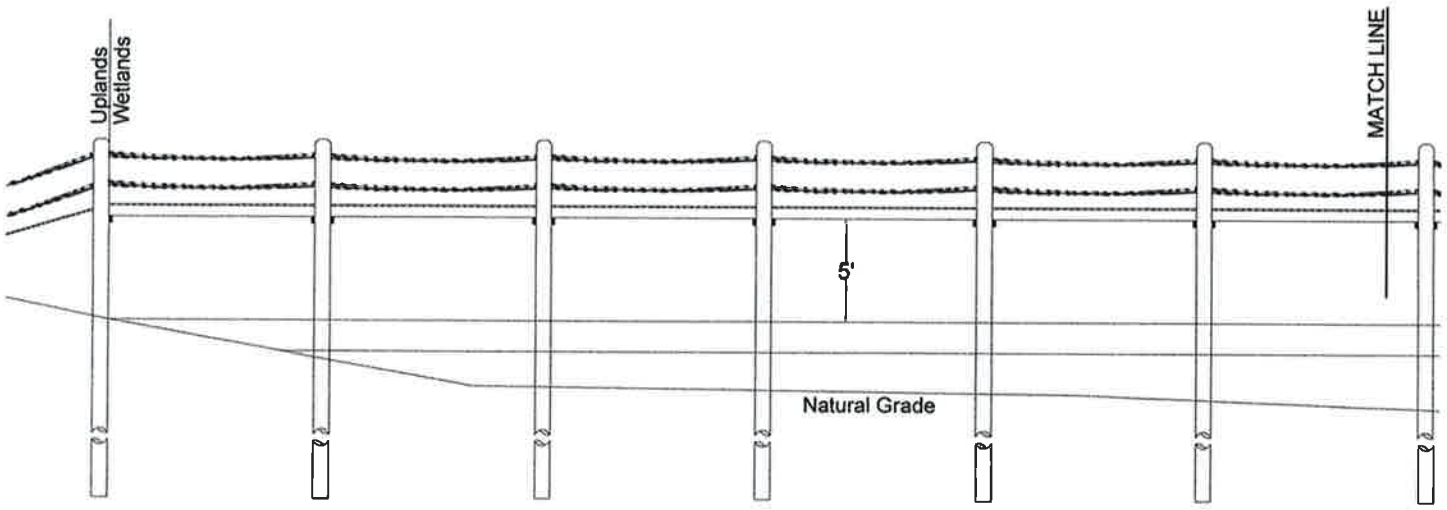
SECTION: 32 TWNSHP: 6 South RNG: 1 West

5/7
0375734-001-EG/19

DEPARTMENT OF ENVIRONMENTAL PROTECTION
PERMIT
NTS
STATE OF FLORIDA

100'

Cross Section
of Proposed Dock
Not to Scale



Prepared By: Daniel J Oligmueller
(719) 337 - 1615 doligmueller@icloud.com

DATE: April 2[illegible], 2019 SHEET: 5/5
Revision 3 May 7, 2019

6/7

0375734-001-EG/19

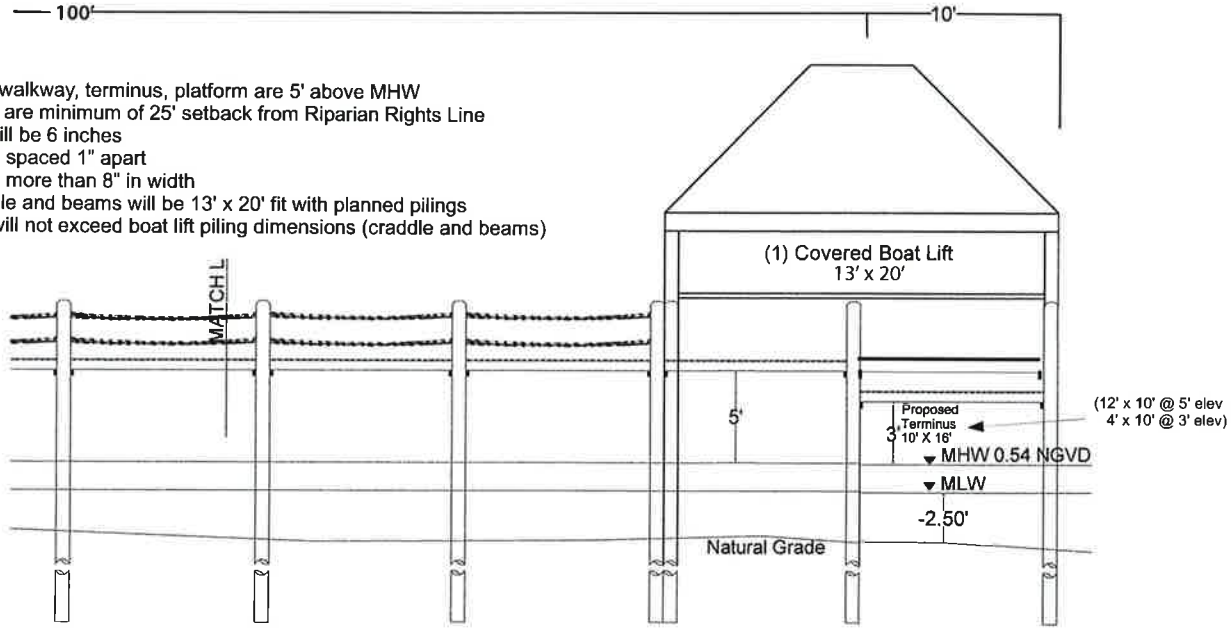
DEPARTMENT OF ENVIRONMENTAL PROTECTION
PERMIT
NJO
STATE OF FLORIDA

APPLICANTS: Walton Accom 22 LLC, Daniel Oligmueller
WATERBODY/CLASS: Alligator Harbor
PURPOSE: Environmental Permitting
PROJECT LOCATION / USGS: Alligator Point - Franklin Count
LATITUDE: 29 54' 44.76"
LONGITUDE: 84 22' 06.69"

SECTION: 32 TWNSHP: 6 South RNG: 1 West

Cross Section - Side

Notes:
- Dock access walkway, terminus, platform are 5' above MHW
- All Structures are minimum of 25' setback from Riparian Rights Line
- Pilings size will be 6 inches
- Planks will be spaced 1" apart
- Planks will no more than 8" in width
- Boat lift craddle and beams will be 13' x 20' fit with planned pilings
- Boat lift roof will not exceed boat lift piling dimensions (craddle and beams)



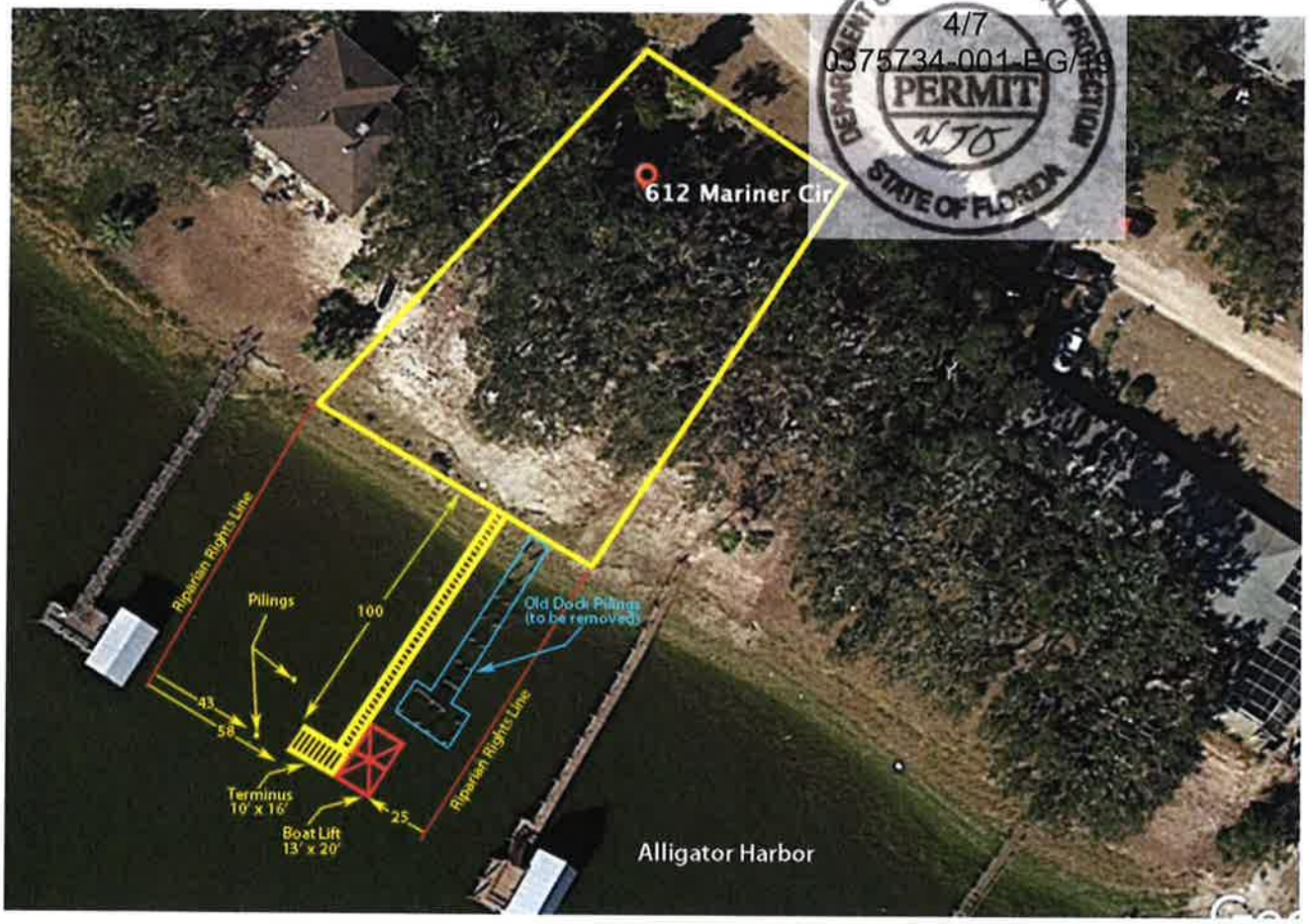
Prepared By: Daniel J Oligmueller
(719) 337 - 1615 doligmueller@icloud.com

DATE: April 29, 2019

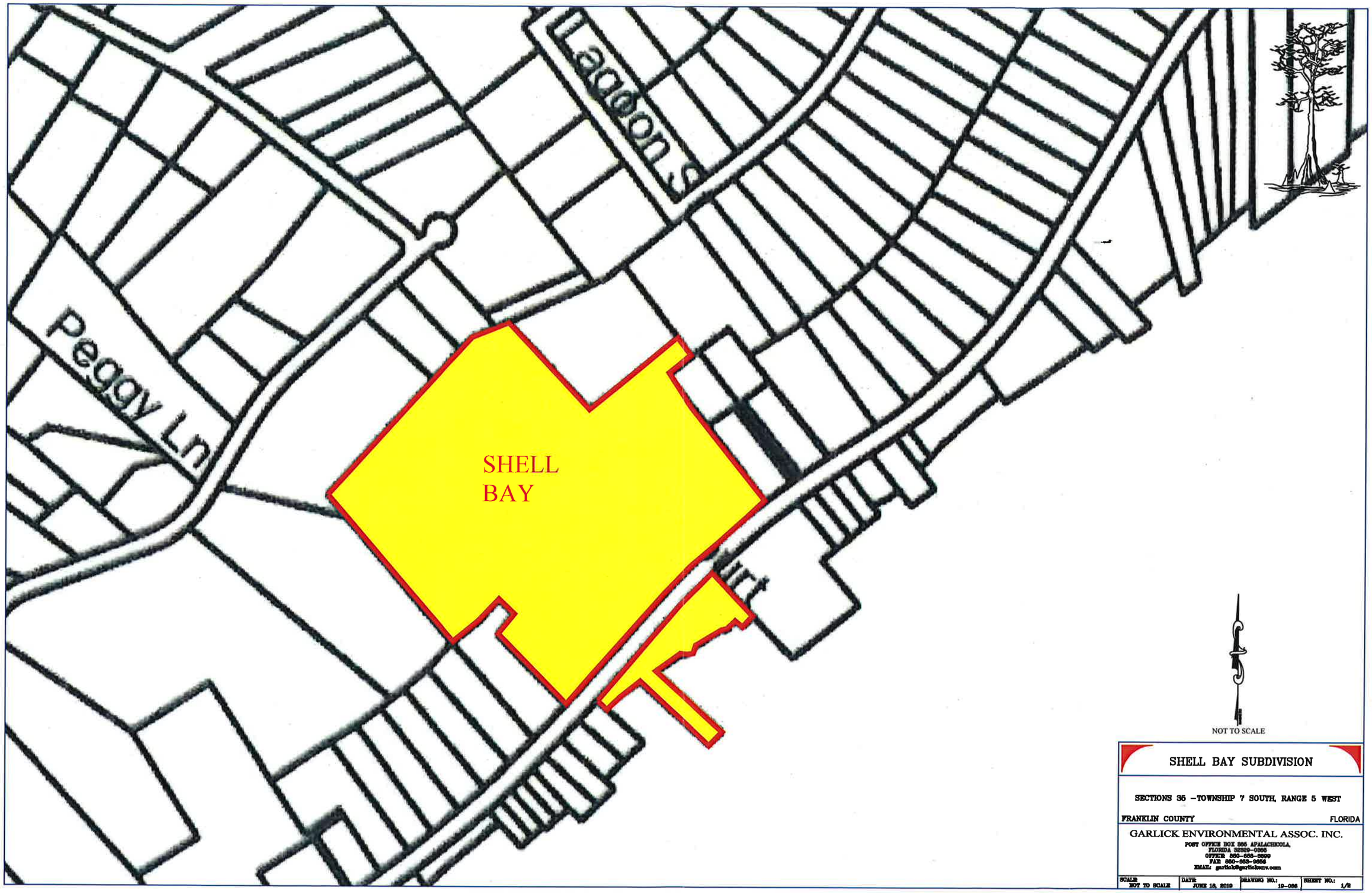
SHEET: 3/5
Revison 2 May 2, 2019

APPLICANTS: Walton Accom 22 LLC, Daniel Oligmueller
WATERBODY/CLASS: Alligator Harbor
PURPOSE: Environmental Permitting
PROJECT LOCATION / USGS: Alligator Point - Franklin Count
LATITUDE: 29 54' 44.76"
LONGITUDE: 84 22' 06.69"

SECTION: 32 TWNSHP: 6 South RNG: 1 West



DEPARTMENT OF ENVIRONMENTAL PROTECTION
4/7
0375734-001-EG/19
PERMIT
NJO
STATE OF FLORIDA



SHELL BAY SUBDIVISION

SECTIONS 35 –TOWNSHIP 7 SOUTH, RANGE 5 WEST

FRANKLIN COUNTY FLORIDA

GARLICK ENVIRONMENTAL ASSOC. INC.
POST OFFICE BOX 366 APALACHICOLA,
FLORIDA 32329-0366
OFFICE 850-653-9899
FAX 850-653-9656
EMAIL garlick@garlickenv.com

SCALE:	DATE:	DRAWING NO.:	SHEET NO.:
NOT TO SCALE	JUNE 18, 2019	19-086	1/2

NOTE:
ALL PARCELS
WILL BE A
MINIMUM OF
60' IN WIDTH
& 100' IN LENGTH

LOT 7 0.33ACRE
LOT 6 0.33 ACRE
LOT 5 0.33 ACRE
LOT 4 0.33 ACRE
LOT 3 0.33 ACRE
LOT 2 0.33 ACRE
LOT 1 0.33 ACRE
LOT 8 0.40ACRE
LOT 9 0.40ACRE
LOT 10 0.39ACRE
LOT 11 0.38ACRE
LOT 12 0.40ACRE
LOT 13 0.33ACRE
LOT 14 0.33 ACRE
LOT 15 0.33 ACRE
LOT 16 0.31ACRE
LOT 17 0.30ACRE
LOT 18 0.30 ACRE
LOT 19 0.31 ACRE
LOT 20 0.31 ACRE
LOT 21 0.33ACRE
LOT 22 0.33 ACRE
LOT 23 0.35ACRE
LOT 24 0.39ACRE
LOT 25 0.38ACRE
LOT 26 0.37ACRE
LOT 27 0.33ACRE
LOT 28 0.33ACRE
LOT 29 0.35ACRE
LOT 30 0.63 ACRE
LOT 31
PARCEL 1.00AC.± (VACANT)
LOT 32
PARCEL 1 1.07AC.± (VACANT)
LOT 33
PARCEL 2 1.07AC.± (VACANT)
LOT 34
PARCEL 3 1.07AC.± (VACANT)
LOT 36 18,239.60 SQ FT 0.42 AC
WELL 0.17 ACRE
TRACT "A" 1.10AC.± (VACANT)
ENGRESS, EGRESS & UTILITY EASEMENT
(INGRESS, EGRESS & UTILITY EASEMENT)
SHELL BAY COURT
LOT 6 SHELL BAY PB 8, PAGE 38
50' CHZ SETBACK
APPROXIMATE WETLAND LOCATION
APPROXIMATE ISOLATED WETLAND LOCATION
STORMWATER MANAGEMENT AREA
25' R/W SETBACK
POB
R/W
60' WIDE EGRESS OPTION 1
SCALE 1" = 60'

SHELL BAY SUBDIVISION

SECTIONS 35 –TOWNSHIP 7 SOUTH, RANGE 5 WEST

FRANKLIN COUNTY FLORIDA

GARLICK ENVIRONMENTAL ASSOC. INC.
POST OFFICE BOX 366 APALACHICOLA, FLORIDA 32329-0366
OFFICE: 850-653-8899
FAX: 850-653-9656
EMAIL: garlick@garlickenv.com

SCALE:	DATE:	DRAWING NO.:	SHEET NO.:
1" = 100'	JUNE 18,2019	19-036	2/3

LOT 15
0.33 ACRE

LOT 14
0.33 ACRE

LOT 13
0.33ACRE

16
ACRE

LOT 17
0.30ACRE

LOT 18
0.30 ACRE

LOT 19
0.31 ACRE

LOT 20
0.31 ACRE

LOT 23
0.35ACRE

LOT 22
0.33 ACRE

LOT 21
0.33ACRE

LOT 24
0.39ACRE

LOT 25
0.38ACRE

LOT 26
0.37ACRE

LOT 28
0.33ACRE

LOT 29
0.35ACRE

LOT 1
0.33 ACRE

LOT 30
0.63 ACRE

LOT 31

LOT 32

LOT 33

LOT 34

LOT 35
18,604.38 SQ FT
0.43 AC

LOT 36
18,239.60 SQ FT
0.42 AC

COMMON
32,873.91 SQ FT
0.75 AC

ENGRESS, EGRESS & UTILITY EASEMENT

ENGRESS, EGRESS & UTILITY

ENGRESS, EGRESS

(INGRESS, EGRESS & UTILITY EASEMENT)

SHELL BAY SUBDIVISION
PER RECORDED PLAT
AS FOUND IN PLAT BOOK & PAGE 38

LOT 6
SHELL BAY
B, PAGE 38

50' CHZ SETBACK

APPROXIMATE
WETLAND
LOCATION

PARCEL
1.00AC.±
(VACANT)

PARCEL 1
1.07AC.±
(VACANT)

PARCEL 2
1.07AC.±
(VACANT)

PARCEL 3
1.07AC.±
(VACANT)

APPROXIMATE
ISOLATED
WETLAND
LOCATION

STORMWATER
MANAGEMENT
AREA

WELL
0.17 ACRE

4" WELL

60' WIDE
ENGRESS, EGRESS
OPTION 1

US HIGHWAY #98
STATE ROAD #30
(66'-R/W)(OPEN/PAVED)

R/W

POB

LOT SIDE SETBACK

25' R/W SETBACK

50FT CHZ SETBACK

CONCRETE SEAWALL

EXISTING ROCK

EXISTING
MEAN HIGH WATER

ST. GEORGE SOUND

RECREATION
BUILDING
2475 SQ FT

GRAPHIC SCALE

100 0 50 100

1 inch = 100 ft.

MAGNETIC

SCALE 1" = 100'

ACCORDING TO FDOT R/W MAP #4901,
PROJECT #685, SHEET #2 OF 5
US HWY #98(STATE ROAD #30) THE
R/W WIDTH IN THIS AREA IS 66' WIDE

SHELL BAY SUBDIVISION

SECTIONS 35 –TOWNSHIP 7 SOUTH, RANGE 5 WEST

FRANKLIN COUNTY FLORIDA

GARLICK ENVIRONMENTAL ASSOC. INC.

POST OFFICE BOX 966 APALACHICOLA,
FLORIDA 32329-0966
OFFICE 850-653-8209
FAX 850-653-9656
EMAIL garlick@garlickenv.com

SCALE:	DATE:	DRAWING NO.:	SHEET NO.:
1" = 100'	JUNE 18,2019	19-036	2/2

PLAT BOOK 8 PAGE 38

SHELL BAY

A SUBDIVISION LYING IN SECTION 35, TOWNSHIP 7 SOUTH, RANGE 5 WEST, FRANKLIN COUNTY, FLORIDA

DEDICATION
STATE OF FLORIDA
COUNTY OF FRANKLIN

Know all men by these present that INTRACOASTAL SHELL AND AGGREGATE, INC., the owner in fee simple of the lands shown hereon and platted as SHELL BAY, and more particularly described as follows:
A tract of land situate, lying and being in fractional Section 35, Township 7 South, Range 5 West, Franklin County, Florida:

Commence at a concrete monument marking the Northeast corner of Section 35, Township 7 South, Range 5 West, Franklin County, Florida, and thence run South 00 degrees 00 minutes 12 seconds East 835.50 feet to a point on a curve concave to the Southeasterly, thence run Southwesterly along said curve with a radius of 1865.39 feet through a central angle of 51 degrees 03 minutes 27 seconds for an arc distance of 1662.29 feet, the chord of said arc being South 55 degrees 17 minutes 40 seconds West 1607.83 feet, thence run South 29 degrees 45 minutes 56 seconds West 743.89 feet to a point of curve to the right, thence run Southwesterly along said curve with a radius of 1478.14 feet through a central angle 27 degrees 35 minutes 21 seconds for an arc distance of 711.76 feet, the chord of said arc being South 43 degrees 20 minutes 41 seconds West 704.90 feet, thence run South 57 degrees 21 minutes 17 seconds West 35.03 feet to a point of curve to the left, thence run Southwesterly along said curve with a radius of 3297.79 feet through a central angle of 12 degrees 10 minutes 44 seconds for an arc distance of 700.98 feet, the chord of said arc being South 47 degrees 18 minutes 08 seconds West 699.66 feet to a 5/8" iron bar marking the POINT OF BEGINNING. From said POINT OF BEGINNING continue along said curve with a radius of 3297.79 feet through a central angle of 00 degrees 35 minutes 57 seconds for an arc distance of 34.49 feet, chord of said arc being South 40 degrees 54 minutes 47 seconds West 34.49 feet to a concrete monument, thence North 43 degrees 26 minutes 16 seconds West 637.78 feet to a concrete monument, thence South 41 degrees 16 minutes 02 seconds West 702.41 feet to a concrete monument, thence South 41 degrees 22 minutes 24 seconds East 632.96 feet to a concrete monument, said point also being on a curve concave to the Northwest, thence along said curve with a radius of 3386.72 feet through a central angle of 02 degrees 01 minute 05 seconds for an arc distance of 119.29 feet, the chord of said arc being North 50 degrees 00 minutes 04 seconds East 119.29 feet to a concrete monument, thence North 39 degrees 55 minutes 51 seconds East 91.28 feet to a concrete monument, thence North 44 degrees 42 minutes 01 second West 31.24 feet to a concrete monument, thence North 40 degrees 09 minutes 44 seconds East 416.22 feet to a concrete monument, thence South 43 degrees 24 minutes 58 seconds East 33.32 feet to a point which lies within a pine tree, said point also being on a curve concave to the Southeast, thence along said curve with a radius of 3297.79 feet through a central angle of 01 degree 17 minutes 43 seconds for an arc distance of 74.55 feet, the chord of said arc being North 39 degrees 31 minutes 14 seconds East 74.55 feet, thence South 44 degrees 38 minutes 07 seconds East 405.37 feet to the Northern right-of-way of U.S. 98, said point being on a curve concave to the Southeast, thence along said curve with a radius of 2897.70 feet through a central angle of 01 degree 11 minutes 12 seconds for an arc distance of 60.01 feet, the chord of said arc being North 44 degrees 31 minutes 17 seconds East 60.01 feet, thence leaving said right-of-way North 44 degrees 38 minutes 07 seconds West 409.33 feet to the POINT OF BEGINNING; Containing 10.75 acres, more or less.

HAVE CAUSED SAID LANDS TO BE DIVIDED AND SUBDIVIDED AS SHOWN HEREON. ALL ROADS, STREETS, RIGHT-OF-WAYS, AND EASEMENTS SHALL BE FOR THE PRIVATE USE OF THE OWNERS, WITHIN, SHELL BAY, THE DECLARANT AND OR HIS ASSIGNS AND SHALL BE MAINTAINED BY THE SHELL BAY HOMEOWNERS ASSOCIATION, INC. NO PART OF THIS LAND SHALL BE DEEMED TO HAVE BEEN DEDICATED TO THE PUBLIC, AND FRANKLIN COUNTY SHALL HAVE NO RESPONSIBILITY FOR THE MAINTENANCE OF ANY SUCH ROAD, STREET OR RIGHT-OF-WAY SHOWN HEREON, THIS 15 DAY OF April, 20 04

INTRACOASTAL SHELL AND AGGREGATE, INC.
BY: Christopher G. Langston
CHRISTOPHER G. LANGSTON
President of Intracoastal Shell and Aggregate, Inc.

Kathy Wagenbrenner
Witness Signature
Kathy Wagenbrenner
Print Name
Richard Ward
Witness Signature
Richard Ward
Print Name

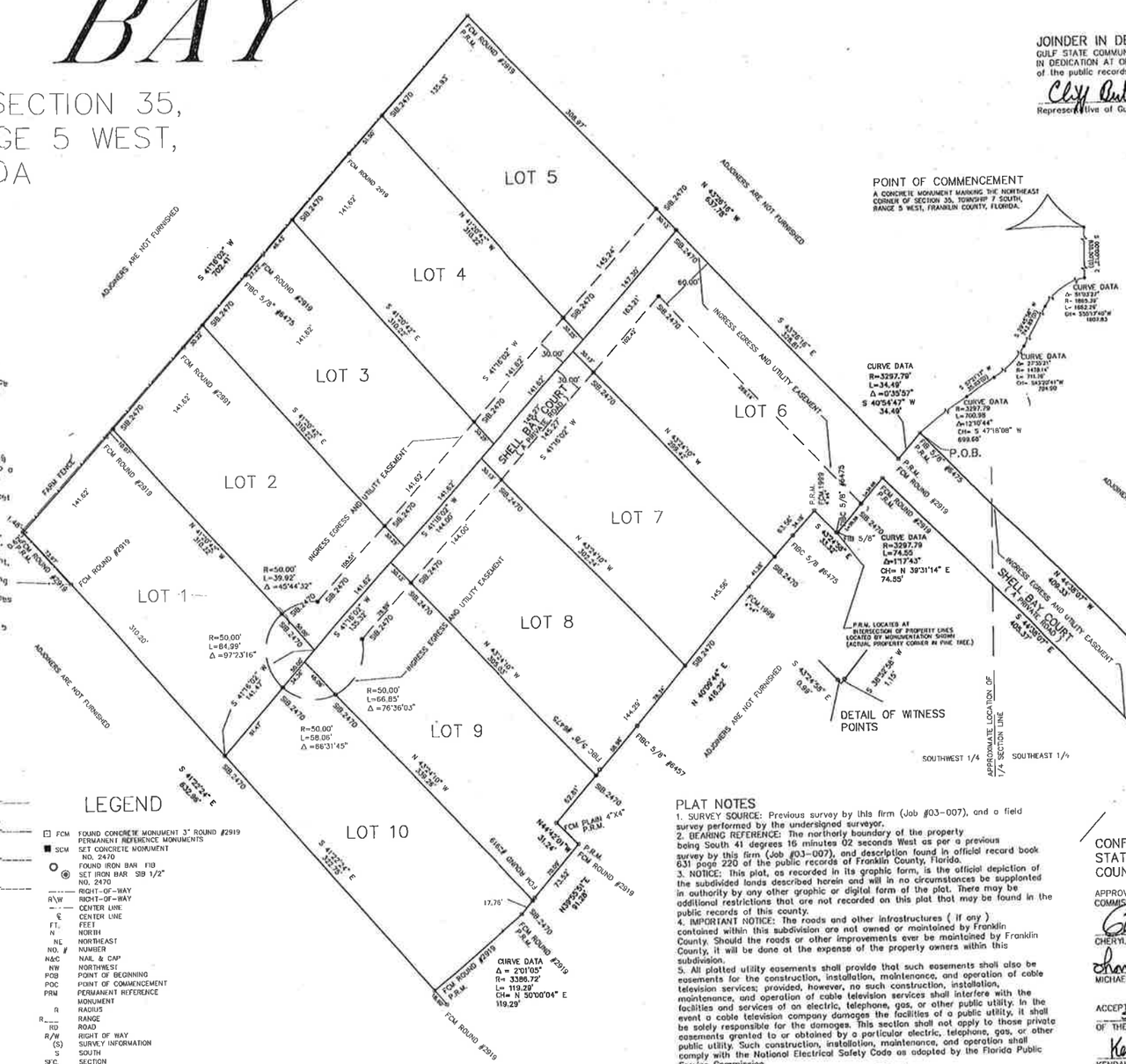
ACKNOWLEDGMENT
STATE OF FLORIDA
COUNTY OF FRANKLIN

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 15 DAY OF April, 20.04, BY CHRISTOPHER G. LANGSTON, HE IS PERSONALLY KNOWN TO ME OR HAS PRODUCED _____ AS IDENTIFICATION.

WITNESS MY HAND AND SEAL AT Marianna, FLORIDA, THIS 15 DAY OF April, 20 04

NOTARY Melissa A. Davis
MY COMMISSION EXPIRES: February 04, 2008

NOTARY SEAL — MELISSA A. DAVIS, Notary Public, State of Florida, My Comm. Expires Feb 6, 2008, Comm. No. DD 258166



LEGEND

FCM	FOUND CONCRETE MONUMENT 3" ROUND #2919 PERMANENT REFERENCE MONUMENTS
SCM	SET CONCRETE MONUMENT NO. 2470
	FOUND IRON BAR FIB
	SET IRON BAR SIB 1/2" NO. 2470
	RIGHT-OF-WAY
R/W	RIGHT-OF-WAY
	CENTER LINE
℄	CENTER LINE
FT.	FEET
N	NORTH
NE	NORTHEAST
NO. #	NUMBER
N&C	NAIL & CAP
NW	NORTHWEST
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
PRM	PERMANENT REFERENCE MONUMENT
R	RADIUS
R___	RANGE
RD	ROAD
R/W	RIGHT OF WAY
(S)	SURVEY INFORMATION
S	SOUTH
SEC.	SECTION
W	WEST
(D)	DEED DIMENSION
FIBC	FOUND IRON BAR AND CAP
CH	CHORD BEARING AND DISTANCE
L	ARC LENGTH
Δ	DELTA ANGLE

GRAPHIC SCALE
60 0 30 60 120 240
(IN FEET)
1 inch = 60 ft.

JOINDER IN DEDICATION
GULF STATE COMMUNITY BANK
IN DEDICATION AT OFFICIAL RECORDS BOOK 711 (685) PAGE 27 (176) of the public records of Franklin County, Florida.

Clay Butler
Representative of Gulf State Community Bank

Christopher T. Giametta
Witness Signature
Christopher T. Giametta
Print Name
Mark C. Cureton
Witness Signature
Mark C. Cureton
Print Name

ACKNOWLEDGMENT
STATE OF FLORIDA
COUNTY OF FRANKLIN

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 28 DAY OF September, 20 04, BY Clay Butler, HE/SHE IS PERSONALLY KNOWN TO ME OR HAS PRODUCED _____ AS IDENTIFICATION.

WITNESS MY HAND AND SEAL AT Apalachicola, Franklin Co., FLORIDA, THIS 28 DAY OF September, 20 04

NOTARY Amy M Ham
MY COMMISSION EXPIRES: May 15, 2005

Amy M Ham
My Commission DD028307
Expires May 15, 2005

NOTARY SEAL

PLAT NOTES
1. SURVEY SOURCE: Previous survey by this firm (Job #03-007), and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: The northerly boundary of the property being South 41 degrees 16 minutes 02 seconds West as per a previous survey by this firm (Job #03-007), and description found in official record book 631 page 220 of the public records of Franklin County, Florida.
3. NOTICE: This plat, as recorded in its graphic form, is the official depiction of the subdivided lands described herein and will in no circumstances be supplanted in authority by any other graphic or digital form of the plat. There may be additional restrictions that are not recorded on this plat that may be found in the public records of this county.
4. IMPORTANT NOTICE: The roads and other infrastructures (If any) contained within this subdivision are not owned or maintained by Franklin County. Should the roads or other improvements ever be maintained by Franklin County, it will be done at the expense of the property owners within this subdivision.
5. All platted utility easements shall provide that such easements shall also be easements for the construction, installation, maintenance, and operation of cable television services; provided, however, no such construction, installation, maintenance, and operation of cable television services shall interfere with the facilities and services of an electric, telephone, gas, or other public utility. In the event a cable television company damages the facilities of a public utility, it shall be solely responsible for the damages. This section shall not apply to those private easements granted to or obtained by a particular electric, telephone, gas, or other public utility. Such construction, installation, maintenance, and operation shall comply with the National Electrical Safety Code as adopted by the Florida Public Service Commission.
6. All dimensions shown hereon are survey dimensions.

FLOOD ZONE INFORMATION:
Subject property is located in Zone A & X as per Flood Insurance Rate Map Community Panel No. 12037C0429-E, Index Date: June 17, 2002, Franklin County, Florida.

CONFORMATION
STATE OF FLORIDA
COUNTY OF FRANKLIN

APPROVED BY THE FRANKLIN COUNTY BOARD OF COUNTY COMMISSIONERS THIS 18th DAY OF May, 2004

CHERYL SANDERS - CHAIRMAN

Thomas M. Shuler 9-28-04
MICHAEL SHULER - COUNTY ATTORNEY

ACCEPTED FOR FILES AND RECORDED THIS 29th DAY OF September, 20 04, IN PLAT BOOK 8, PAGE 38 OF THE PUBLIC RECORDS OF FRANKLIN COUNTY, FLORIDA

Kendall Wade
KENDALL WADE
CLERK OF THE CIRCUIT COURT
FRANKLIN COUNTY, FLORIDA

CLERK'S SEAL

DRAWN BY :	TMO
CHECKED BY :	LMC
DATE :	3-25-04
REVISED:	
SCALE	1" = 60'
FIELD BOOK 0105 PAGE 65	
DATE OF SURVEY: 1-22-03	

RECORD TITLE IN THE LAND DESCRIBED ON THIS PLAT IS IN THE NAME OF INTRACOASTAL SHELL & AGGREGATE, INC. PURSUANT TO SEC. 177.041(2), F.S.
125 DAY OF May, 2004
BY _____
BOYD, LINDSAY, AND SLIGER, P.A.

SURVEYOR'S CERTIFICATE:
I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION AND IS A CORRECT REPRESENTATION OF THE LAND SURVEYED, AND THAT THE PERMANENT REFERENCE MONUMENTS AND PERMANENT CONTROL POINTS HAVE BEEN SET, AND THAT THE SURVEY DATA AND MONUMENTATION COMPLIES WITH CHAPTER NO. 177, FLORIDA STATUTES, RULE NO. 61G17-6, FLORIDA ADMINISTRATIVE CODE, AND ALL APPLICABLE FRANKLIN COUNTY SUBDIVISION REGULATIONS AND/OR ORDINANCES.
LARRY M. COBB, PSM
Professional Surveyor and Mapper
Florida Certificate No. 2470

This plat "SHELL BAY" has been reviewed and conforms to Chapter 177, Part 1, Statutes of the Florida State, to the best of my knowledge and belief this 15th day of APRIL, 20 04
RICHARD C. WILLIAMS, P.L.S.
Professional Land Surveyor
Florida Certificate No. 4752

SURVEYOR'S SEAL

NORTH

LARRY M. COBB
PROFESSIONAL SURVEYOR AND MAPPER
2255 OLD CARROUTH PATH
TALLAHASSEE, FLORIDA 32303
OFFICE: (850) 907-0056 FAX: (850) 536-8442

SHELL BAY

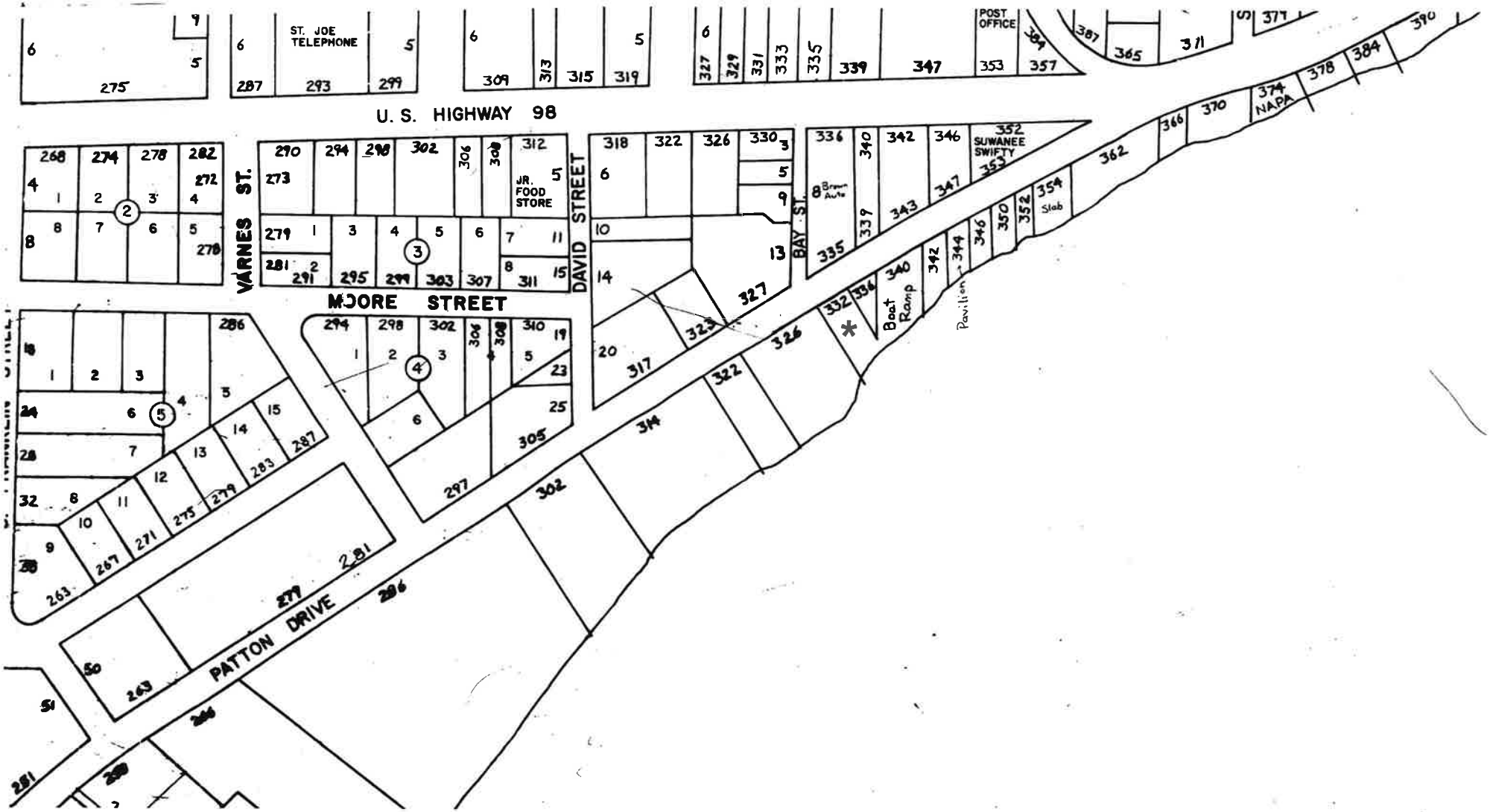
SHEET NO. 1 OF 1
JOB NO. 2003 03007

NOTE:
ALL PARCELS
WILL BE A
MINIMUM OF
60' IN WIDTH
& 100' IN LENGTH

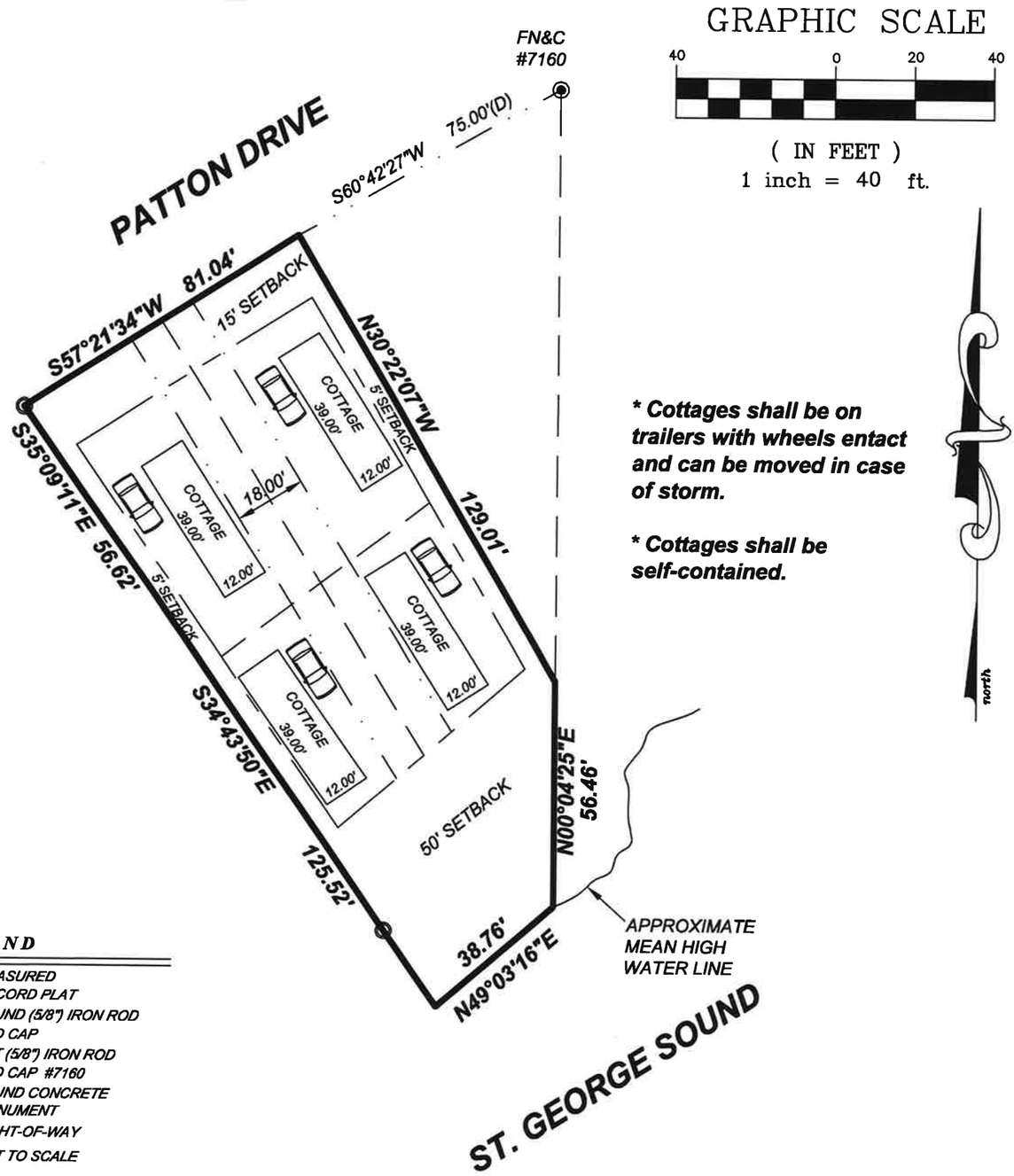
LOT 7 0.33ACRE
LOT 6 0.33 ACRE
LOT 5 0.33 ACRE
LOT 4 0.33 ACRE
LOT 3 0.33 ACRE
LOT 2 0.33 ACRE
LOT 1 0.33 ACRE
LOT 8 0.40ACRE
LOT 9 0.40ACRE
LOT 10 0.39ACRE
LOT 11 0.38ACRE
LOT 12 0.40ACRE
LOT 13 0.33ACRE
LOT 14 0.33 ACRE
LOT 15 0.33 ACRE
LOT 16 0.31ACRE
LOT 17 0.30ACRE
LOT 18 0.30 ACRE
LOT 19 0.31 ACRE
LOT 20 0.31 ACRE
LOT 21 0.33ACRE
LOT 22 0.33 ACRE
LOT 23 0.35ACRE
LOT 24 0.39ACRE
LOT 25 0.38ACRE
LOT 26 0.37ACRE
LOT 27 0.33ACRE
LOT 28 0.33ACRE
LOT 29 0.35ACRE
LOT 30 0.63 ACRE
LOT 31
LOT 32
LOT 33
LOT 34
LOT 35 18,604.38 SQ FT 0.43 AC
LOT 36 18,239.60 SQ FT 0.42 AC
ENGRESS, EGRESS & UTILITY EASEMENT
PARCEL 1.08AC.± (VACANT)
PARCEL 1 1.07AC.± (VACANT)
PARCEL 2 1.07AC.± (VACANT)
PARCEL 3 1.07AC.± (VACANT)
APPROXIMATE WETLAND LOCATION
APPROXIMATE ISOLATED WETLAND LOCATION
50' CHZ SETBACK
STORMWATER MANAGEMENT AREA
WELL 0.17 ACRE
60' WIDE ENGRESS EGRESS OPTION 1
US HIGHWAY #98 STATE ROAD #30 (66'~R/W)(OPEN/PAVED)
25' R/W SETBACK
50FT CHZ SETBACK
COMMON 32,873.91 SQ FT 0.75 AC
RECREATION BUILDING 3475 SQ FT
POB
CONCRETE SEAWALL
EXISTING ROCK
EXISTING MEAN HIGH WATER
ST. GEORGE SOUND

SCALE 1" = 60'

ITEM # 8 & 9 REEDER



SITE PLAN FOR: SUSAN REEDER



*** Cottages shall be on trailers with wheels entact and can be moved in case of storm.**

*** Cottages shall be self-contained.**

LEGEND

M	MEASURED
RP	RECORD PLAT
FIRC	FOUND (5/8") IRON ROD AND CAP
SIRC	SET (5/8") IRON ROD AND CAP #7160
FCM	FOUND CONCRETE MONUMENT
R/W	RIGHT-OF-WAY
	NOT TO SCALE
	POINT NOT SET OR FOUND

NOTES:

1. SURVEY SOURCE: Record deed and special instructions as per client.
2. BEARING REFERENCE: Easterly boundary of subject parcel being North 00 degrees 04 minutes 25 seconds East as per record deed.
3. A current field survey has not been performed to verify the accuracy of the sketch shown hereon.
4. THIS IS NOT A BOUNDARY SURVEY.
5. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 5J-17.051/.052).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

JAMES T. RODDENBERRY
Surveyor and Mapper
Florida Certificate No: 4261

FLOOD ZONE INFORMATION:

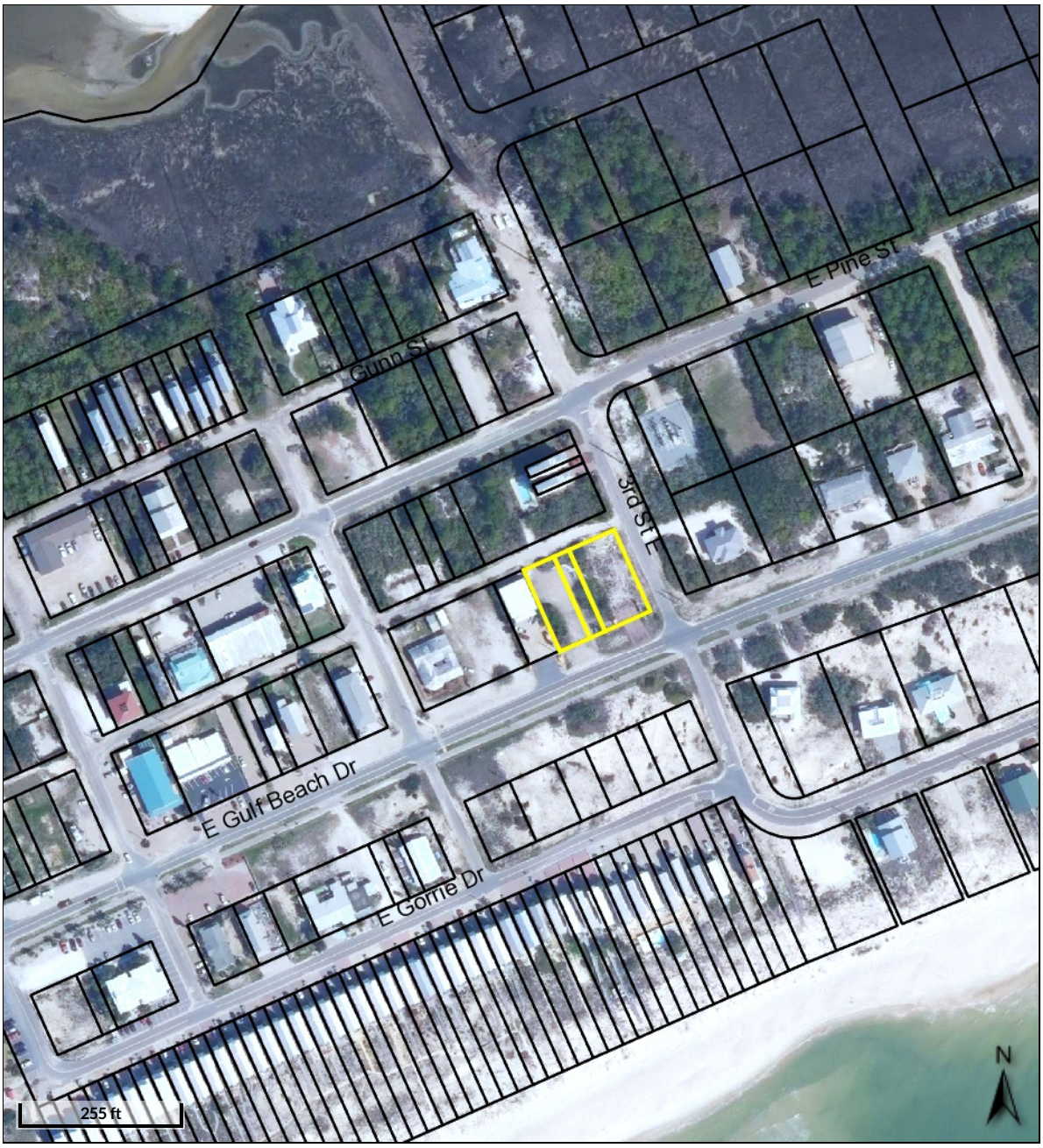
Subject property is located in Zone VE (EL 17) as per Flood Insurance Rate Map Community Panel No: 120088 0532F index date:February 5, 2014, Franklin County, Florida.

T R & A
THURMAN RODDENBERRY & ASSOCIATES, INC
PROFESSIONAL SURVEYORS AND MAPPERS
P.O. BOX 100 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32358
PHONE NUMBER: 850-962-2538 FAX NUMBER: 850-962-1103
LB # 7160

DATE: 06/21/19	DRAWN BY: MD	N.B. XXX PG XX	COUNTY: FRANKLIN
FILE: 09223.DWG	DATE OF LAST FIELD WORK: XX/XX/XX	JOB NUMBER: 09-223	

ITEM #10 HULL

qPublic.net™ Franklin County, FL



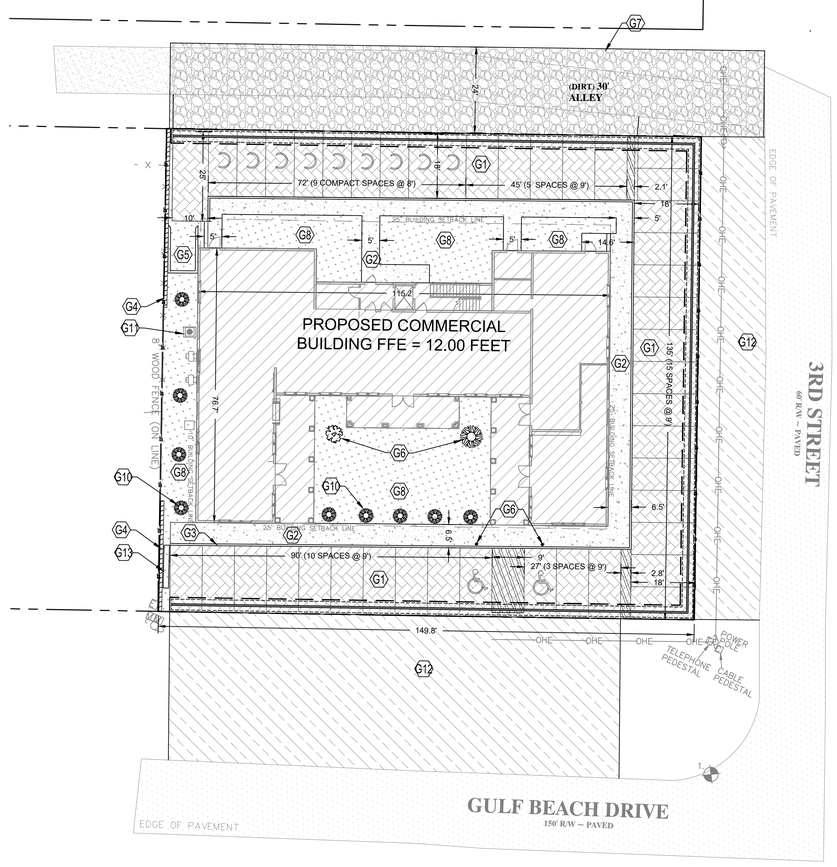
Overview

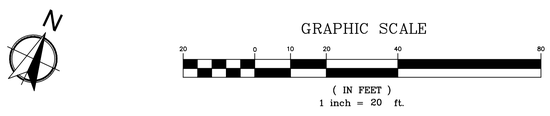
Legend

- Parcels
- Roads
- City Labels

Date created: 6/26/2019
Last Data Uploaded: 6/26/2019 7:07:43 AM

Developed by Schneider GEOSPATIAL



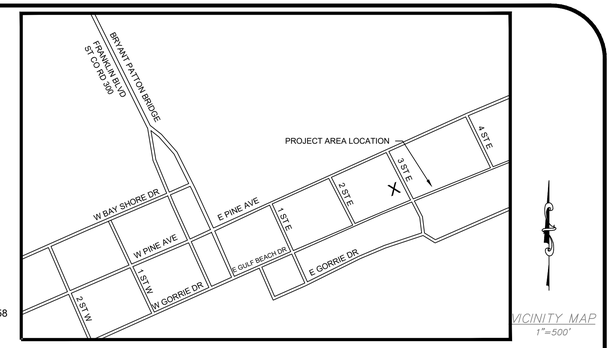


KEY NOTES:

- G1 INSTALL PERMEABLE PAVERS. REFER TO 7/C1.3.
- G2 INSTALL PERMEABLE CONCRETE SIDEWALK. MAXIMUM CROSS-SLOPE SHALL BE 1.5%. MINIMUM WIDTH SHALL BE 5 FEET. REFER TO 2/C1.3.
- G3 INSTALL INTEGRAL CURB. REFER TO 3/C1.3.
- G4 RETAINING WALL. REFER TO ARCHITECT'S PLANS
- G5 TRASH ENCLOSURE. REFER TO 1/C1.1.
- G6 INSTALL STEEL BOLLARD & HANDICAP PARKING. SIGN. REFER TO 6/C1.3.
- G7 INSTALL GRAVEL SURFACE PER COUNTY STANDARDS.
- G8 INSTALL SYNTHETIC TURF.
- G9 INSTALL 10' OAK TREE.
- G10 INSTALL JUNIPERS / LANDSCAPE PLANTS.
- G11 INSTALL HVAC MIN ELEVATION 12.0'
- G12 INSTALL ASPHALT CONCRETE. REFER TO 8/C1.3
- G13 INSTALL SIGN REFER TO ARCHITECT'S PLANS

SITE PLAN SUMMARY:

1. PARKING REQUIREMENT: 1 SPACE / 3 SEATS = 32 SPACES
   PARKING REQUIREMENT: 1 SPACE / 200SF RETAIL = 9 SPACES
   PARKING REQUIREMENT: TOTAL = 41 SPACES
   1.1. 42 SPACES PROVIDED
   1.1.1. 31 FULL SIZE (9'X18') SPACES
   1.1.2. 2 HANDICAP (12'X18') SPACES
   1.1.3. 14 COMPACT (8'X18') SPACES (21%)
2. PROPERTY REFERENCE NUMBER: 29-09S-06W-7310-004E-0010
   PROPERTY REFERENCE NUMBER: 29-09S-06W-7310-004E-0030
   PROPERTY REFERENCE NUMBER: 29-09S-06W-7310-004E-0040
   PROPERTY REFERENCE NUMBER: 29-09S-06W-7310-004E-0050
3. ZONING DISTRICT: C-2 & C-4
4. FUTURE LAND USE: COMMERCIAL AND SERVICES
5. IMPERVIOUS SURFACE: MAXIMUM 80% ALLOWED
   5.1. IMPERVIOUS SURFACE = 0.159 ACRES (34%)
   5.2. SEMI PERVIOUS SURFACE = 0.226 ACRES (49%)
   5.3. PERVIOUS SURFACE = 0.08 ACRES (17%)
   5.4. TOTAL IMPERVIOUS SURFACE: 71%
6. RUNOFF COEFFICIENT:
   6.1. C = (0.159 AC * 0.95 + 0.226AC * 0.48 + 0.08 * 0.10) / 0.464 AC = 0.58



STAGES OF CONSTRUCTION:

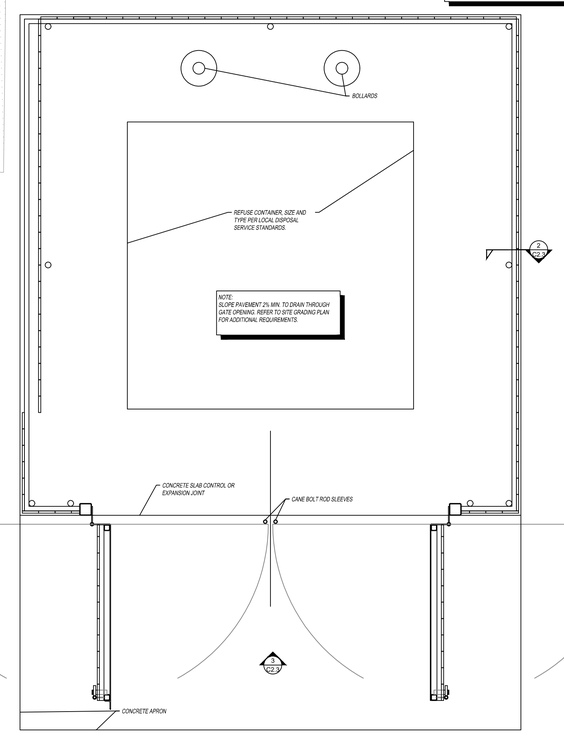
1. CONTRACTOR TO PERFORM DETAILED SITE INSPECTION TO LOCATE ALL EXISTING UTILITIES AND VERIFY ANY POSSIBLE CONFLICTS WITH PROPOSED IMPROVEMENTS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTACT OWNER WITH ANY CONFLICTS. MONTH 1
2. INSTALLATION OF CONSTRUCTION ENTRANCE. MONTH 1
3. INSTALLATION OF EROSION CONTROL FENCE. MONTH 1
4. DEMOLITION OF EXISTING SITE IMPROVEMENTS. MONTH 1
5. REMOVAL OF EXISTING PAVEMENT ON THE SITE. MONTH 1
6. INSTALLATION OF ALL STORM WATER DRAINAGE IMPROVEMENTS. MONTH 1
7. ROUGH GRADING. MONTH 1 & MONTH 2
8. CONSTRUCTION OF NEW SITE IMPROVEMENTS. MONTH 2
9. FINAL GRADING. MONTH 3
10. PLACEMENT OF FINAL LANDSCAPING ITEMS AND SOD. MONTH 3
11. REMOVAL OF EROSION CONTROL FENCE. MONTH 3

GENERAL NOTES:

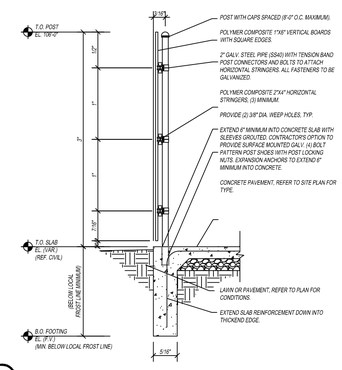
A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
B. SITE CONDITIONS BASED UPON SURVEY SUBMITTED BY OWNER. FIELD VERIFY EXISTING CONDITIONS BY DETAILED SITE INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
C. FIELD VERIFY SANITARY SEWER SERVICE CONNECTION INVERT PRIOR TO ESTABLISHING FINAL FINISH FLOOR ELEVATION.
D. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.

FLOOD ZONE:

ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM), COMMUNITY PANEL NO. 12037C056F, EFFECTIVE DATE: FEBRUARY 5 , 2014. ENTIRE SUBJECT PROPERTY LIES WITHIN ZONE AE (BFE = 11'), AREAS OF MINIMAL FLOOD HAZARD.



1 C1.1 POLYMER COMPOSITE MATERIAL SCREEN FENCE REFUSE ENCLOSURE PLAN
NOT TO SCALE



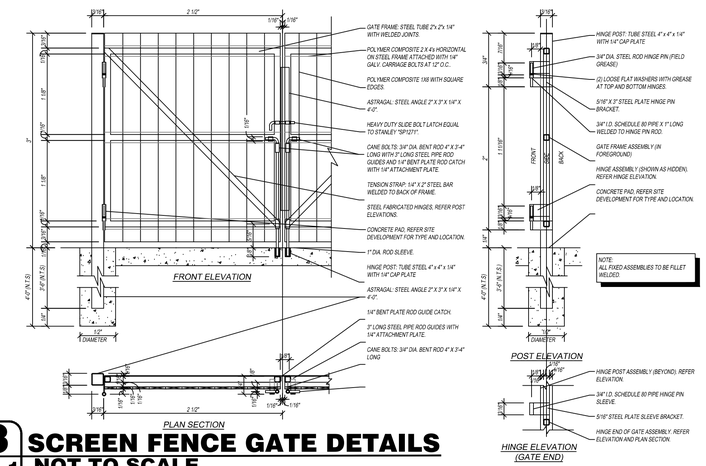
2 C1.1 SCREEN FENCE SECTION
NOT TO SCALE

GENERAL NOTES

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. DIMENSIONS ARE TO ROUGH FACE OF CONCRETE, FRAMING, OR CENTER LINE OF STRUCTURE UNLESS OTHERWISE INDICATED.
- C. REFER TO CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- D. REFER TO ARCHITECTURAL EXTERIOR FINISH SCHEDULE FOR MATERIAL TYPES, COLORS, AND FINISHES. UNLESS OTHERWISE INDICATED PROVIDE FINISHES AS FOLLOWS:

  1. ALL NON-GALVANIZED METAL PARTS TO BE PRIMED AND PAINTED (2) COATS SHERWIN WILLIAMS SW6468 "HUNT CLUB".

  2. POLYMER COMPOSITE MATERIAL COLOR TO BE EQUAL TO "TREX" SELECT SERIES "WINCHESTER GREY". FINAL COLOR TO BE SELECTED BY OWNER FROM MANUFACTURER'S STANDARD SAMPLES.



3 C1.1 SCREEN FENCE GATE DETAILS
NOT TO SCALE

ANDERSON ENGINEERING
EMPLOYEE OWNED
ENGINEERS • SURVEYORS • LABORATORIES • DRILLING
35008 EMERALD COAST PKY. SUITE 204 • DESTIN, FL 32541 • PHONE (850) 714-8100
A LICENSED FLORIDA ENGINEERING CORPORATION - 9662

DRAWING INFO.	
DRAWN BY:	NLL
CHECK BY:	BDO
LICENSE NO.	79822
DATE:	6–19–2019
FIELD BOOK:	
JOB NUMBER:	19FL10002

REVISIONS			
NO.	DESCRIPTION	DATE	BY

© COPYRIGHT ANDERSON ENGINEERING, INC. 2019

STEPHEN HULL
COMMERCIAL PROPERTY

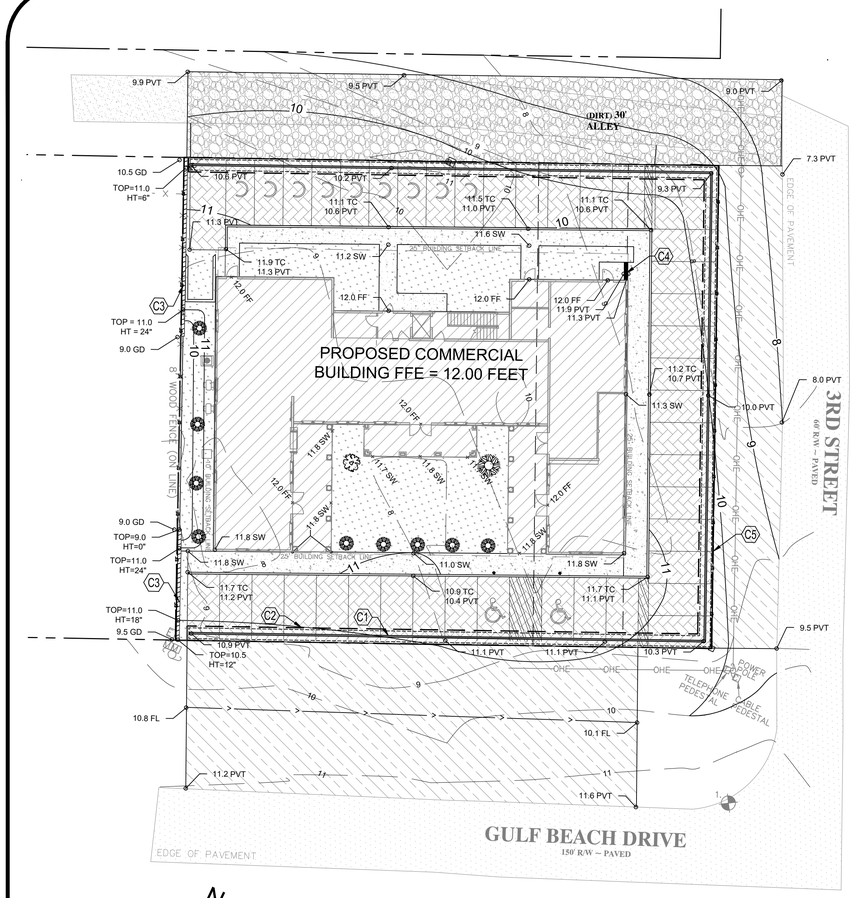
SITE GEOMETRY PLAN

ST. GEORGE ISLAND
FRANKLIN COUNTY, FLORIDA

PRELIMINARY

DRAWING NO. 19FL10002-1

SHEET NUMBER C1.1



KEY NOTES:

- C1 INSTALL 6" WIDE DURASLOT SLOTTED SURFACE TRENCH DRAIN. REFER TO
- C2 PROPOSED WATER QUALITY/DETENTION SYSTEM. INSTALL 1 ROW OF 36" Ø PERFORATED HDPE. THE TOTAL LENGTH OF PIPE INSTALLED SHALL BE 415'. SEE 2/C1.2 FOR CROSS SECTION.
- C3 SEGMENTAL BLOCK RETAINING WALL. REFER TO 1/C1.3
- C4 INSTALL ONE STAIR WITH A 7" RISE. SEE ARCHITECT'S PLANS FOR HANDRAIL DETAILS
- C5 LIMITS OF TEMPORARY EROISION CONTROL REFER TO 3/C1.2

STORM WATER RUNOFF SUMMARY:

TOTAL DRAINAGE AREA= 0.46 ACRES
TOTAL DISTURBED AREA = 0.46 ACRES < 1.0 ACRES THEREFORE NOI IS REQUIRED.

1. ON-SITE AREAS & CURVE NUMBERS
DRAINAGE AREA = 0.46 ACRES
HYDROLOGIC SOIL GROUP: A

PRE-DEVELOPMENT	POST-DEVELOPMENT
IMPERVIOUS AREA = 0.00 ACRES	IMPERVIOUS AREA = 0.16 ACRES
PERVIOUS AREA = 0.46 ACRES	POROUS CONCRETE/ASPHALT = 0.23
COMPOSITE CURVE NUMBER, CN = 39	PERVIOUS AREA = 0.08 ACRES
	COMPOSITE CURVE NUMBER, CN = 64

SEE STORMWATER MANAGEMENT REPORT FOR ALL CALCULATED STORM DURATIONS AND ADDITIONAL INFORMATION AND CALCULATIONS.

CONSTRUCTION EGRESS NOTES:

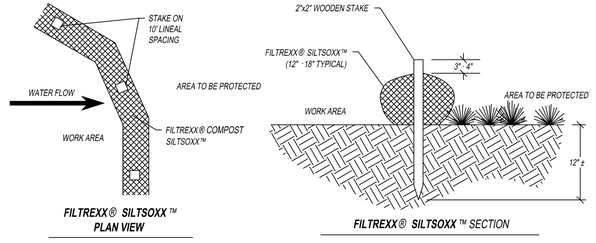
1. CONSTRUCTION EGRESS SHALL BE 25' MINIMUM WIDTH AND 30' MINIMUM LENGTH AND 6" MIN THICKNESS OF STONE (1.5"-3.5") COARSE AGGREGATE WITH GEOTEXTILE UNDERLINER. REFER TO THE CITY OR STATE FOR ANY ADDITIONAL REQUIREMENTS.
2. THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1.5-3.5 INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURE USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OR SITE ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
3. WHEELS MUST BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN LOCATED PER THE CITY OR STATE REQUIREMENTS.

EROSION CONTROL & MAINTENANCE PLAN NOTES:

1. RETAIN FLOATABLE WIND BLOWN MATERIALS ON SITE BY STORING ALL TRASH AND BUILDING MATERIAL WASTE IN ENCLOSURES UNTIL PROPER DISPOSAL AT OFF-SITE FACILITIES. CHECK ADJACENT AREAS DAILY AND PICK UP CONSTRUCTION WASTE MATERIALS AND DEBRIS THAT HAVE BLOWN OR WASHED OFF SITE.
2. PERMANENTLY STABILIZE ALL SURFACE AREA WITHIN AND ADJACENT TO THIS SITE THAT IS DISTURBED BY VEHICLES, GRADING AND OTHER CONSTRUCTION FOR THE PROPOSED FACILITY. STABILIZATION IS OBTAINED WHEN THE DISTURBED SURFACE IS COVERED WITH STRUCTURES, PAVING AND OR PERENNIAL VEGETATION HAVING A UNIFORM COVERAGE DENSITY OF AT LEAST 70%. STABILIZATION OF ALL DISTURBED AREA IS REQUIRED BEFORE TERMINATING MAINTENANCE AND REMOVAL OF EROSION CONTROL MEASURES.
3. CONTRACTORS SHALL INSPECT POLLUTION CONTROL MEASURES AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A STORM EVENT OF 1/2 INCH OR GREATER. DAMAGED MEASURES THAT PROVE TO BE INEFFECTIVE SHALL BE REPLACED WITH MORE EFFECTIVE MEASURES OR ADDITIONAL MEASURES WITHIN SEVEN DAYS. REPEATED FAILURE OF A CONTROL MEASURE REQUIRES INSTALLATION OF A MORE SUITABLE DEVICE TO PREVENT DISCHARGE OF POLLUTANTS FROM THE CONSTRUCTION SITE.
4. INSTALLATION OF ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE CITY OR STATE. CONTRACTOR TO VERIFY REQUIREMENTS PRIOR TO BEGINNING ANY WORK ON PROJECT SITE.
5. CARE SHALL BE TAKEN TO MINIMIZE THE ENCROACHMENT OF SEDIMENT INTO ALL STORM DRAIN APPURTENANCES, PUBLIC STREETS, AND ONTO PRIVATE PROPERTY UNTIL IMPERVIOUS MATERIAL (ROAD/PARKING AREA SURFACE) IS APPLIED OR UNTIL PROPOSED LANDSCAPE HAS BEEN ESTABLISHED.
6. REFER TO 2/C1.2 FOR SILT FENCE CONSTRUCTION.
7. ALL GRASS SLOPES WHICH EXCEED 3:1 (H:V) SHALL UTILIZE CONTECH CONSTRUCTION PRODUCTS PERMANENT TURF REINFORCEMENT MAT 450 OR APPROVED EQUAL. MATS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND STANDARDS. CONTRACTOR SHALL COORDINATE INSTALLATION INSPECTION WITH MANUFACTURER.

SITE EXCAVATION REQUIREMENTS:

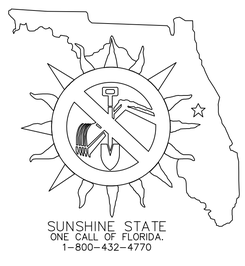
1. *A GEOTECHNICAL ANALYSIS HAS BEEN PERFORMED ON THIS SITE. REFER TO PROJECT MANUAL.*
2. *FOLLOW GEOTECHNICAL ANALYSIS RECOMMENDATION FOR SITE EXCAVATION.*
3. *REFER TO STRUCTURAL DRAWINGS FOR BUILDING EXCAVATION REQUIREMENTS.*

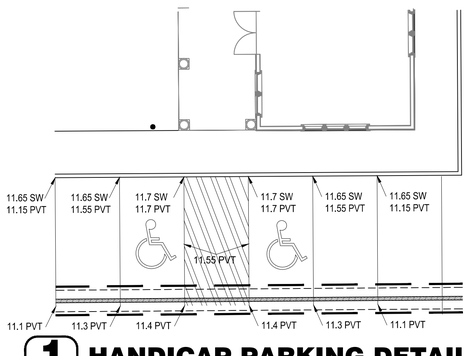


NOTE:
1. *ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS OR APPROVED EQUAL.*
2. *SILTSOXX™ COMPOST/SOIL/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS.*
3. *SILTSOXX™ DEPICTED IS FOR MINIMUM SLOPES. GREATER SLOPES MAY REQUIRE LARGER SOCKS PER THE MANUFACTURER SPECIFICATIONS.*
4. *COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.*

3 / C1.2 FILTREXX SILTSOXX™
SCALE: NOT TO SCALE

SPECIAL NOTE:
CONTRACTOR SHALL FIELD VERIFY PROPOSED GRADES MATCH EXISTING PAVEMENT AT DRIVEWAY ENTRANCES. CONTRACTOR SHALL NOTIFY ENGINEER IF DISCREPANCY OCCURS.

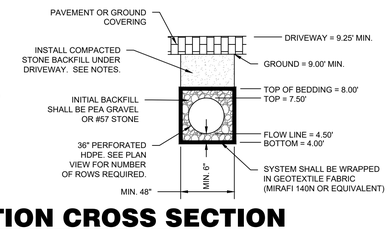




1 / C1.2 HANDICAP PARKING DETAIL
SCALE: 1" = 10'

TRENCHING AND BEDDING NOTES:
1. BEDDING AND INITIAL BACKFILL SHALL BE COMPACTED TO 95% STANDARD PROCTOR (ASTM D 698) IN 8" LOOSE LIFTS
2. SELECT FILL MAY BE EARTH BACKFILL FREE OF LARGE STONE AND ORGANIC MATERIAL IF NOT UNDER TRAFFIC AREAS.
3. IN TRAFFIC AREAS TRENCHES SHALL BE COMPLETELY BACKFILLED WITH CRUSHED STONE TO FINISHED SUB-GRADE AND COMPACTED TO 95% STANDARD PROCTOR (ASTM D 698)
4. TRENCHES GREATER THAN 5 FEET IN DEPTH SHALL BE SLOPED, SHORED, SHEETED, BRACED OR OTHERWISE SUPPORTED PER OSHA AND LOCAL ORDINANCES.

PIPE NOTES:
PIPE RUNS CAN BE RECONFIGURED IF NEEDED. BEDDING AND PIPE ELEVATION MUST REMAIN THE SAME. THE MINIMUM LENGTH OF PIPE INSTALLED ON THE SITE MUST BE 415 LINEAR FEET. SYSTEM MUST BE ABOVE GROUNDWATER ELEVATION. CONTACT ENGINEERING IF GROUNDWATER IS ENCOUNTERED AT TRENCH ELEVATIONS.



2 / C1.2 DETENTION CROSS SECTION
SCALE: NOT TO SCALE

SYMBOLS LEGEND

REFER TO SURVEY (SV1) FOR EXISTING CONDITION SYMBOLS LEGEND AND SITE CONTROL.

20	EXISTING GRADE LINES	+ 20.00 PVT	*NEW SPOT ELEVATIONS*
20	PROPOSED NEW GRADE LINES		*LIST* / *ABBREVIATION*: GRADE NONE; SIDEWALK SW; TOP OF WALL TW; TOP OF CURB TC; TOP OF PAVEMENT PVT; NEW GRADE GD; CONCRETE CONC; EXISTING TOP OF CURB ETC; EXISTING GRADE EGD; EXISTING PAVEMENT EPVT; EXISTING SIDEWALK ESW; FLOW LINE FL; TOP OF BERM TOP
	NEW BUILDING CONSTRUCTION		
	NEW POLE SIGN		
	NEW CONCRETE PAVING BLOCK		
	TEMPORARY EROSION CONTROL FENCE		*BENCHMARK:* 1. *SITE BENCHMARK NAIL & CAP SET IN ASPHALT @ ELEVATION 11.60' (NAVD 88)*
	SURFACE FLOW ARROW		

ANDERSON ENGINEERING
EMPLOYEE OWNED
ENGINEERS • SURVEYORS • LABORATORIES • DRILLING
35008 EMERALD COAST PKY, SUITE 204 • DESTIN, FL 32541 • PHONE (850) 714-8100
A LICENSED FLORIDA ENGINEERING CORPORATION - 9662

DRAWING INFO.	
DRAWN BY:	NLL
CHECK BY:	BDO
LICENSE NO.	79822
DATE:	6-19-2019
FIELD BOOK:	
JOB NUMBER:	19FL10002

REVISIONS		
NO.	DESCRIPTION	BY / DATE

© COPYRIGHT ANDERSON ENGINEERING, INC. 2019

STEPHEN HULL COMMERCIAL PROPERTY

SITE GRADING PLAN

ST. GEORGE ISLAND
FRANKLIN COUNTY, FLORIDA

PRELIMINARY

DRAWING NO. 19FL10002-1
SHEET NUMBER C1.2

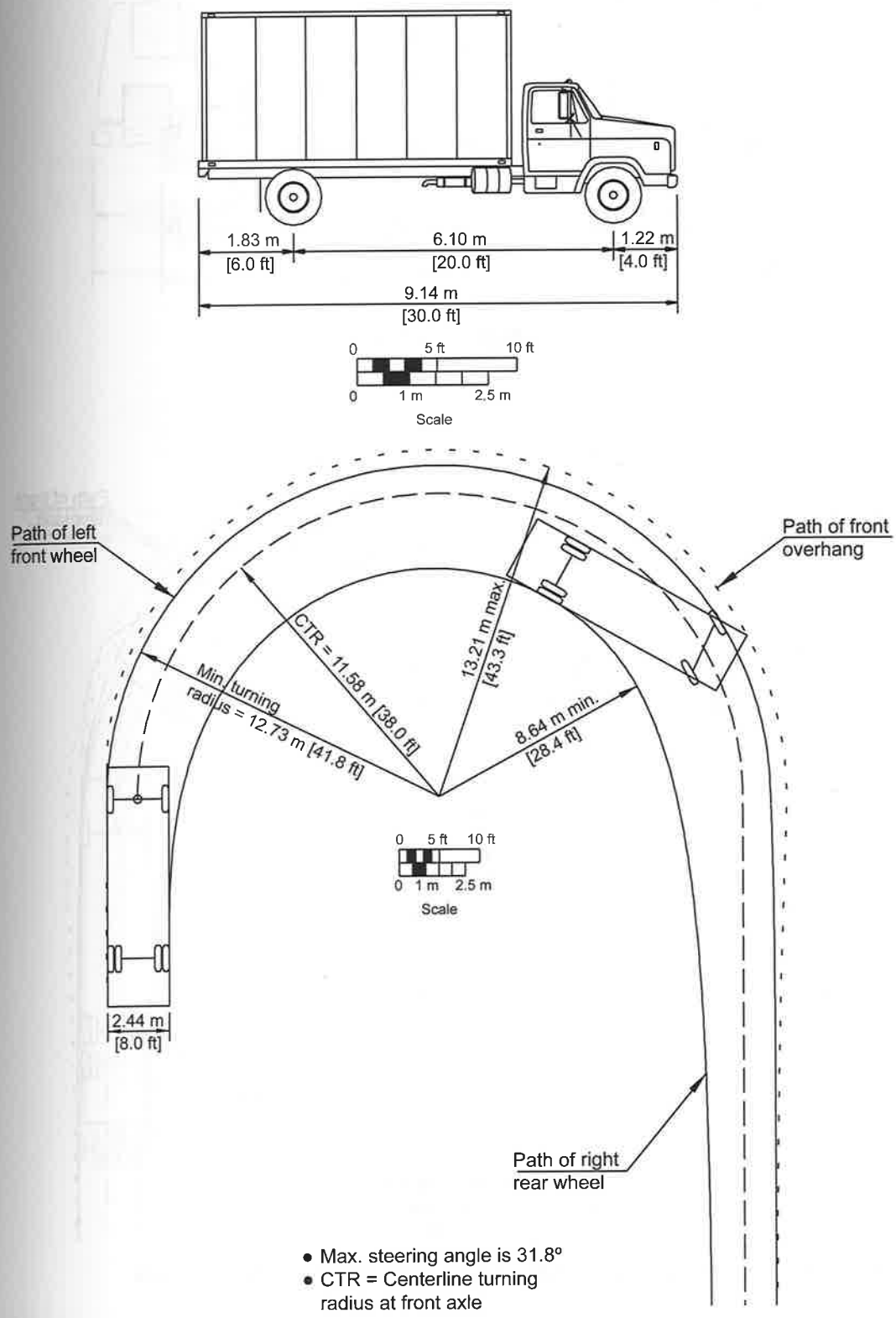
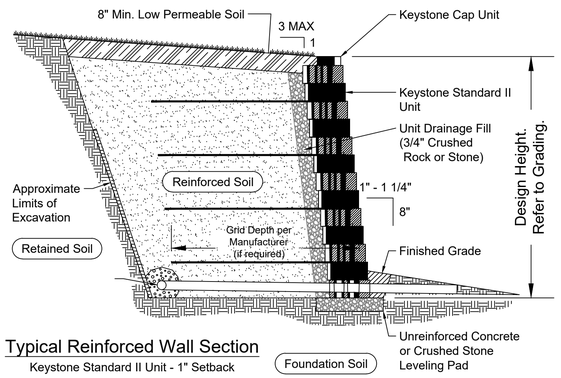


Figure 2-2. Minimum Turning Path for Single-Unit Truck (SU-9 [SU-30]) Design Vehicle



Typical Reinforced Wall Section

Keystone Standard II Unit - 1" Setback

Retaining Wall Notes:

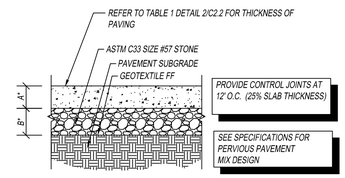
1. LANDSCAPE BLOCK WALL TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND STANDARDS.
2. CONTRACTOR SHALL FOLLOW ALL APPLICABLE LOCAL CODES AND REGULATIONS.
3. LANDSCAPE BLOCK WALL UNITS SHALL BE FROM KEYSTONE WALLS (800-747-8971) OR EQUAL RETAINING WALL MANUFACTURER.
4. WHEN SITE CONDITIONS REQUIRE, WRAP DRAINAGE TILE IN 3/4" AGGREGATE AND FILTER FABRIC WITH DRAINAGE COMPOSITE OR AGGREGATE BACK DRAIN SYSTEM, AS DIRECTED BY GEOTECHNICAL ENGINEER OR MANUFACTURER.
5. CONTRACTOR TO COORDINATE SITE SPECIFIC DESIGN AND CONSTRUCTION DETAILS WITH KEYSTONE WALLS OR EQUAL. WALL MANUFACTURER SHALL PROVIDE ENGINEERED CONSTRUCTION DRAWINGS FOR THE WALL.

1 C1.3 SEGMENTAL BLOCK WALL DETAIL

NOT TO SCALE

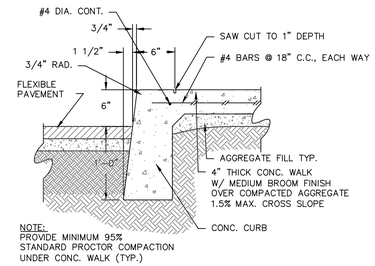
TABLE 1**	
PAVEMENT TYPE	RIGID PAVEMENT STRUCTURAL SECTION
	HEAVY DUTY CONCRETE PAVEMENT
PERVIOUS CONCRETE	7.0 INCHES
COMPACTED SUBGRADE (LBR = 100) 8"	12.0 INCHES

**PAVEMENT DESIGN IS BASED ON GEOTECHNICAL REPORT PROVIDED BY THE OWNER DATED 07/16/2018. ANDERSON ENGINEERING PROVIDES NO WARRANTY OR GUARANTEE FOR THIS DESIGN. CONTRACTOR IS RESPONSIBLE TO FULLY READ AND FOLLOW THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL REPORT.



2 C1.3 PERVIOUS CONCRETE PAVEMENT SECTIONS

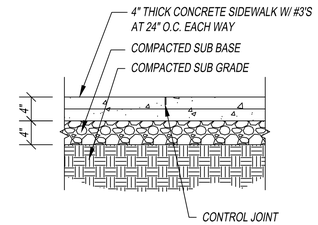
NOT TO SCALE



3 C1.3 INTEGRAL CURB SECTION

NOT TO SCALE

PROVIDE TOOLED CONTROL JOINTS AT 6' O.C. (25% SLAB THICKNESS) AND ISOLATION JOINTS AT 24' O.C., UNLESS OTHERWISE NOTED.

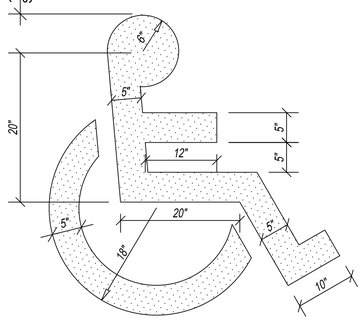


4 C1.3 SIDEWALK SECTION

NOT TO SCALE

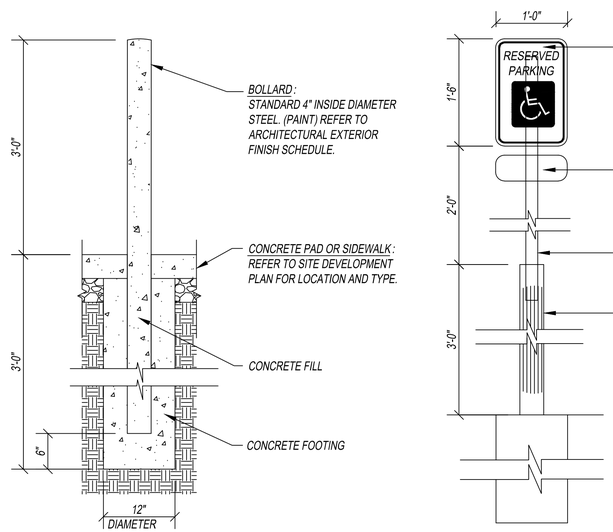
4" Perforated PVC Drainage Tile (if required by manufacuturer)

NOTE:
SYMBOL TO BE PAINTED (HIGHWAY GRADE) OR DECAL ADHERED TO PAVEMENT. COLOR TO MATCH STRIPPING UNLESS OTHERWISE REQUIRED BY LOCAL ACCESSIBILITY STANDARDS.



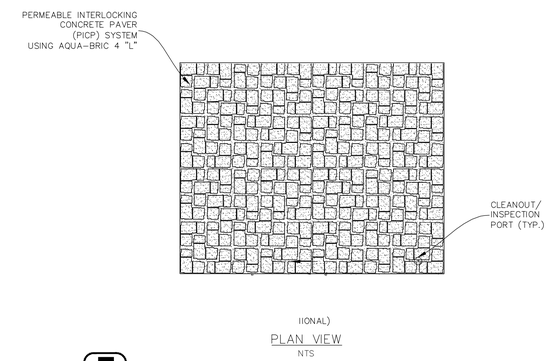
5 C1.3 ACCESSIBLE PARKING STRIPE DETAIL

NOT TO SCALE



6 C1.3 STEEL BOLLARD AND HANDICAP SIGN DETAIL

NOT TO SCALE

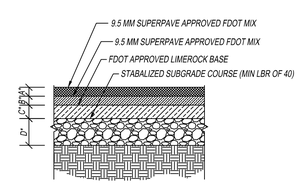


7 C1.3 PERMEABLE PAVERS

NOT TO SCALE

TABLE 1**		
PAVEMENT TYPE	FLEXIBLE PAVEMENT SECTION	
	STANDARD DUTY	PAVEMENT TYPE
A*	1 INCH	ASPHALTIC CONCRETE SURFACE COURSE (SUCH AS A 9.5 MM SUPER PAVE APPROVED FDOT MIX)
B*	1 INCH	ASPHALTIC CONCRETE STRUCTURAL COURSE (SUCH AS A 9.5 MM SUPER PAVE APPROVED FDOT MIX)
C*	6 INCHES	FDOT APPROVED LIMEROCK BASE OR GRADED AGGREGATE BASE (GAB) MATERIAL
D*	12 INCH	STABALIZED SUBGRADE COURSE (MINIMUM LBR OF 40)

**PAVEMENT DESIGN IS BASED ON GEOTECHNICAL REPORT PROVIDED BY THE OWNER DATED 04/26/2019. ANDERSON ENGINEERING PROVIDES NO WARRANTY OR GUARANTEE FOR THIS DESIGN. CONTRACTOR IS RESPONSIBLE TO FULLY READ AND FOLLOW THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL REPORT.



8 C1.3 ASPHALT PAVEMENT SECTIONS

NOT TO SCALE

ANDERSON ENGINEERING
EMPLOYEE OWNED
ENGINEERS • SURVEYORS • LABORATORIES • DRILLING
35008 EMERALD COAST PKY, SUITE 204 • DESTIN, FL 32541 • PHONE (850) 714-8100
A LICENSED FLORIDA ENGINEERING CORPORATION - 9662

DRAWING INFO.

DRAWN BY:	NLL
CHECK BY:	BDO
LICENSE NO.	79822
DATE:	6-19-2019
FIELD BOOK:	
JOB NUMBER:	19FL10002

REVISIONS

NO.	DESCRIPTION	BY	DATE

© COPYRIGHT ANDERSON ENGINEERING, INC. 2018

STEPHEN HULL
COMMERCIAL PROPERTY

SITE DETAILS

ST. GEORGE ISLAND
FRANKLIN COUNTY, FLORIDA

PRELIMINARY

DRAWING NO. 19FL10002-1

SHEET NUMBER C1.3

PROJECT DESCRIPTION AND SIZE

1.) BUILDING TYPE IS: TYPE IV BUSINESS OCCUPANCY

2.) THE SIZE OF THE BUILDING IS AS FOLLOWS:

FIRST FLOOR HEATED AND COOLED:	5,450 SQ.FT.
MEZZANINE HEATED AND COOLED:	775 SQ.FT.
TOTAL HEATED AND COOLED:	6,225 SQ.FT.

2.) PARKING REQUIREMENTS:

COMMERCIAL/ RETAIL	1,650 SQ.FT.
REQUIRED PARKING:	4 SPACES PER 1,000 SQ.FT. = 7 PARKING SPACES
RESTAURANT	98 SEATS
REQUIRED PARKING:	1 SPACES PER 3 SEATS = 34 PARKING SPACES
COFFEE BAR	9 SEATS
REQUIRED PARKING:	1 SPACES PER 3 SEATS = 3 PARKING SPACES
REQUIRED PARKING:	42 PARKING SPACES REQUIRED

COMMERCIAL BUILDING
GULF BEACH DRIVE
ST GEORGES ISLAND, FLORIDA

SHEET LABEL	SHEET TITLE	SEQ. NUMBER	SHEET LABEL	SHEET TITLE	SEQ. NUMBER	SHEET LABEL	SHEET TITLE	SEQ. NUMBER
T1-1	TITLE SHEET	1 OF 33	A2-1	ELEVATIONS	12 OF 33	A4-6	SECTIONS	23 OF 33
C1-1	SITE PLAN	2 OF 33	A2-2	ELEVATIONS	13 OF 33	A5-1	DETAILS	24 OF 33
S-1	STRUCTURAL NOTES	3 OF 33	A3-1	WINDOW, DOOR, BRACKET, LOUVER, & FINISH SCHEDULES	14 OF 33	A5-2	DETAILS	25 OF 33
S-2	FOUNDATION PLAN	4 OF 33	A3-2	WINDOW & DOOR DETAILS	15 OF 33	A5-3	DETAILS	26 OF 33
S-3	ROOF FRAMING & TOWER	5 OF 33	A3-3	WINDOW & DOOR DETAILS	16 OF 33	A6-1	INTERIOR ELEVATIONS	27 OF 33
S-4	STRUCTURAL DETAILS	6 OF 33	A3-4	DOOR DETAILS	17 OF 33	E1-1	ELECTRICAL LEGEND	28 OF 33
S-5	STRUCTURAL DETAILS	7 OF 33	A4-1	BUILDING SECTION	18 OF 33	E1-2	LIGHTING PLAN	29 OF 33
S-6	STRUCTURAL DETAILS	8 OF 33	A4-2	BUILDING SECTION	19 OF 33	E1-3	POWER PLAN	30 OF 33
S-7	STRUCTURAL DETAILS	9 OF 33	A4-3	SECTIONS	20 OF 33	E1-4	ELECTRICAL SITE PLAN	31 OF 33
A1-1	FIRST FLOOR / NOTES	10 OF 33	A4-4	SECTIONS	21 OF 33	M1-1	FIRST FLOOR HVAC, SCHEDULES, DETAILS, LEGEND	32 OF 33
A1-2	ROOF PLAN / NOTES	11 OF 33	A4-5	SECTIONS	22 OF 33	P1-1	FIRST FLOOR PLUMB., FIXTURE SCHED., WASTE RISER	33 OF 33

ARCHISCAPES
ARCHITECTURE
INTERIOR DESIGN
PLANNING
GRAPHIC DESIGN

TEL:
1-850-835-0404
FAX:
1-850-835-0410
WEB PAGE:
ARCHISCAPES.COM

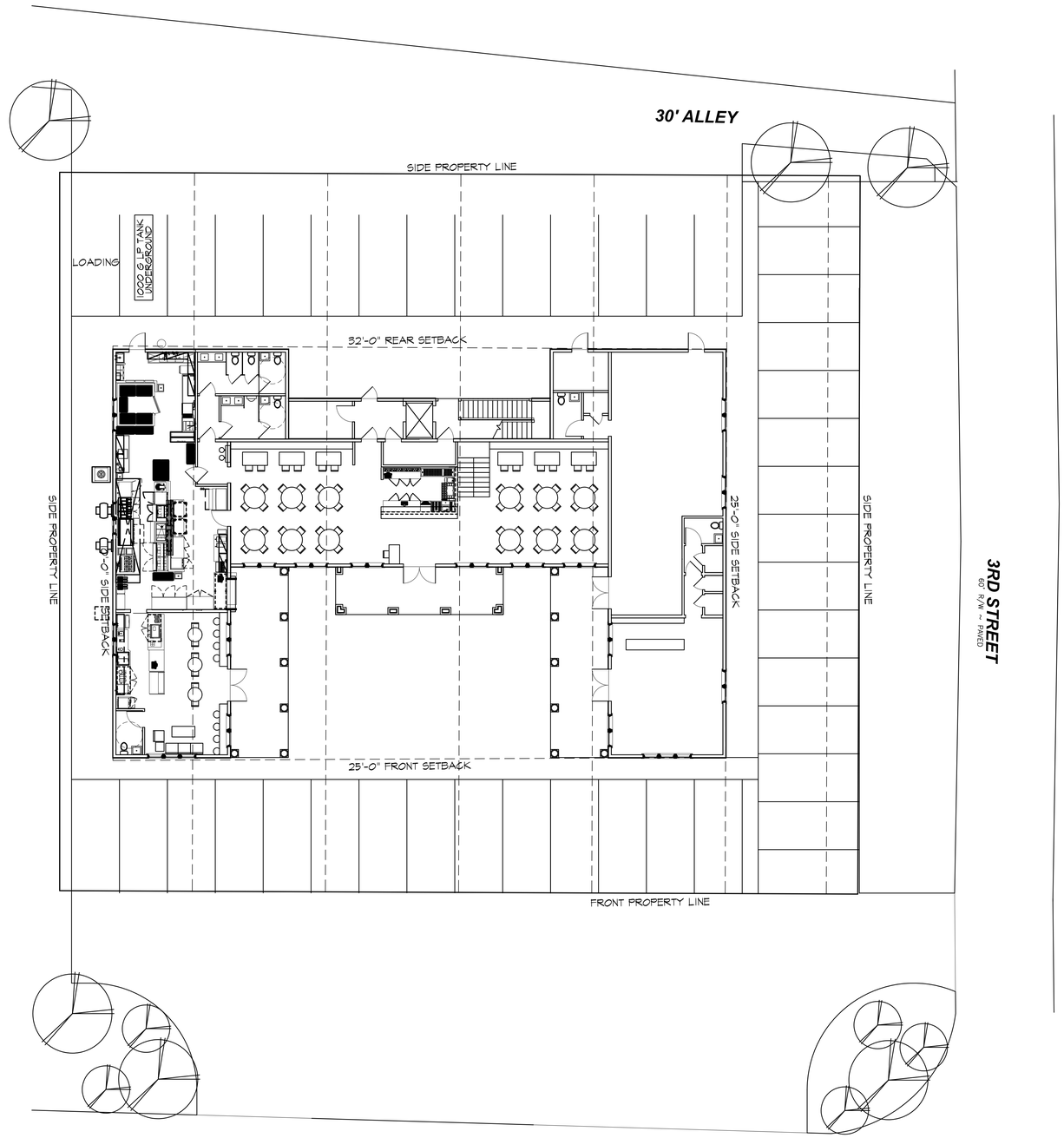
STATE OF FLORIDA
CHRIS STOYLES
AR 92280
REGISTERED ARCHITECT

ARCHITECT SEAL

ISSUE:
PERMIT
DATE:
JUNE, 2019
PROJECT#:
A1815
ARCHITECT
CHRIS STOYLES
DRAWN BY:
CHRIS STOYLES
SHEET TITLE
• TITLE PAGE
• NOTES

COMMERCIAL BUILDING
GULF BEACH DRIVE
ST. GEORGES ISLAND, FLORIDA

T1-1



GENERAL NOTES

1. THIS IS A CONCEPTUAL SITE PLAN ONLY. CONTRACTOR TO ENGINEER ALL UTILITY CONNECTIONS, GRADING, ETC..
2. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
3. CONTRACTOR TO VERIFY ALL GRADES. IF THERE ARE ANY DISCREPANCIES, NOTIFY ARCHITECT.

1 / C1-1 SITE PLAN

SCALE: 1" = 10'-0"

0' 5' 10' 20'

ARCHISCAPES
ARCHITECTURE
INTERIOR DESIGN
PLANNING
GRAPHIC DESIGN

TEL:
1-850-835-0404
FAX:
1-850-835-0410
WEB PAGE:
ARCHISCAPES.COM

ISSUE:
REVIEW
DATE:
MARCH, 2019
PROJECT#:
A1815
ARCHITECT
CHRIS STOYLES
DRAWN BY:
CHRIS STOYLES
SHEET TITLE
• SITE PLAN
• NOTES

COMMERCIAL BUILDING
GULF BEACH DRIVE
ST. GEORGES ISLAND, FLORIDA

C1-1

GENERAL NOTES

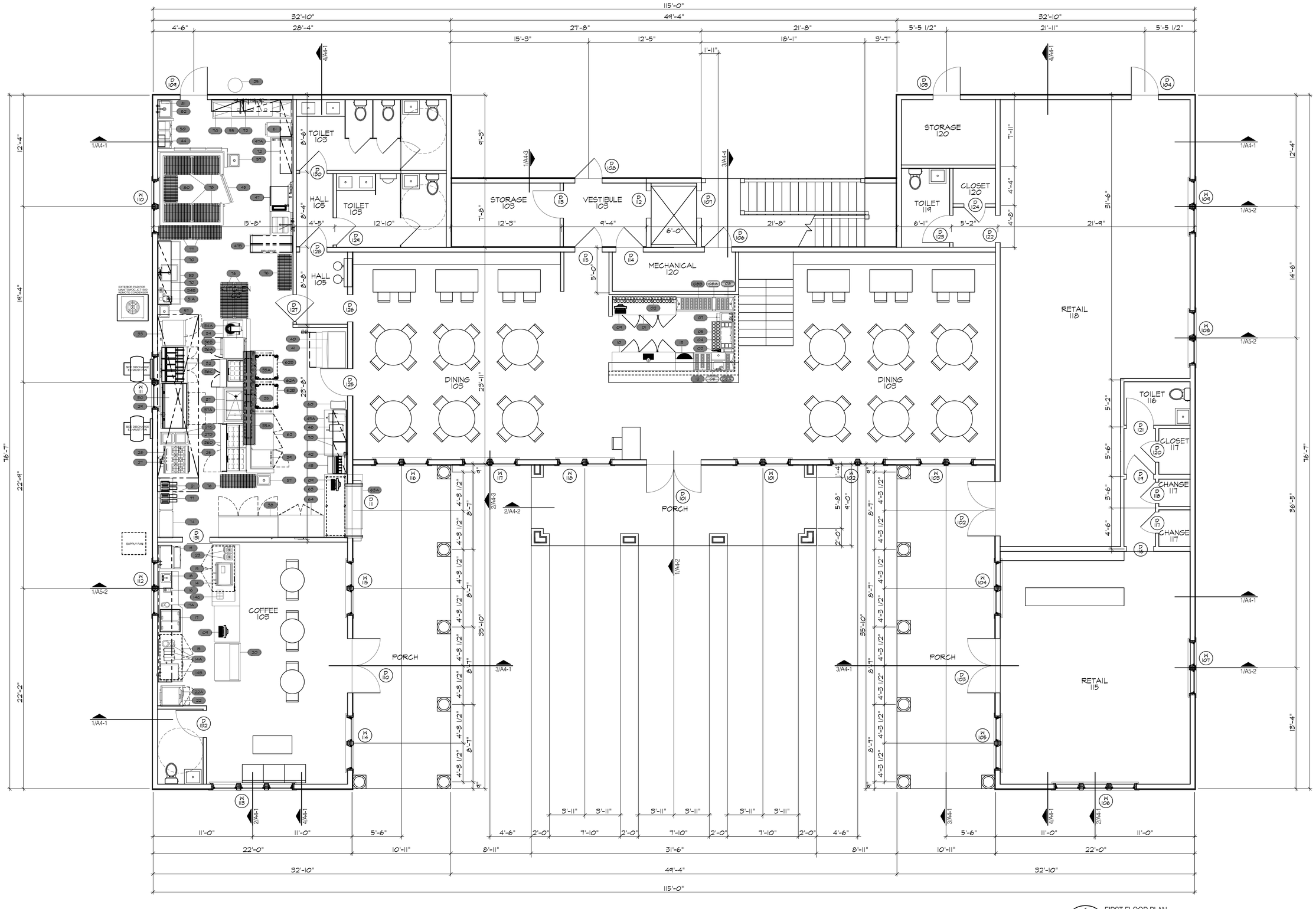
1) CONTRACTOR IS TO COMPLY WITH ALL STATE AND LOCAL CODES, COVENANTS, AND LAWS.
2) CONTRACTOR IS TO THOROUGHLY READ THE SPECIFICATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION SO THAT THE REQUIREMENTS OF EVERY PHASE OF THE PROJECT ARE FULLY UNDERSTOOD.
3) ALL EXTERIOR DIMENSIONS ARE TO OUTSIDE OF STUD, UNLESS OTHERWISE SHOWN.
4) ALL EXTERIOR COLUMNS ARE DIMENSIONED FROM CENTER LINE.
5) ALL INTERIOR DIMENSIONS ARE TO CENTER OF STUD, UNLESS OTHERWISE SHOWN
6) ALL EXTERIOR COLUMNS ARE DIMENSIONED FROM CENTER LINE.
7) NOTIFY ARCHITECT IF THERE ARE ANY DISCREPANCIES WITH DIMENSIONS.
8) CONTRACTOR TO COORDINATE INSTALLATION OF ALL APPLIANCES, PLUMBING FIXTURES, AND SINKS WITH CABINET WORK.
9) CONTRACTOR TO VERIFY ALL FINISHED DIMENSIONS PRIOR TO CABINET AND TRIM WORK.
10) CONTRACTOR TO COORDINATE INSTALLATION OF ALL MECHANICAL, ELECTRICAL, & SPRINKLER SYSTEMS W/ CEILING HEIGHTS.

LEGEND

- EXTERIOR WALL CONSISTING OF HARDIE SIDING ON SHEATHING, 2x6 WOOD STUD WALL W/ BATT INSULATION
- INTERIOR WALL CONSISTING OF 6" WOOD STUD FRAMING W/ WALL FINISH ON SHEATHING, BOTH SIDES, & BATT INSULATION IN CAVITY.
- INTERIOR WALL CONSISTING OF 4" WOOD STUD FRAMING W/ WALL FINISH ON SHEATHING, BOTH SIDES, & BATT INSULATION IN CAVITY.
- INTERIOR WALL CONSISTING OF 6" WOOD STUD FRAMING W/ WALL FINISH ON GYPSUM BD., BOTH SIDES, & BATT INSULATION IN CAVITY.
- W 000 — WINDOW MARKER
- D 000 — DOOR MARKER
- X/AX-X — SECTION MARKER
- X/AX-X — ELEVATION MARKER
- F.E.C. — FIRE EXTINGUISHER CABINET
- DRINKING FOUNTAIN - COOLER IN ATTIC

SEATING

RESTAURANT:	46 TABLE SEATING & BAR SEATING	1 PARKING SPACE PER 3 SEATS
COFEE:	6 TABLE SEATING & BAR SEATING	34 SPACES
COMMERCIAL:	1,400 SQ.FT.	7 SPACES REQUIRED
TOTAL PARKING REQUIRED:		46 SPACES REQUIRED



1 A1-1 FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

0' 1' 5' 10'

ARCHISCAPES
ARCHITECTURE
INTERIOR DESIGN
PLANNING
GRAPHIC DESIGN

TEL:
1-850-835-0404
FAX:
1-850-835-0410
WEB PAGE:
ARCHISCAPES.COM

STATE OF FLORIDA
CHRIS STOYLES
AR 92280
REGISTERED ARCHITECT

ARCHITECT SEAL

ISSUE:
PERMIT
DATE:
JUNE, 2019
PROJECT#:
A1815
ARCHITECT
CHRIS STOYLES
DRAWN BY:
CHRIS STOYLES
SHEET TITLE
- FIRST FLOOR PLAN
- NOTES

COMMERCIAL BUILDING
GULF BEACH DRIVE
ST. GEORGES ISLAND, FLORIDA

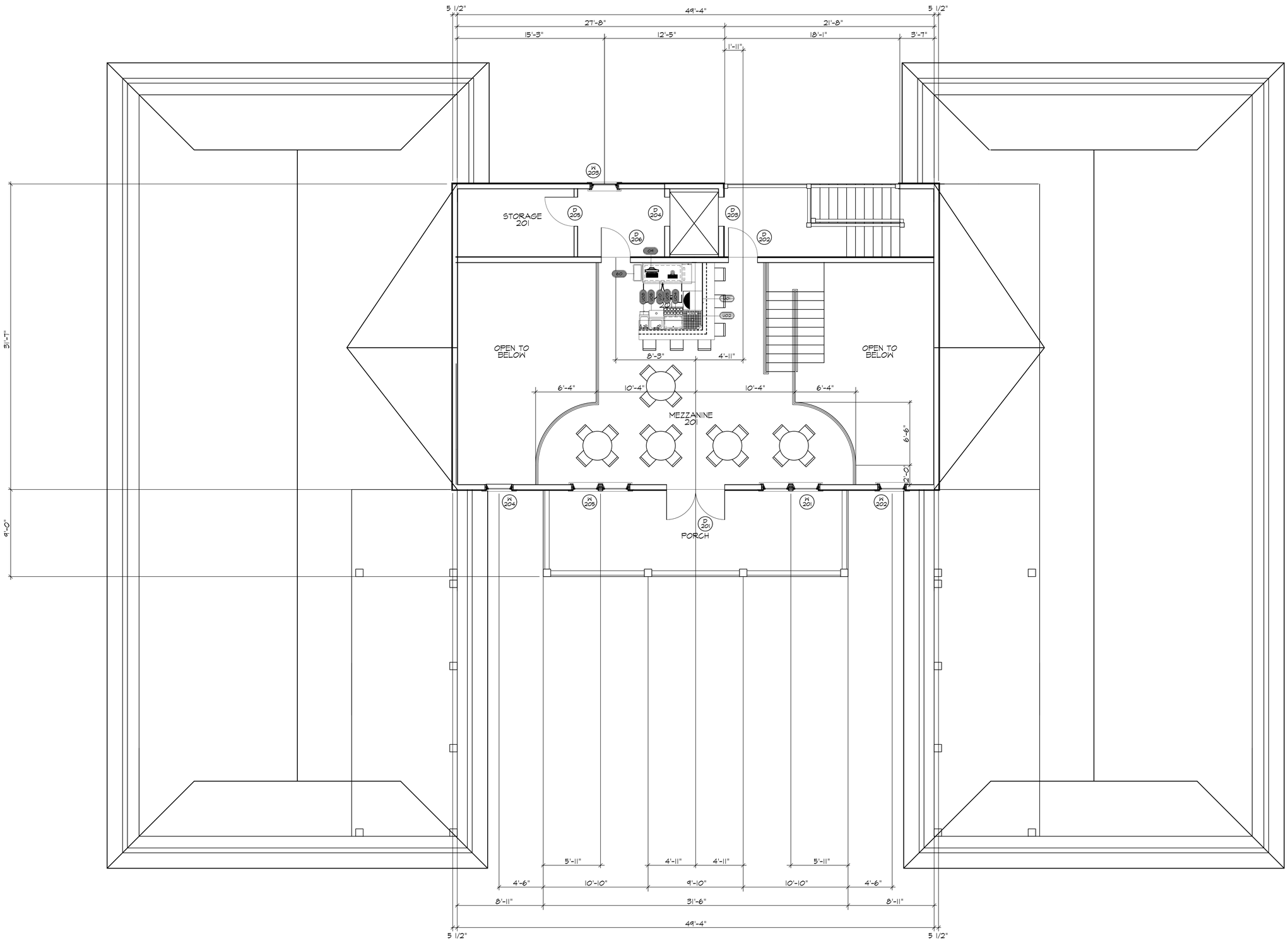
A1-1

GENERAL NOTES

1) CONTRACTOR IS TO COMPLY WITH ALL STATE AND LOCAL CODES, COVENANTS, AND LAWS.
2) CONTRACTOR IS TO THOROUGHLY READ THE SPECIFICATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION SO THAT THE REQUIREMENTS OF EVERY PHASE OF THE PROJECT ARE FULLY UNDERSTOOD.
3) ALL EXTERIOR DIMENSIONS ARE TO OUTSIDE OF STUD, UNLESS OTHERWISE SHOWN.
4) ALL EXTERIOR COLUMNS ARE DIMENSIONED FROM CENTER LINE.
5) ALL INTERIOR DIMENSIONS ARE TO CENTER OF STUD, UNLESS OTHERWISE SHOWN
6) ALL EXTERIOR COLUMNS ARE DIMENSIONED FROM CENTER LINE.
7) NOTIFY ARCHITECT IF THERE ARE ANY DISCREPANCIES WITH DIMENSIONS.
8) CONTRACTOR TO COORDINATE INSTALLATION OF ALL APPLIANCES, PLUMBING FIXTURES, AND SINKS WITH CABINET WORK.
9) CONTRACTOR TO VERIFY ALL FINISHED DIMENSIONS PRIOR TO CABINET AND TRIM WORK.
10) CONTRACTOR TO COORDINATE INSTALLATION OF ALL MECHANICAL, ELECTRICAL, & SPRINKLER SYSTEMS W/ CEILING HEIGHTS.

LEGEND

- EXTERIOR WALL CONSISTING OF HARDIE SIDING ON SHEATHING, 2x6 WOOD STUD WALL W/ BATT INSULATION
- INTERIOR WALL CONSISTING OF 6" WOOD STUD FRAMING W/ WALL FINISH ON SHEATHING, BOTH SIDES, & BATT INSULATION IN CAVITY.
- INTERIOR WALL CONSISTING OF 4" WOOD STUD FRAMING W/ WALL FINISH ON SHEATHING, BOTH SIDES, & BATT INSULATION IN CAVITY.
- INTERIOR WALL CONSISTING OF 6" WOOD STUD FRAMING W/ WALL FINISH ON GYPSUM BD., BOTH SIDES, & BATT INSULATION IN CAVITY.
- W 200 — WINDOW MARKER
- D 200 — DOOR MARKER
- X/AX-X — SECTION MARKER
- X/AX-X — ELEVATION MARKER
- F.E.C. — FIRE EXTINGUISHER CABINET
- DRINKING FOUNTAIN - COOLER IN ATTIC



1 / A1-2 SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

0' 1' 5' 10'

ARCHISCAPES
ARCHITECTURE
INTERIOR DESIGN
PLANNING
GRAPHIC DESIGN

TEL:
1-850-835-0404
FAX:
1-850-835-0410
WEB PAGE:
ARCHISCAPES.COM

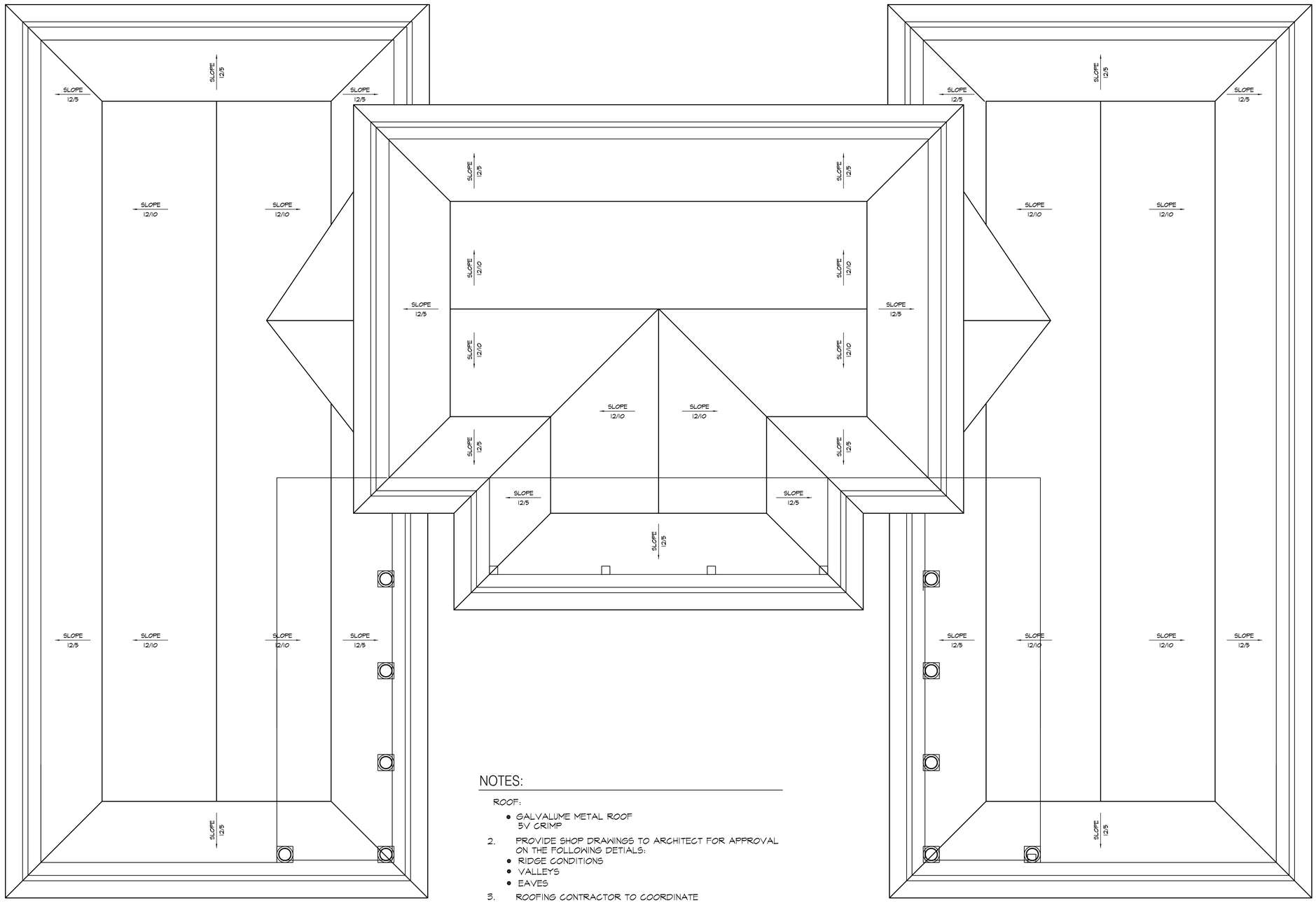
STATE OF FLORIDA
CHRIS STOYLES
AR 92280
REGISTERED ARCHITECT

ARCHITECT SEAL

ISSUE:
PERMIT
DATE:
JUNE, 2019
PROJECT#:
A1815
ARCHITECT
CHRIS STOYLES
DRAWN BY:
CHRIS STOYLES
SHEET TITLE
- THIRD FLOOR PLAN
- NOTES

COMMERCIAL BUILDING
GULF BEACH DRIVE
ST. GEORGES ISLAND, FLORIDA

A1-2



NOTES:

ROOF:

- GALVALUME METAL ROOF
  5V CRIMP

2. PROVIDE SHOP DRAWINGS TO ARCHITECT FOR APPROVAL ON THE FOLLOWING DETIALS:
   - RIDGE CONDITIONS
   - VALLEYS
   - EAVES
3. ROOFING CONTRACTOR TO COORDINATE WITH LIGHTNING PROTECTION DEVICES

1 A1-3 ROOF PLAN

SCALE: 1/4" = 1'-0"

0' 1' 5' 10'

ARCHISCAPES
ARCHITECTURE
INTERIOR DESIGN
PLANNING
GRAPHIC DESIGN

TEL:
1-850-835-0404
FAX:
1-850-835-0410
WEB PAGE:
ARCHISCAPES.COM

STATE OF FLORIDA
CHRIS STOYLES
AR 92280
REGISTERED ARCHITECT

ARCHITECT SEAL

ISSUE:
PERMIT
DATE:
JUNE, 2019
PROJECT#:
A1815
ARCHITECT
CHRIS STOYLES
DRAWN BY:
CHRIS STOYLES
SHEET TITLE
- ROOF PLAN
- NOTES

COMMERCIAL BUILDING
GULF BEACH DRIVE
ST. GEORGES ISLAND, FLORIDA

A1-3

1 A2-1 FRONT ELEVATION

SCALE: 1/4" = 1'-0"

0' 1' 5' 10'

ARCHISCAPES

ARCHITECTURE
INTERIOR DESIGN
PLANNING
GRAPHIC DESIGN

TEL:
1-850-835-0404

FAX:
1-850-835-0410

WEB PAGE:
ARCHISCAPES.COM

STATE OF FLORIDA
CHRIS STOYLES
AR 92280
REGISTERED ARCHITECT

ARCHITECT SEAL

ISSUE:
PERMIT

DATE:
JUNE, 2019

PROJECT#:
A1815

ARCHITECT
CHRIS STOYLES

DRAWN BY:
CHRIS STOYLES

SHEET TITLE
- ELEVATION
- NOTES

COMMERCIAL BUILDING
GULF BEACH DRIVE
ST. GEORGES ISLAND, FLORIDA

A2-1

1 A2-2 REAR ELEVATION

SCALE: 1/4" = 1'-0"

0' 1' 5' 10'

ARCHISCAPES

ARCHITECTURE
INTERIOR DESIGN
PLANNING
GRAPHIC DESIGN

TEL:
1-850-835-0404

FAX:
1-850-835-0410

WEB PAGE:
ARCHISCAPES.COM

STATE OF FLORIDA
CHRIS STOYLES
AR 92280
REGISTERED ARCHITECT

ARCHITECT SEAL

ISSUE:
PERMIT

DATE:
JUNE, 2019

PROJECT#:
A1815

ARCHITECT
CHRIS STOYLES

DRAWN BY:
CHRIS STOYLES

SHEET TITLE
- ELEVATION
- NOTES

COMMERCIAL BUILDING
GULF BEACH DRIVE
ST. GEORGES ISLAND, FLORIDA

A2-2

1 A2-3 SIDE ELEVATION

SCALE: 1/4" = 1'-0"

0' 1' 5' 10'

ARCHISCAPES
ARCHITECTURE
INTERIOR DESIGN
PLANNING
GRAPHIC DESIGN

TEL:
1-850-835-0404
FAX:
1-850-835-0410
WEB PAGE:
ARCHISCAPES.COM

STATE OF FLORIDA
CHRIS STOYLES
AR 92280
REGISTERED ARCHITECT

ARCHITECT SEAL

ISSUE:
PERMIT
DATE:
JUNE, 2019
PROJECT#:
A1815
ARCHITECT
CHRIS STOYLES
DRAWN BY:
CHRIS STOYLES
SHEET TITLE
• ELEVATION
• NOTES

COMMERCIAL BUILDING
GULF BEACH DRIVE
ST. GEORGES ISLAND, FLORIDA

A2-3

1 A2-4 SIDE ELEVATION

SCALE: 1/4" = 1'-0"

0' 1' 5' 10'

ARCHISCAPES

ARCHITECTURE
INTERIOR DESIGN
PLANNING
GRAPHIC DESIGN

TEL:
1-850-835-0404

FAX:
1-850-835-0410

WEB PAGE:
ARCHISCAPES.COM

STATE OF FLORIDA
CHRIS STOYLES
AR 92280
REGISTERED ARCHITECT

ARCHITECT SEAL

ISSUE:
PERMIT

DATE:
JUNE, 2019

PROJECT#:
A1815

ARCHITECT
CHRIS STOYLES

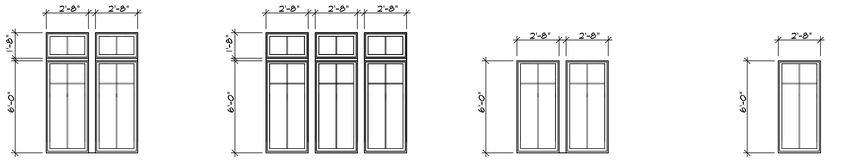
DRAWN BY:
CHRIS STOYLES

SHEET TITLE
• ELEVATION
• NOTES

COMMERCIAL BUILDING
GULF BEACH DRIVE
ST. GEORGES ISLAND, FLORIDA

A2-4

WINDOW TYPES



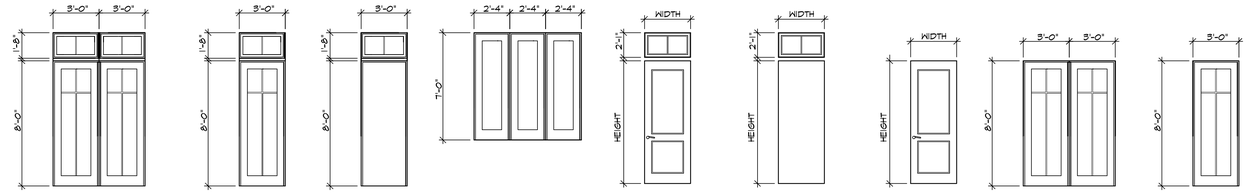
A
VINYL
FIXED WINDOW
W/ TRANSOM
7/8" SDL MUNTIN
JELD-WEN ATLANTIC

B
VINYL
FIXED WINDOW
W/ TRANSOM
7/8" SDL MUNTIN
JELD-WEN ATLANTIC

C
VINYL
FIXED WINDOW
7/8" SDL MUNTIN
JELD-WEN ATLANTIC

D
VINYL
FIXED WINDOW
7/8" SDL MUNTIN
JELD-WEN ATLANTIC

DOOR TYPES



A
SPANISH CEDAR
EXTERIOR DOOR
W/ TRANSOM
7/8" SDL MUNTIN
CUSTOM

B
VINYL
EXTERIOR DOOR
W/ TRANSOM
7/8" SDL MUNTIN
NEUMA

C
VINYL
EXTERIOR DOOR
W/ TRANSOM
SOLID PANEL
NEUMA

D
ALUMINUM
EURO DOOR
BIFOLD

E
PAINTED WOOD
INTERIOR DOOR
W/ TRANSOM
7/8" SDL MUNTIN

F
CASED OPENING
W/ TRANSOM
7/8" SDL MUNTIN

G
PAINTED WOOD
INTERIOR DOOR

H
VINYL
EXTERIOR DOOR
W/ TRANSOM
7/8" SDL MUNTIN
NEUMA

I
VINYL
EXTERIOR DOOR
W/ TRANSOM
7/8" SDL MUNTIN
NEUMA

WINDOW SCHEDULE

FIRST FLOOR

MARK	TYPE	HEAD HEIGHT	HEAD DETAIL	SILL DETAIL	JAMB DETAIL	GLAZING	NOTES
W100	A	10'-4" FROM F.F.	1/A3-2	1/A3-2	4&5/A3-3	MEET ALL CODES	PROVIDE IMPACT GLASS
W101	A	10'-4" FROM F.F.	1/A3-2	1/A3-2	4&5/A3-3	MEET ALL CODES	PROVIDE IMPACT GLASS
W102	A	10'-4" FROM F.F.	1/A3-2	1/A3-2	4&5/A3-3	MEET ALL CODES	PROVIDE IMPACT GLASS
W103	A	10'-4" FROM F.F.	1/A3-2	1/A3-2	4&5/A3-3	MEET ALL CODES	PROVIDE IMPACT GLASS
W104	A	10'-4" FROM F.F.	1/A3-2	1/A3-2	4&5/A3-3	MEET ALL CODES	PROVIDE IMPACT GLASS
W105	A	10'-4" FROM F.F.	1/A3-2	1/A3-2	4&5/A3-3	MEET ALL CODES	PROVIDE IMPACT GLASS
W106	B	10'-4" FROM F.F.	1/A3-2	1/A3-2	4&5/A3-3	MEET ALL CODES	PROVIDE IMPACT GLASS
W107	A	10'-4" FROM F.F.	1/A3-2	1/A3-2	4&5/A3-3	MEET ALL CODES	PROVIDE IMPACT GLASS
W108	A	10'-4" FROM F.F.	1/A3-2	1/A3-2	4&5/A3-3	MEET ALL CODES	PROVIDE IMPACT GLASS
W109	A	10'-4" FROM F.F.	1/A3-2	1/A3-2	4&5/A3-3	MEET ALL CODES	PROVIDE IMPACT GLASS
W110	A	10'-4" FROM F.F.	1/A3-2	1/A3-2	4&5/A3-3	MEET ALL CODES	PROVIDE IMPACT GLASS
W111	A	10'-4" FROM F.F.	1/A3-2	1/A3-2	4&5/A3-3	MEET ALL CODES	PROVIDE IMPACT GLASS
W112	A	10'-4" FROM F.F.	1/A3-2	1/A3-2	4&5/A3-3	MEET ALL CODES	PROVIDE IMPACT GLASS
W113	B	10'-4" FROM F.F.	1/A3-2	1/A3-2	4&5/A3-3	MEET ALL CODES	PROVIDE IMPACT GLASS
W114	A	10'-4" FROM F.F.	1/A3-2	1/A3-2	4&5/A3-3	MEET ALL CODES	PROVIDE IMPACT GLASS
W115	A	10'-4" FROM F.F.	1/A3-2	1/A3-2	4&5/A3-3	MEET ALL CODES	PROVIDE IMPACT GLASS
W116	A	10'-4" FROM F.F.	1/A3-2	1/A3-2	4&5/A3-3	MEET ALL CODES	PROVIDE IMPACT GLASS
W117	A	10'-4" FROM F.F.	6/A3-3	6/A3-3	4&5/A3-3	MEET ALL CODES	PROVIDE IMPACT GLASS
W118	A	10'-4" FROM F.F.	1/A3-2	1/A3-2	4&5/A3-3	MEET ALL CODES	PROVIDE IMPACT GLASS

SECOND FLOOR

MARK	TYPE	HEAD HEIGHT	HEAD DETAIL	SILL DETAIL	JAMB DETAIL	GLAZING	
W201	C	6'-0" FROM F.F.	1/A3-3	1/A3-3	2&3/A3-3	MEET ALL CODES	PROVIDE IMPACT GLASS
W202	D	6'-0" FROM F.F.	1/A3-3	1/A3-3	2&3/A3-3	MEET ALL CODES	PROVIDE IMPACT GLASS
W203	D	6'-0" FROM F.F.	1/A3-3	1/A3-3	2&3/A3-3	MEET ALL CODES	PROVIDE IMPACT GLASS
W204	D	6'-0" FROM F.F.	1/A3-3	1/A3-3	2&3/A3-3	MEET ALL CODES	PROVIDE IMPACT GLASS
W205	C	6'-0" FROM F.F.	1/A3-3	1/A3-3	2&3/A3-3	MEET ALL CODES	PROVIDE IMPACT GLASS

DOOR SCHEDULE

FIRST FLOOR

MARK	TYPE	HEIGHT	WIDTH	HEAD DETAIL	SILL DETAIL	JAMB DETAIL	NOTES
D101	A	8'-0"	6'-0"	2/A3-2	2/A3-2	5/A3-3	
D102	A	8'-0"	6'-0"	2/A3-2	2/A3-2	5/A3-3	
D103	A	8'-0"	6'-0"	2/A3-2	2/A3-2	5/A3-3	
D104	B	8'-0"	3'-0"	2/A3-2	2/A3-2	5/A3-3	
D105	C	8'-0"	3'-0"	2/A3-2	2/A3-2	5/A3-3	
D106	C	8'-0"	3'-0"	1/A3-4	1/A3-4	3/A3-4	
D107	SLIDING						BY ELEVATOR COMPANY
D108	B	8'-0"	3'-0"	1/A3-4	1/A3-4	3/A3-4	
D109	B	8'-0"	3'-0"	1/A3-4	1/A3-4	3/A3-4	
D110	A	8'-0"	3'-0"	2/A3-4	2/A3-4	3/A3-4	
D111	D	8'-0"	3'-0"	2/A3-4	2/A3-4	3/A3-4	
D112	SLIDING						BY ELEVATOR COMPANY
D113	E	8'-0"	3'-0"	2/A3-4	2/A3-4	3/A3-4	
D114	E	8'-0"	3'-0"	1/A3-4 SIM.	1/A3-4 SIM.	3/A3-4 SIM.	
D115	E	8'-0"	3'-0"	1/A3-4 SIM.	1/A3-4 SIM.	3/A3-4 SIM.	
D116	F	8'-0"	3'-0"	2/A3-4	2/A3-4	3/A3-4	
D117	G	8'-0"	2'-4"	2/A3-4	2/A3-4	3/A3-4	
D118	G	8'-0"	2'-4"	2/A3-4	2/A3-4	3/A3-4	
D119	G	8'-0"	3'-0"	1/A3-4 SIM.	1/A3-4 SIM.	3/A3-4 SIM.	
D120	G	8'-0"	2'-4"	2/A3-4	2/A3-4	3/A3-4	
D121	G	8'-0"	3'-0"	1/A3-4 SIM.	1/A3-4 SIM.	3/A3-4 SIM.	
D122	F	8'-0"	3'-0"	2/A3-4	2/A3-4	3/A3-4	
D123	G	8'-0"	3'-0"	1/A3-4 SIM.	1/A3-4 SIM.	3/A3-4 SIM.	
D124	G	8'-0"	2'-4"	2/A3-4	2/A3-4	3/A3-4	
D125	E	8'-0"	3'-0"	1/A3-4 SIM.	1/A3-4 SIM.	3/A3-4 SIM.	
D126	F	8'-0"	3'-0"	2/A3-4	2/A3-4	3/A3-4	
D127	E	8'-0"	3'-0"	1/A3-4 SIM.	1/A3-4 SIM.	3/A3-4 SIM.	
D128	E	8'-0"	3'-0"	1/A3-4 SIM.	1/A3-4 SIM.	3/A3-4 SIM.	
D129	G	8'-0"	2'-4"	2/A3-4	2/A3-4	3/A3-4	
D130	G	8'-0"	2'-4"	2/A3-4	2/A3-4	3/A3-4	
D131	E	8'-0"	3'-0"	1/A3-4 SIM.	1/A3-4 SIM.	3/A3-4 SIM.	
D132	E	8'-0"	3'-0"	1/A3-4 SIM.	1/A3-4 SIM.	3/A3-4 SIM.	

FIRST FLOOR

MARK	TYPE	HEIGHT	WIDTH	HEAD DETAIL	SILL DETAIL	JAMB DETAIL	NOTES
D201	A	8'-0"	6'-0"	2/A3-2	2/A3-2	5/A3-3	
D202	I	8'-0"	6'-0"	2/A3-2	2/A3-2	5/A3-3	
D203	SLIDING						BY ELEVATOR COMPANY
D204	SLIDING						BY ELEVATOR COMPANY
D205	G	8'-0"	3'-0"	1/A3-4	1/A3-4	3/A3-4	
D206	G	8'-0"	3'-0"	1/A3-4	1/A3-4	3/A3-4	

ARCHISCAPES
ARCHITECTURE
INTERIOR DESIGN
PLANNING
GRAPHIC DESIGN

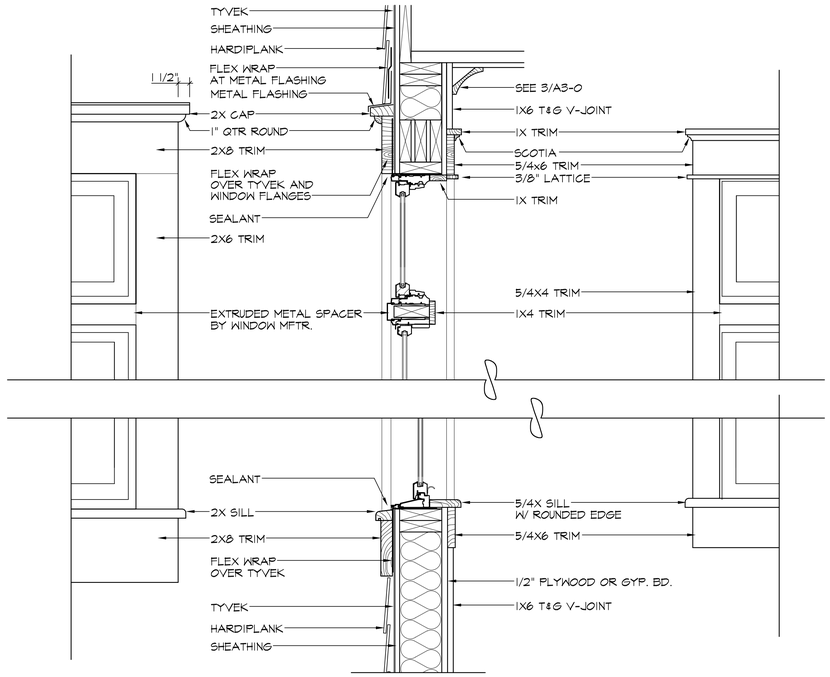
TEL:
1-850-835-0404
FAX:
1-850-835-0410
WEB PAGE:
ARCHISCAPES.COM

STATE OF FLORIDA
CHRIS STOYLES
AR 92280
REGISTERED ARCHITECT
ARCHITECT SEAL

ISSUE:
PERMIT
DATE:
JUNE, 2019
PROJECT#:
A1815
ARCHITECT
CHRIS STOYLES
DRAWN BY:
CHRIS STOYLES
SHEET TITLE
- FIRST FLOOR PLAN
- NOTES

COMMERCIAL BUILDING
GULF BEACH DRIVE
ST. GEORGES ISLAND, FLORIDA

A3-0

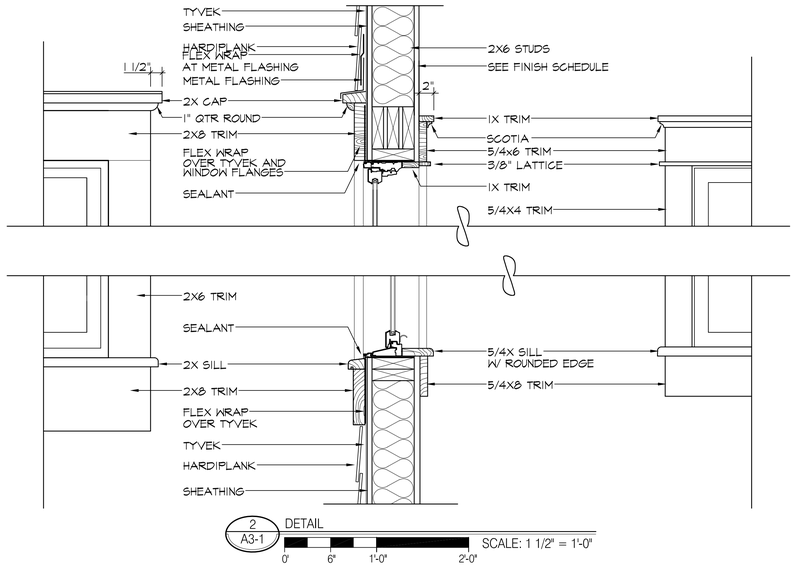


1 A3-1 DETAIL

SCALE: 1 1/2" = 1'-0"

0' 6" 1'-0" 2'-0"

WINDOWS TO BE MULLED TOGETHER AT FACTORY



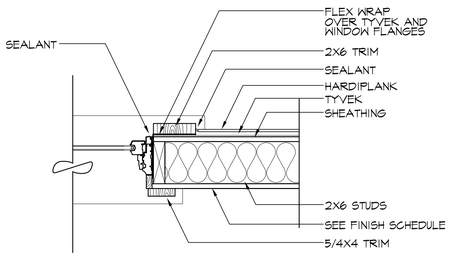
2 A3-1 DETAIL

SCALE: 1 1/2" = 1'-0"

0' 6" 1'-0" 2'-0"

✳ NOTE:

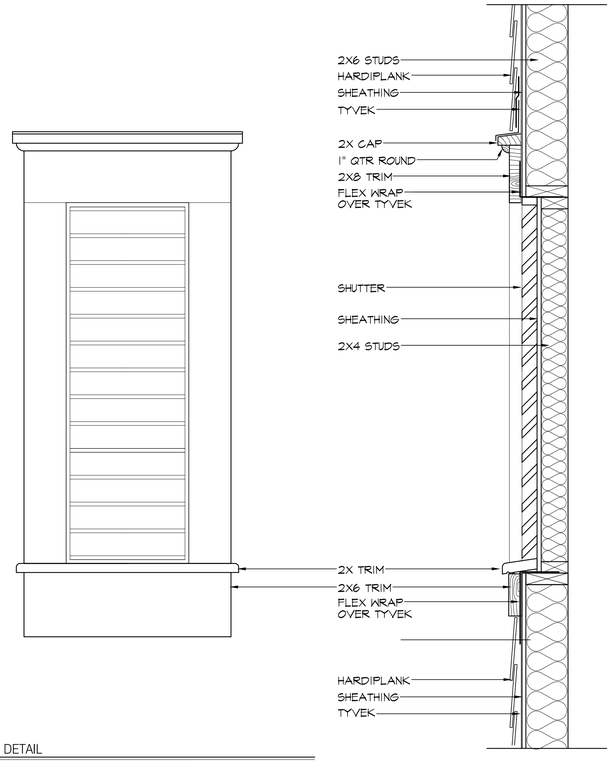
INSTALL TYVEK IN ACCORDANCE WITH MANUFACTURERS GUIDELINES TO ENSURE WATERTIGHT CONDITIONS AND WARRANTY
INSTALL WINDOWS IN ACCORDANCE WITH MANUFACTURERS GUIDELINES TO ENSURE WATERTIGHT CONDITIONS AND WARRANTY



3 A3-1 DETAIL

SCALE: 1 1/2" = 1'-0"

0' 6" 1'-0" 2'-0"



4 A3-1 DETAIL

SCALE: 1 1/2" = 1'-0"

0' 6" 1'-0" 2'-0"

ARCHISCAPES
ARCHITECTURE
INTERIOR DESIGN
PLANNING
GRAPHIC DESIGN

TEL:
1-850-835-0404
FAX:
1-850-835-0410
WEB PAGE:
ARCHISCAPES.COM

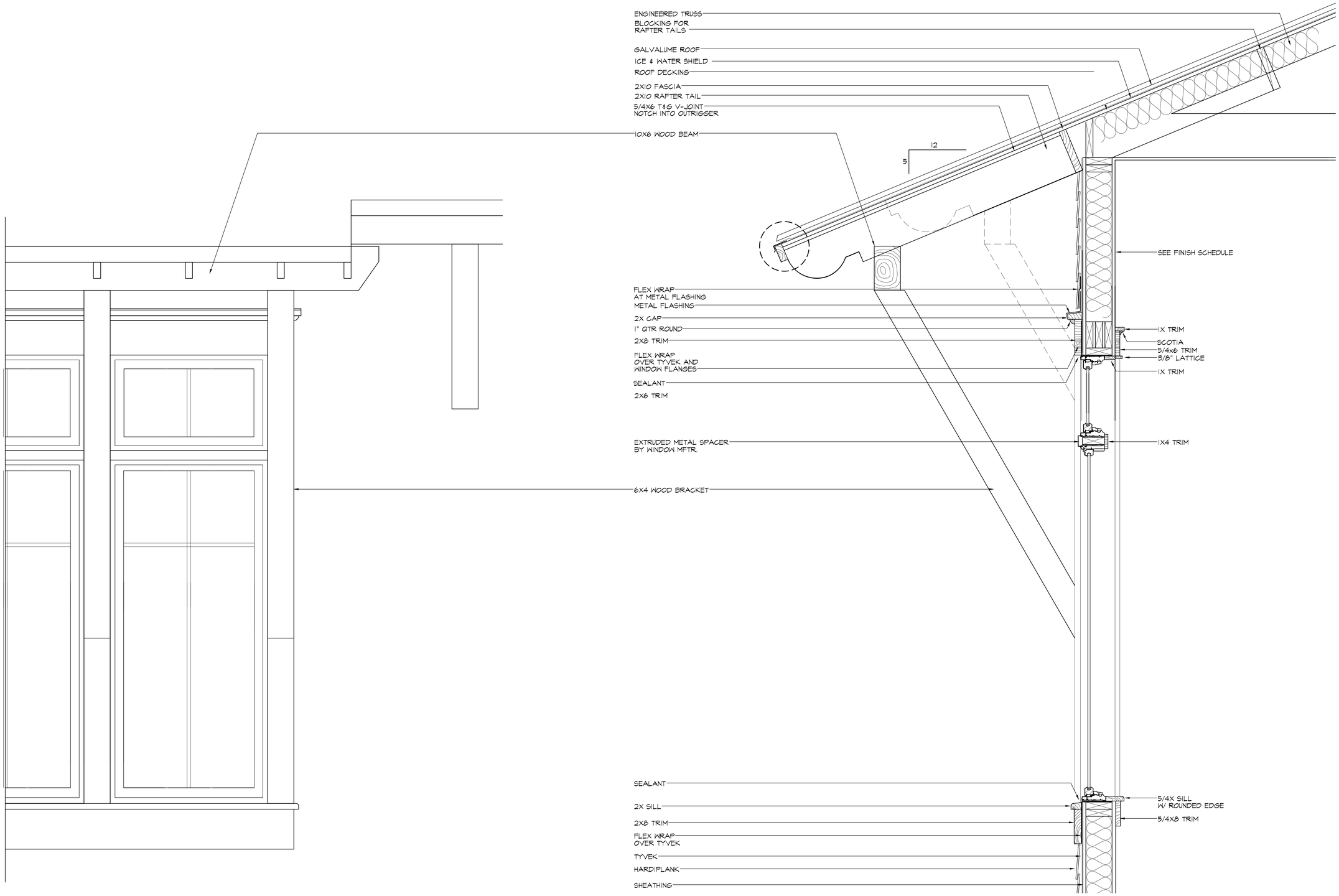
STATE OF FLORIDA
CHRIS STOYLES
AR 92280
REGISTERED ARCHITECT

ARCHITECT SEAL

ISSUE:
PERMIT
DATE:
JUNE, 2019
PROJECT#:
A1815
ARCHITECT
CHRIS STOYLES
DRAWN BY:
CHRIS STOYLES
SHEET TITLE
• WINDOW DETAILS

COMMERCIAL BUILDING
GULF BEACH DRIVE
ST. GEORGES ISLAND, FLORIDA

A3-1



1 A3-2 DETAIL

SCALE: 1 1/2" = 1'-0"

0' 6" 1'-0" 2'-0"

ARCHISCAPES
ARCHITECTURE
INTERIOR DESIGN
PLANNING
GRAPHIC DESIGN

TEL:
1-850-835-0404
FAX:
1-850-835-0410
WEB PAGE:
ARCHISCAPES.COM

STATE OF FLORIDA
CHRIS STOYLES
AR 92280
REGISTERED ARCHITECT

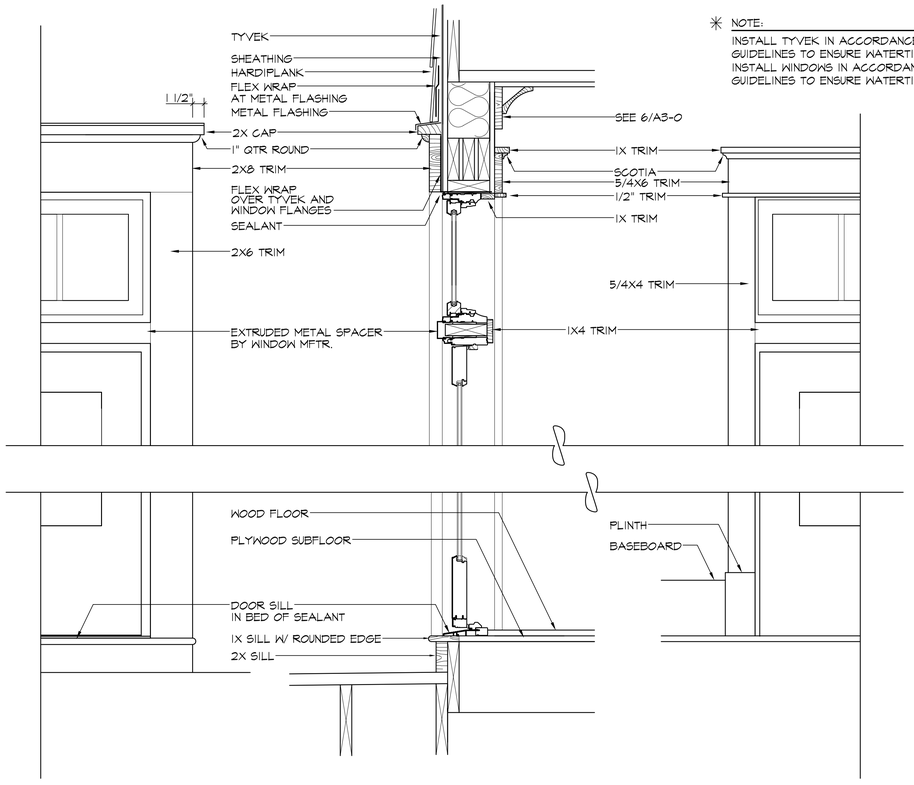
ARCHITECT SEAL

ISSUE:
PERMIT
DATE:
JUNE, 2019
PROJECT#:
A1815
ARCHITECT
CHRIS STOYLES
DRAWN BY:
CHRIS STOYLES
SHEET TITLE
• WINDOW DETAILS

COMMERCIAL BUILDING
GULF BEACH DRIVE
ST. GEORGES ISLAND, FLORIDA

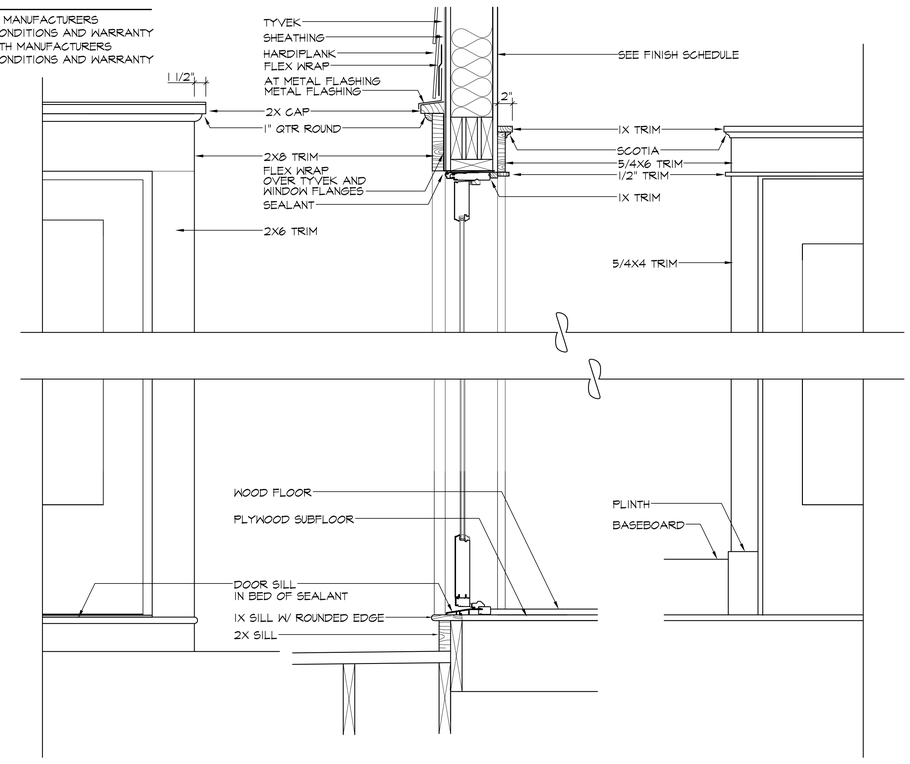
A3-2

✳ NOTE:
INSTALL TYVEK IN ACCORDANCE WITH MANUFACTURERS GUIDELINES TO ENSURE WATERTIGHT CONDITIONS AND WARRANTY
INSTALL WINDOWS IN ACCORDANCE WITH MANUFACTURERS GUIDELINES TO ENSURE WATERTIGHT CONDITIONS AND WARRANTY

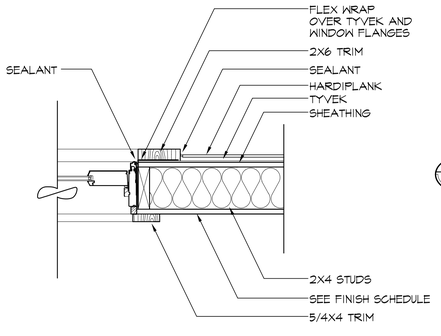


1 A3-3 DETAIL
SCALE: 1 1/2" = 1'-0"
0' 6" 1'-0" 2'-0"

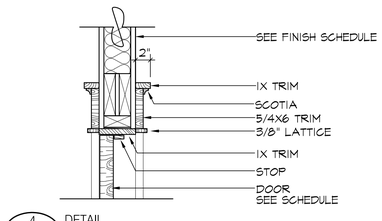
✳ NOTE:
INSTALL TYVEK IN ACCORDANCE WITH MANUFACTURERS INSTALLATION GUIDELINES



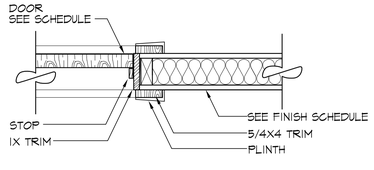
2 A3-3 DETAIL
SCALE: 1 1/2" = 1'-0"
0' 6" 1'-0" 2'-0"



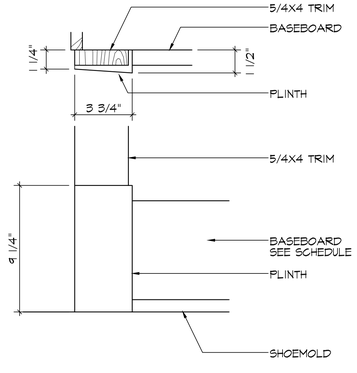
3 A3-3 DETAIL
SCALE: 1 1/2" = 1'-0"
0' 6" 1'-0" 2'-0"



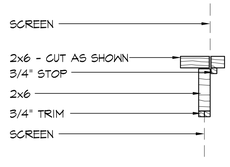
4 A3-3 DETAIL
SCALE: 1 1/2" = 1'-0"
0' 6" 1'-0" 2'-0"



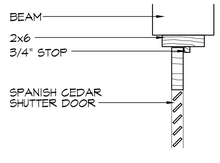
5 A3-3 DETAIL
SCALE: 1 1/2" = 1'-0"
0' 6" 1'-0" 2'-0"



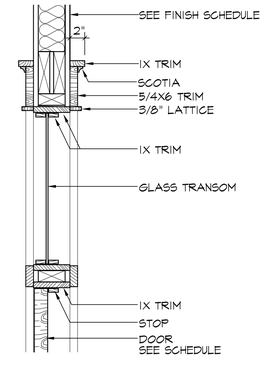
6 A3-3 DETAIL (PLINTH AT ALL DOOR CASINGS)
SCALE: 3" = 1'-0"



7 A3-3 DETAIL
SCALE: 3" = 1'-0"



8 A3-3 DETAIL
SCALE: 3" = 1'-0"



9 A3-3 DETAIL
SCALE: 3" = 1'-0"

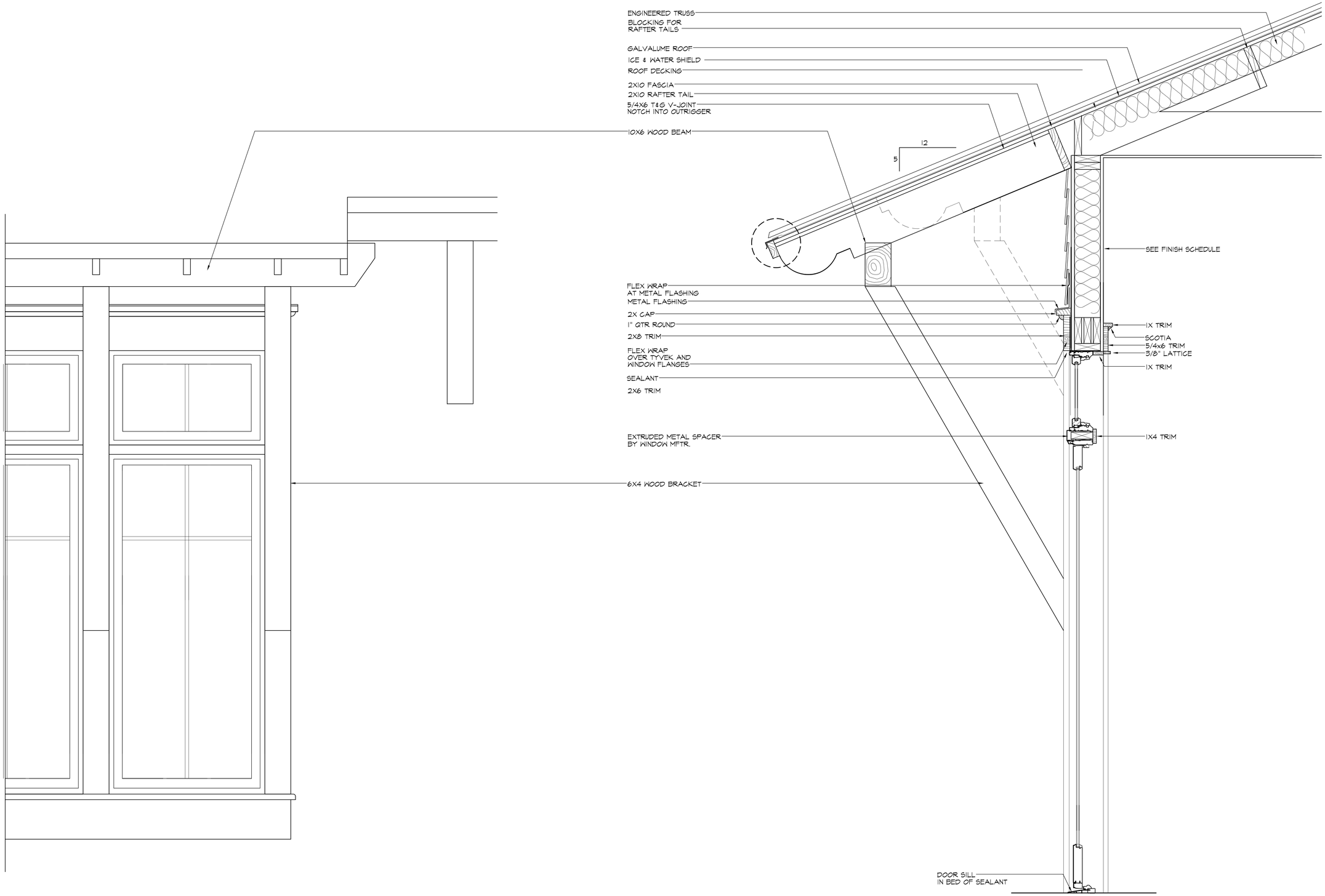
ARCHISCAPES
ARCHITECTURE
INTERIOR DESIGN
PLANNING
GRAPHIC DESIGN
TEL:
1-850-835-0404
FAX:
1-850-835-0410
WEB PAGE:
ARCHISCAPES.COM

STATE OF FLORIDA
CHRIS STOYLES
AR 92280
REGISTERED ARCHITECT
ARCHITECT SEAL

ISSUE:
PERMIT
DATE:
JUNE, 2019
PROJECT#:
A1815
ARCHITECT
CHRIS STOYLES
DRAWN BY:
CHRIS STOYLES
SHEET TITLE
• DOOR DETAILS

COMMERCIAL BUILDING
GULF BEACH DRIVE
ST. GEORGES ISLAND, FLORIDA

A3-3



1 A3-4 DETAIL

SCALE: 1 1/2" = 1'-0"

0' 6" 1'-0" 2'-0"

ARCHISCAPES
ARCHITECTURE
INTERIOR DESIGN
PLANNING
GRAPHIC DESIGN

TEL:
1-850-835-0404
FAX:
1-850-835-0410
WEB PAGE:
ARCHISCAPES.COM

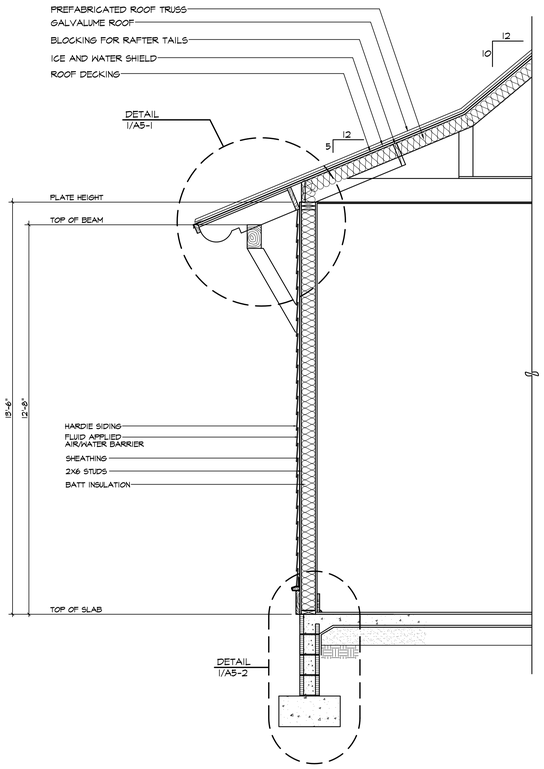
STATE OF FLORIDA
CHRIS STOYLES
AR 92280
REGISTERED ARCHITECT

ARCHITECT SEAL

ISSUE:
PERMIT
DATE:
JUNE, 2019
PROJECT#:
A1815
ARCHITECT
CHRIS STOYLES
DRAWN BY:
CHRIS STOYLES
SHEET TITLE
• DOOR DETAILS

COMMERCIAL BUILDING
GULF BEACH DRIVE
ST. GEORGES ISLAND, FLORIDA

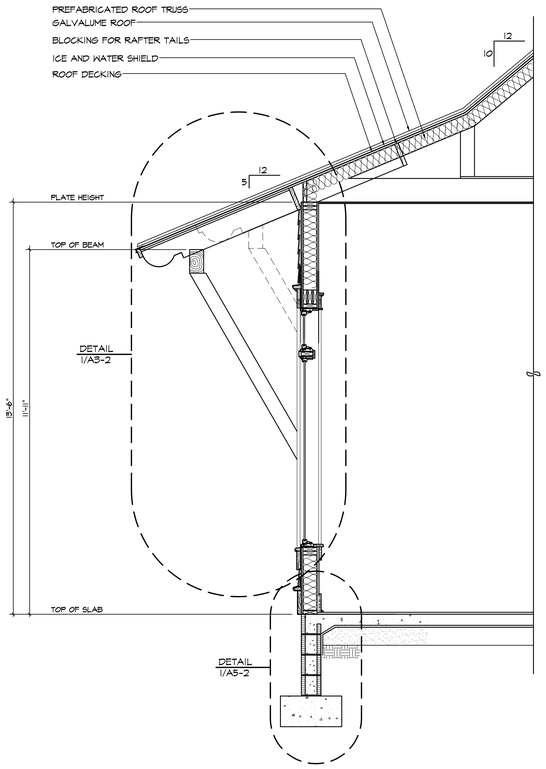
A3-4



1 A4-1 SECTION

SCALE: 1/2" = 1'-0"

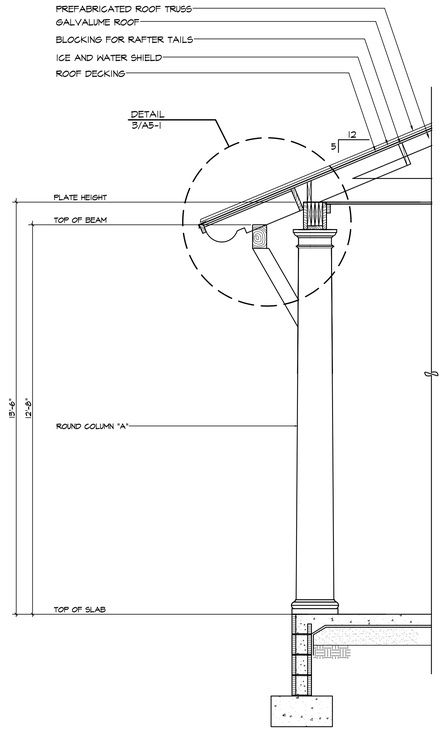
0' 1' 2' 4'



2 A4-1 SECTION

SCALE: 1/2" = 1'-0"

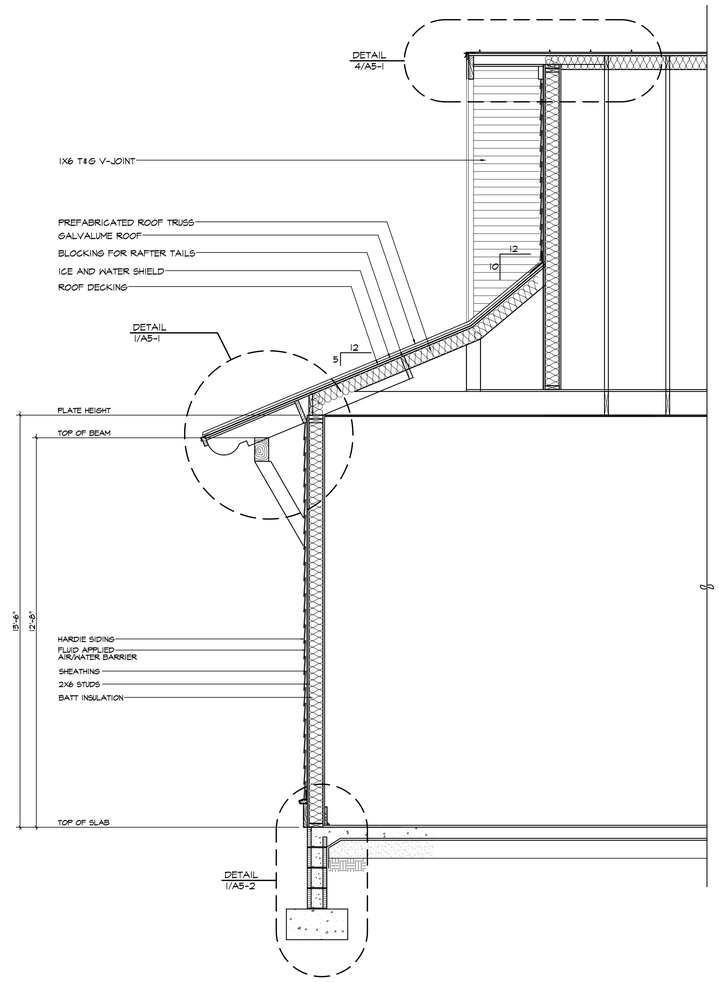
0' 1' 2' 4'



3 A4-1 SECTION

SCALE: 1/2" = 1'-0"

0' 1' 2' 4'



4 A4-1 SECTION

SCALE: 1/2" = 1'-0"

0' 1' 2' 4'

ARCHISCAPES
ARCHITECTURE
INTERIOR DESIGN
PLANNING
GRAPHIC DESIGN

TEL:
1-850-835-0404
FAX:
1-850-835-0410
WEB PAGE:
ARCHISCAPES.COM

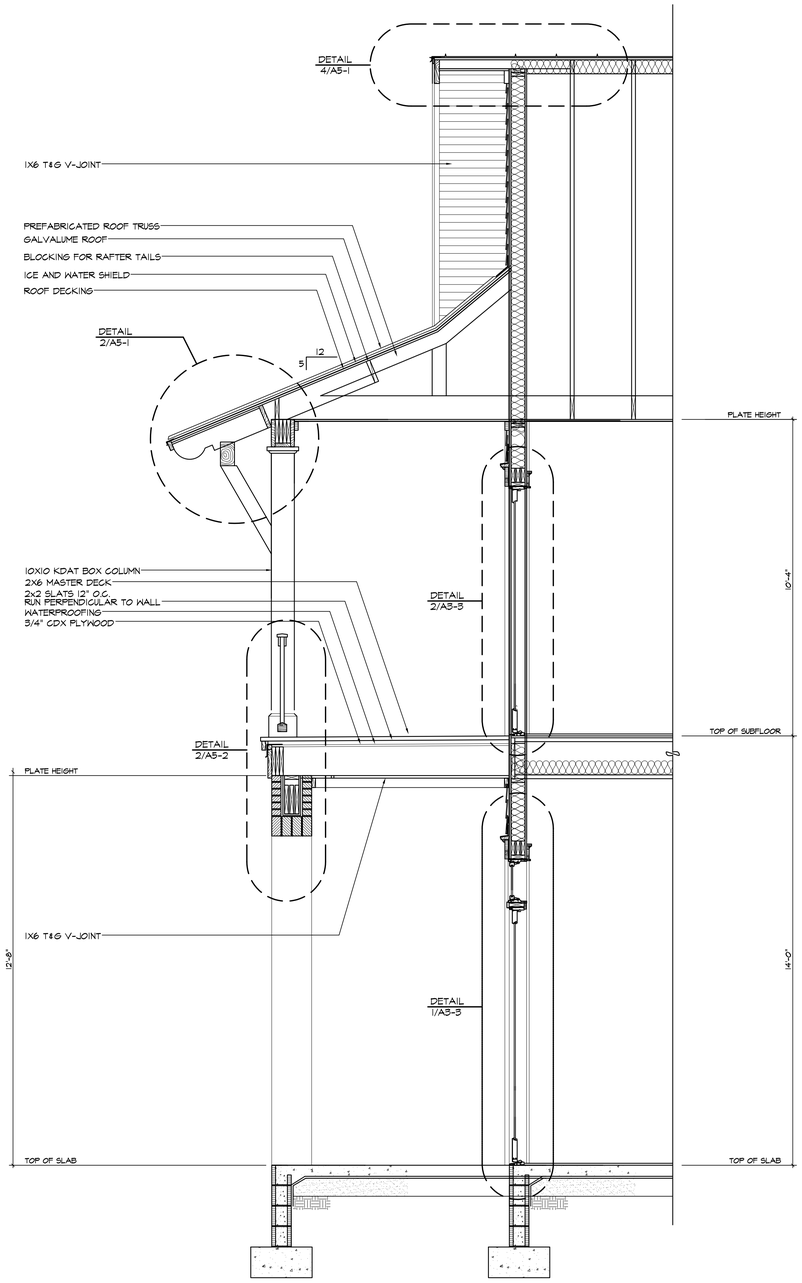
STATE OF FLORIDA
CHRIS STOYLES
AR 92280
REGISTERED ARCHITECT

ARCHITECT SEAL

ISSUE:
PERMIT
DATE:
JUNE, 2019
PROJECT#:
A1815
ARCHITECT
CHRIS STOYLES
DRAWN BY:
CHRIS STOYLES
SHEET TITLE
• SECTIONS

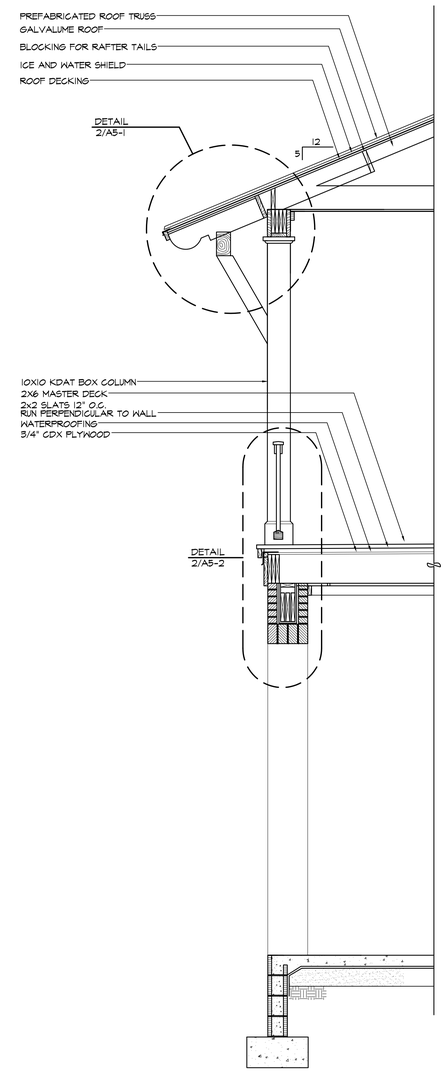
COMMERCIAL BUILDING
GULF BEACH DRIVE
ST. GEORGES ISLAND, FLORIDA

A4-1



1 A4-2 SECTION

0' 1' 2' 4' SCALE: 1/2" = 1'-0"



2 A4-2 SECTION

0' 1' 2' 4' SCALE: 1/2" = 1'-0"

ARCHISCAPES
ARCHITECTURE
INTERIOR DESIGN
PLANNING
GRAPHIC DESIGN

TEL:
1-850-835-0404
FAX:
1-850-835-0410
WEB PAGE:
ARCHISCAPES.COM

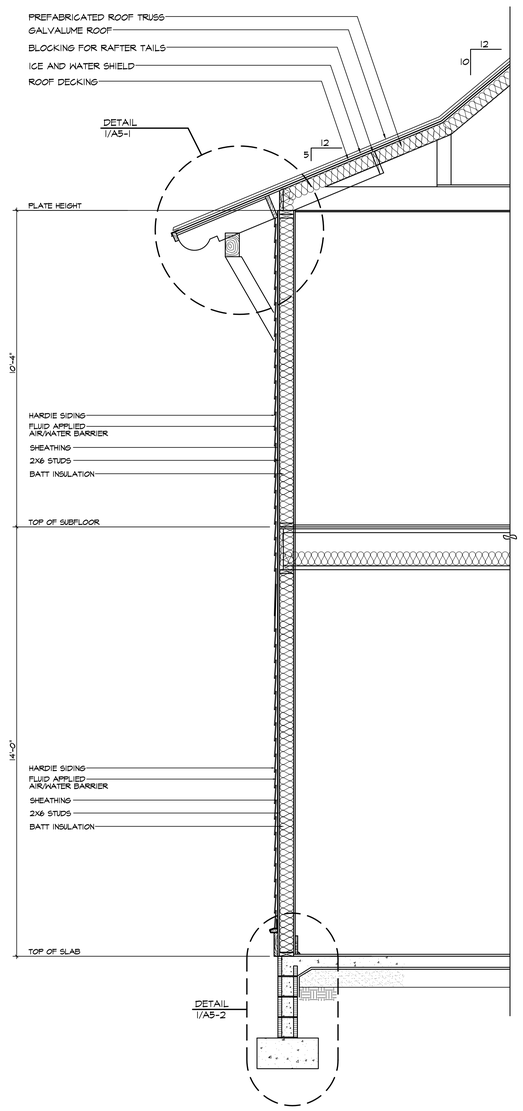
STATE OF FLORIDA
CHRIS STOYLES
AR 92280
REGISTERED ARCHITECT

ARCHITECT SEAL

ISSUE:
PERMIT
DATE:
JUNE, 2019
PROJECT#:
A1815
ARCHITECT
CHRIS STOYLES
DRAWN BY:
CHRIS STOYLES
SHEET TITLE
• SECTIONS

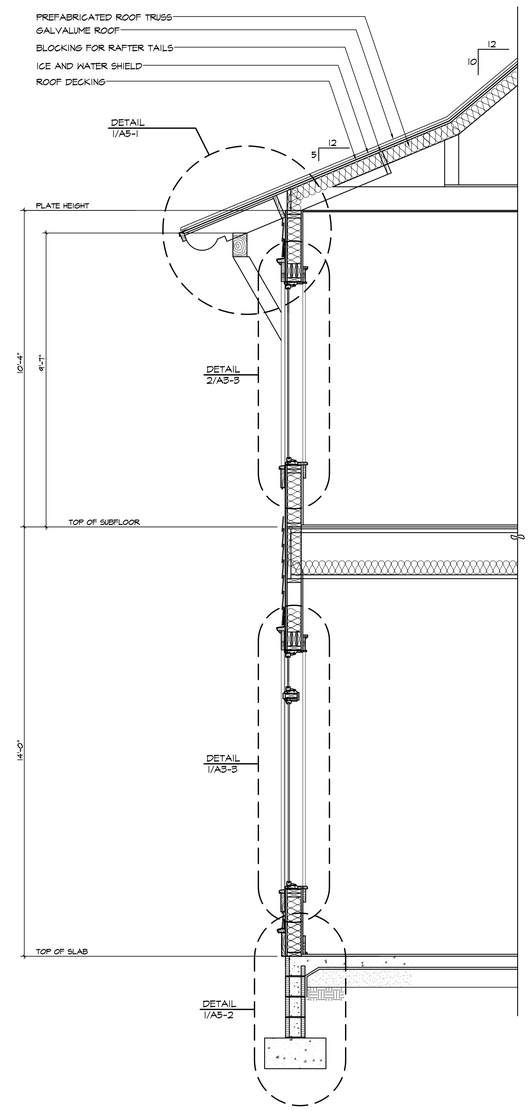
COMMERCIAL BUILDING
GULF BEACH DRIVE
ST. GEORGES ISLAND, FLORIDA

A4-2



1 A4-3 SECTION

0' 1' 2' 4' SCALE: 1/2" = 1'-0"



2 A4-3 SECTION

0' 1' 2' 4' SCALE: 1/2" = 1'-0"

ARCHISCAPES
ARCHITECTURE
INTERIOR DESIGN
PLANNING
GRAPHIC DESIGN

TEL:
1-850-835-0404
FAX:
1-850-835-0410
WEB PAGE:
ARCHISCAPES.COM

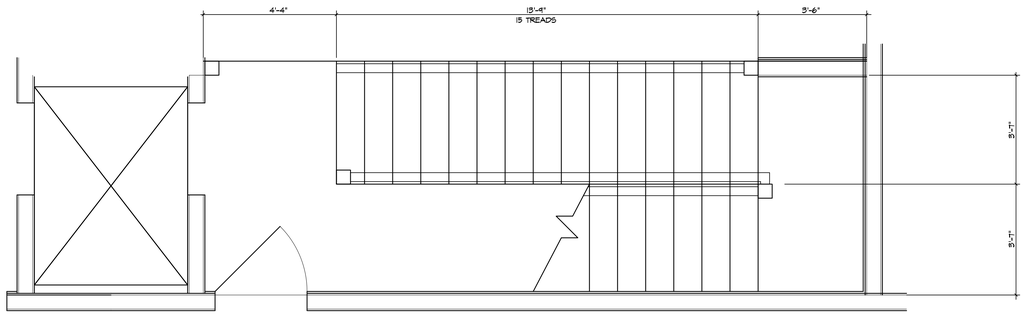
STATE OF FLORIDA
CHRIS STOYLES
AR 92280
REGISTERED ARCHITECT

ARCHITECT SEAL

ISSUE:
PERMIT
DATE:
JUNE, 2019
PROJECT#:
A1815
ARCHITECT
CHRIS STOYLES
DRAWN BY:
CHRIS STOYLES
SHEET TITLE
• SECTIONS

COMMERCIAL BUILDING
GULF BEACH DRIVE
ST. GEORGES ISLAND, FLORIDA

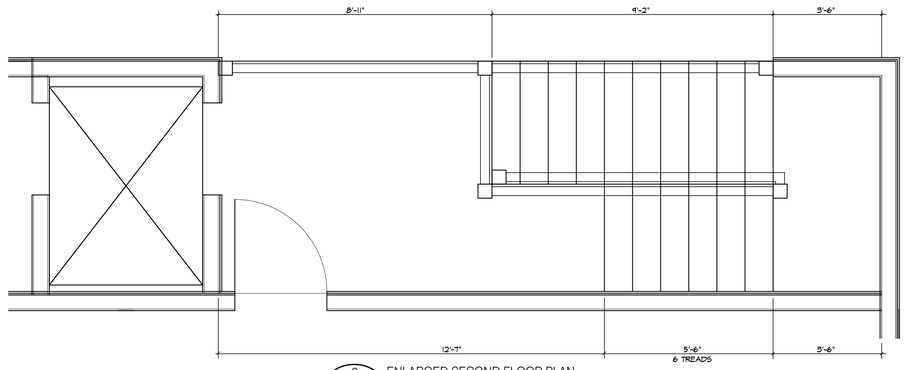
A4-3



1 A4-4 ENLARGED FIRST FLOOR PLAN

SCALE: 1/2" = 1'-0"

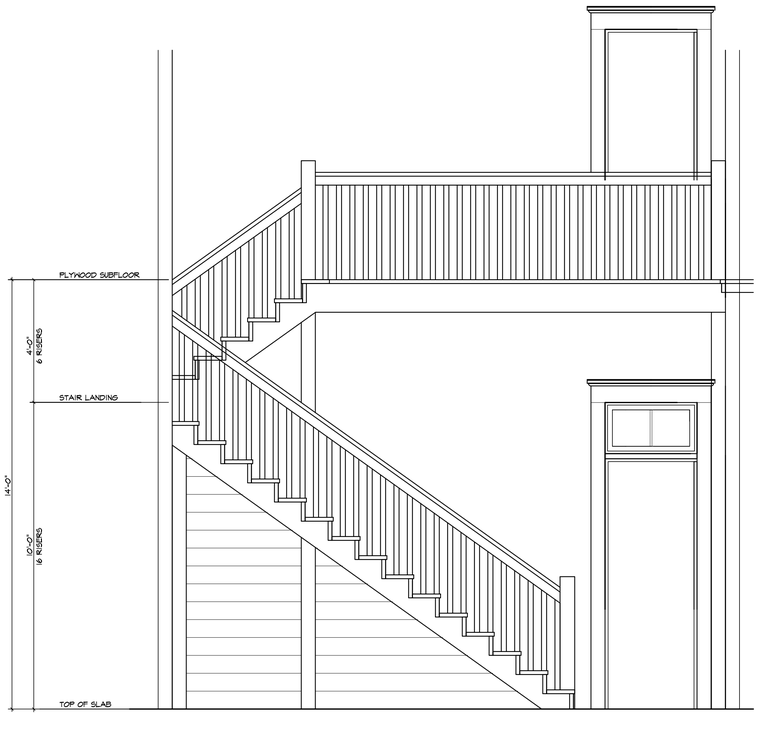
0' 1' 2' 4'

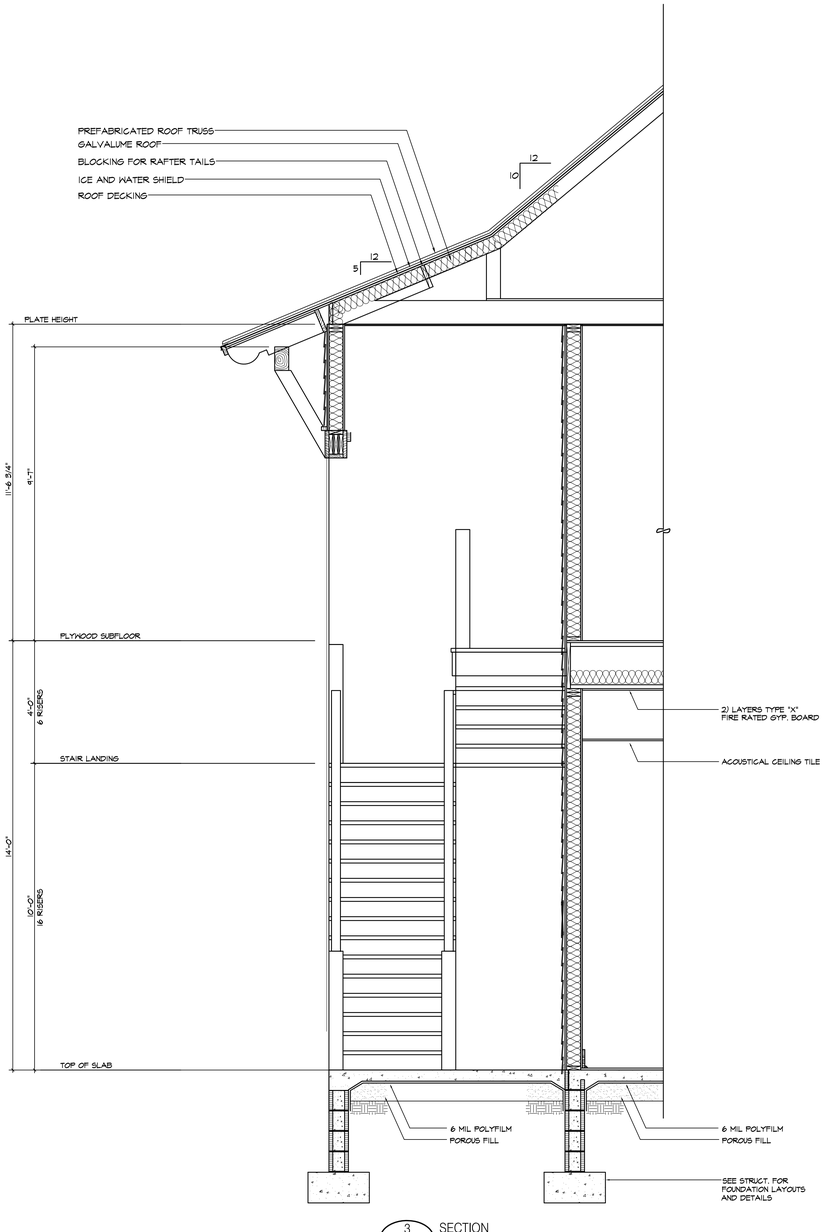


2 A4-4 ENLARGED SECOND FLOOR PLAN

SCALE: 1/2" = 1'-0"

0' 1' 2' 4'





3 A4-4 SECTION

SCALE: 1/2" = 1'-0"

0' 1' 2' 4'

ARCHISCAPES

ARCHITECTURE
INTERIOR DESIGN
PLANNING
GRAPHIC DESIGN

TEL:
1-850-835-0404

FAX:
1-850-835-0410

WEB PAGE:
ARCHISCAPES.COM

STATE OF FLORIDA
CHRIS STOYLES
AR 92280
REGISTERED ARCHITECT

ARCHITECT SEAL

ISSUE:
PERMIT

DATE:
JUNE, 2019

PROJECT#:
A1815

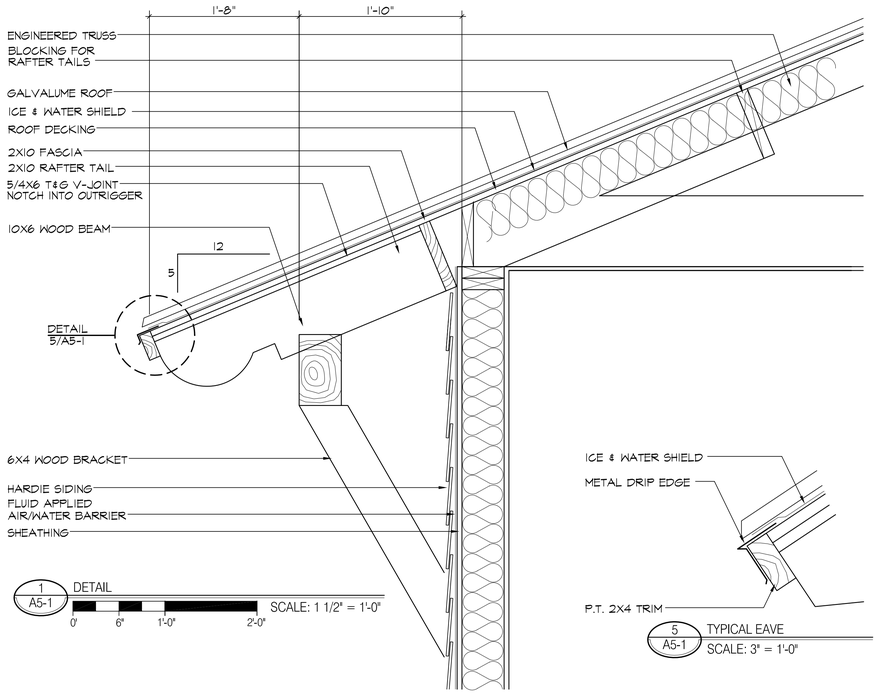
ARCHITECT
CHRIS STOYLES

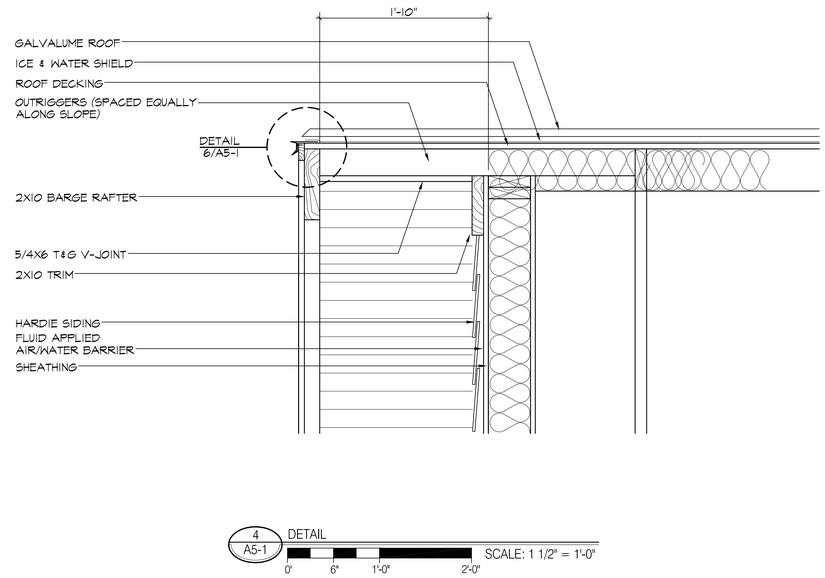
DRAWN BY:
CHRIS STOYLES

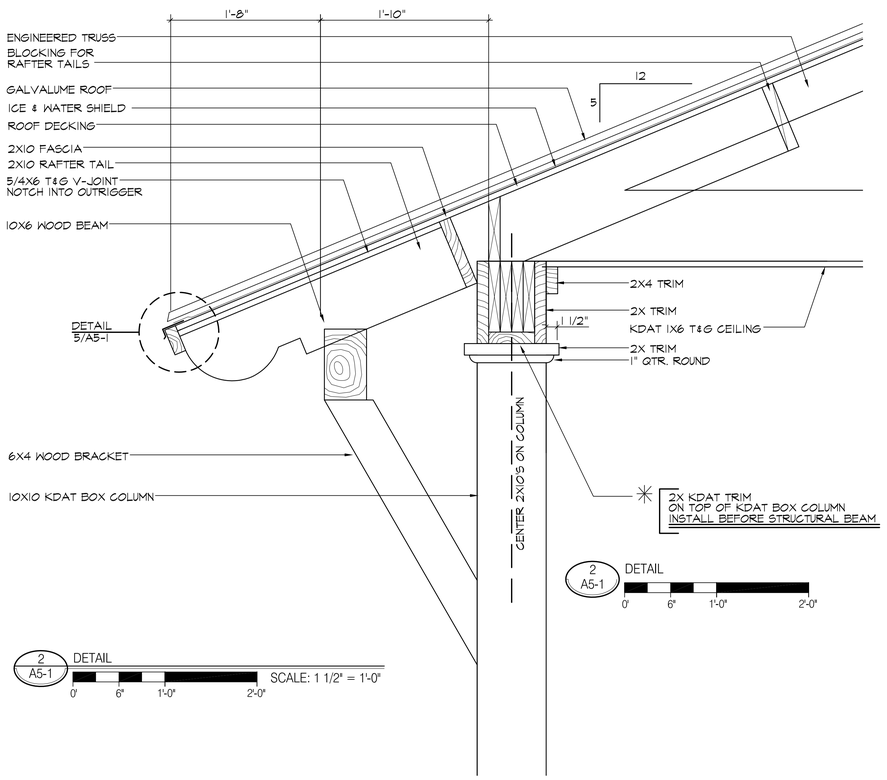
SHEET TITLE
• SECTIONS

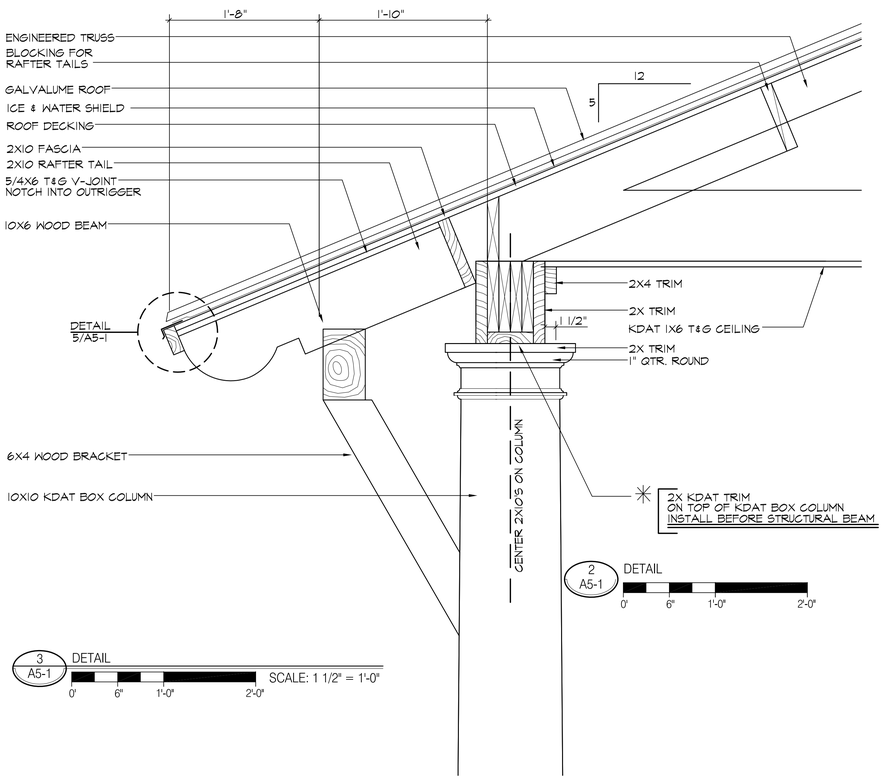
COMMERCIAL BUILDING
GULF BEACH DRIVE
ST. GEORGES ISLAND, FLORIDA

A4-4









ARCHISCAPES
ARCHITECTURE
INTERIOR DESIGN
PLANNING
GRAPHIC DESIGN

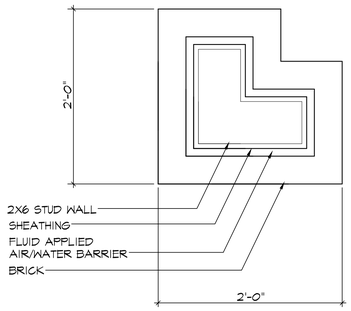
TEL:
1-850-835-0404
FAX:
1-850-835-0410
WEB PAGE:
ARCHISCAPES.COM

STATE OF FLORIDA
CHRIS STOYLES
AR 92280
REGISTERED ARCHITECT
ARCHITECT SEAL

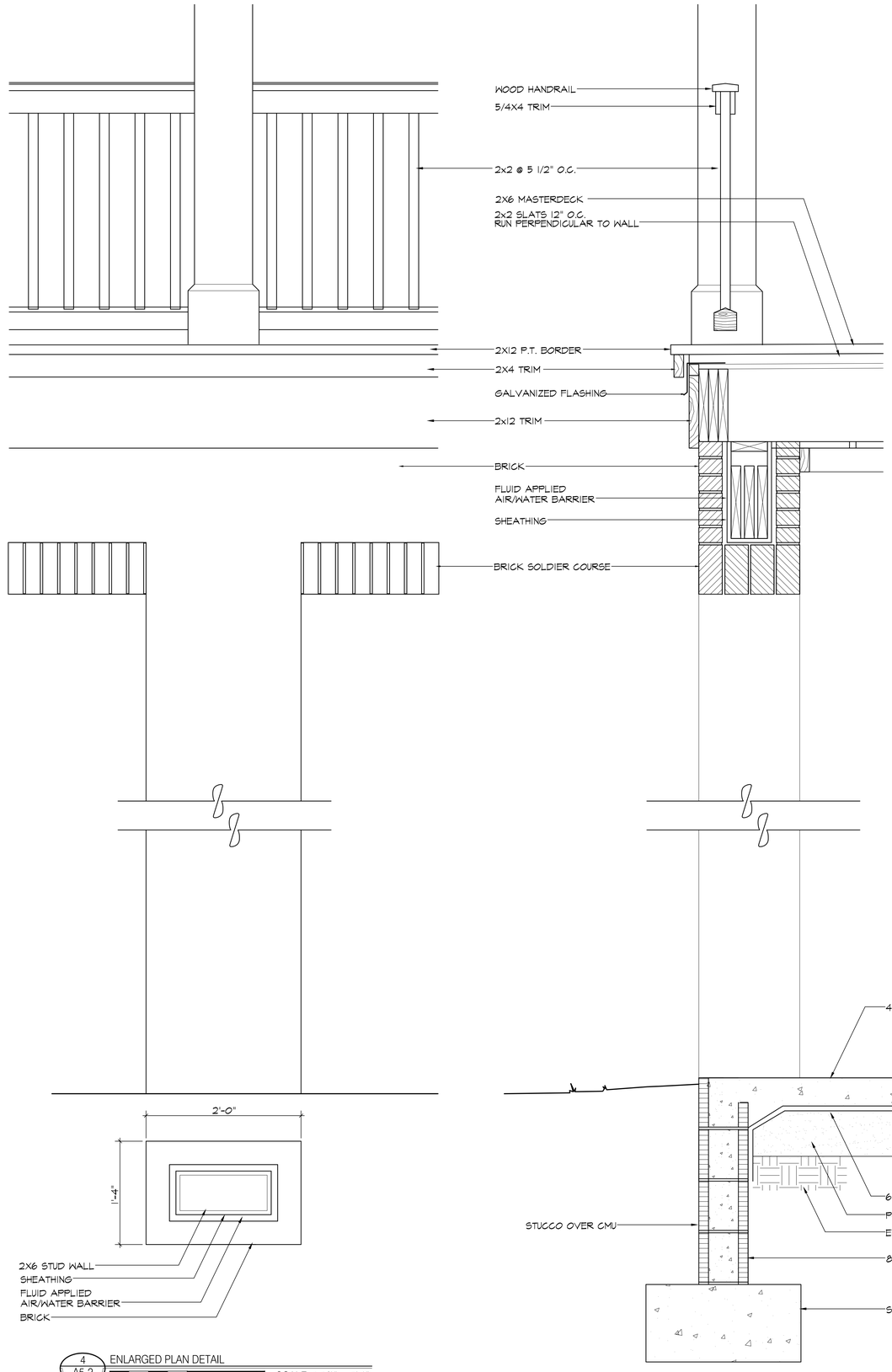
ISSUE:
PERMIT
DATE:
JUNE, 2019
PROJECT#:
A1815
ARCHITECT
CHRIS STOYLES
DRAWN BY:
CHRIS STOYLES
SHEET TITLE
• EXTERIOR DETAILS

COMMERCIAL BUILDING
GULF BEACH DRIVE
ST. GEORGES ISLAND, FLORIDA

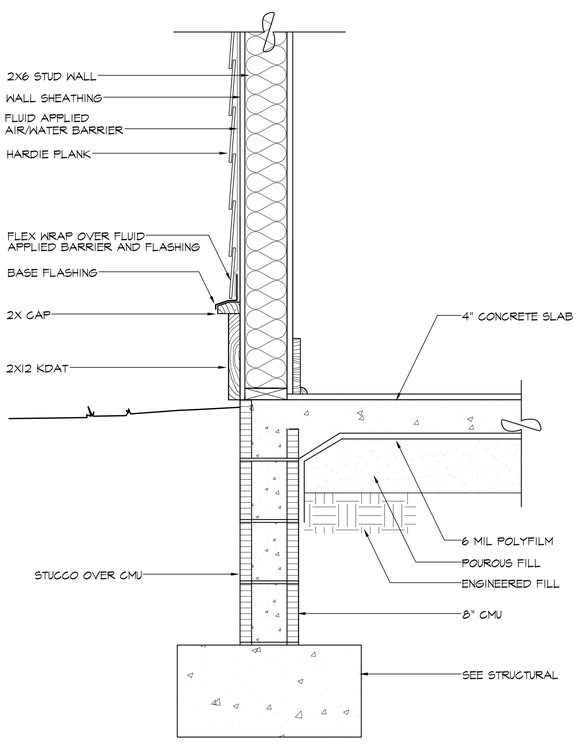
A5-1



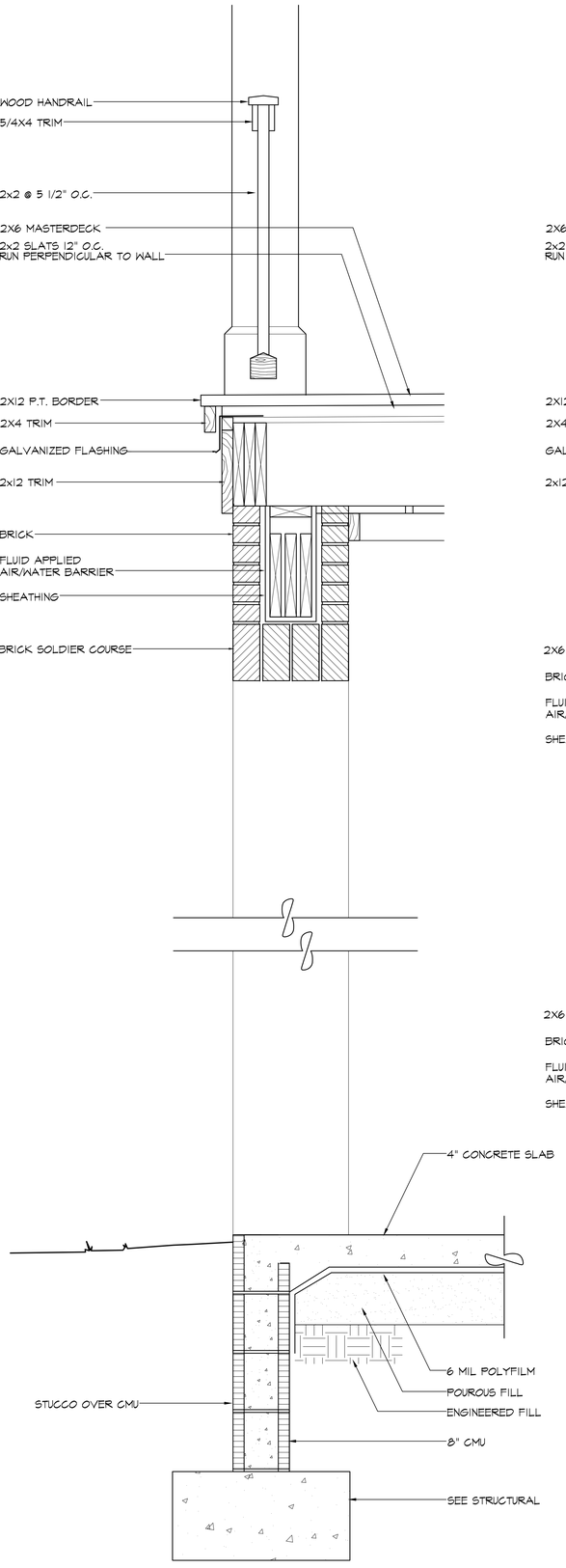
5 A5-2 ENLARGED PLAN DETAIL
SCALE: 1 1/2" = 1'-0"
0' 6" 1'-0" 2'-0"



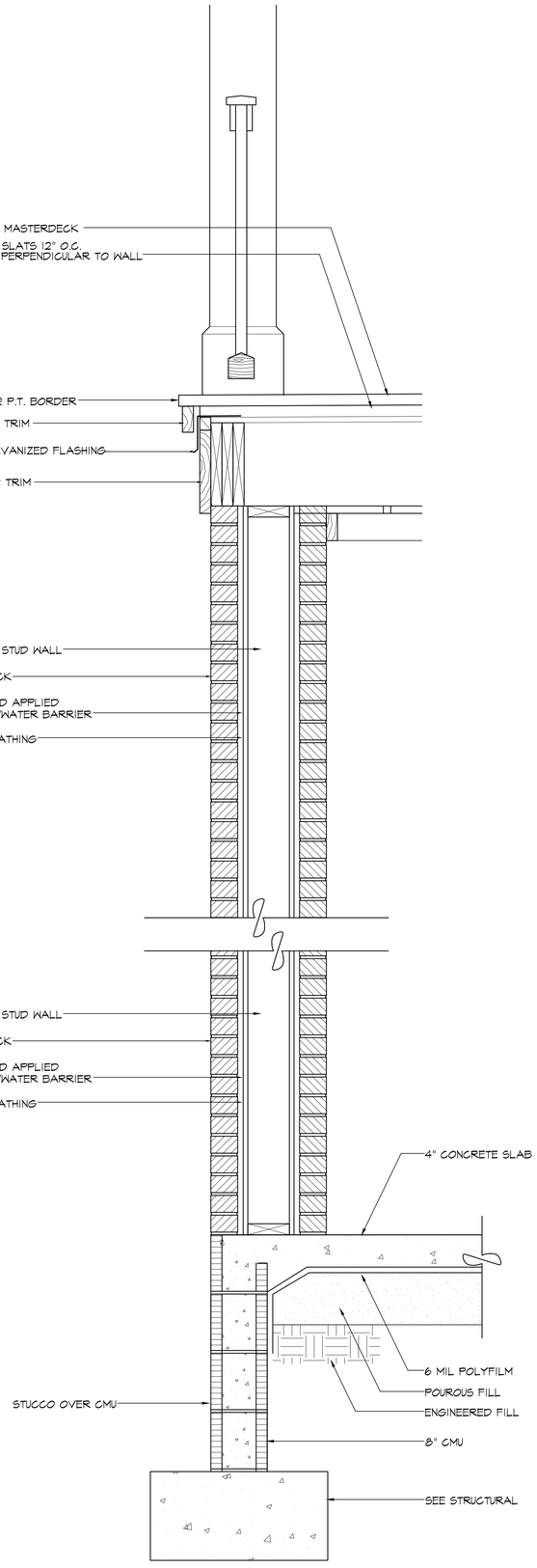
4 A5-2 ENLARGED PLAN DETAIL
SCALE: 1 1/2" = 1'-0"
0' 6" 1'-0" 2'-0"



1 A5-2 DETAIL
SCALE: 1 1/2" = 1'-0"
0' 6" 1'-0" 2'-0"



2 A5-2 DETAIL
SCALE: 1 1/2" = 1'-0"
0' 6" 1'-0" 2'-0"



3 A5-2 DETAIL
SCALE: 1 1/2" = 1'-0"
0' 6" 1'-0" 2'-0"

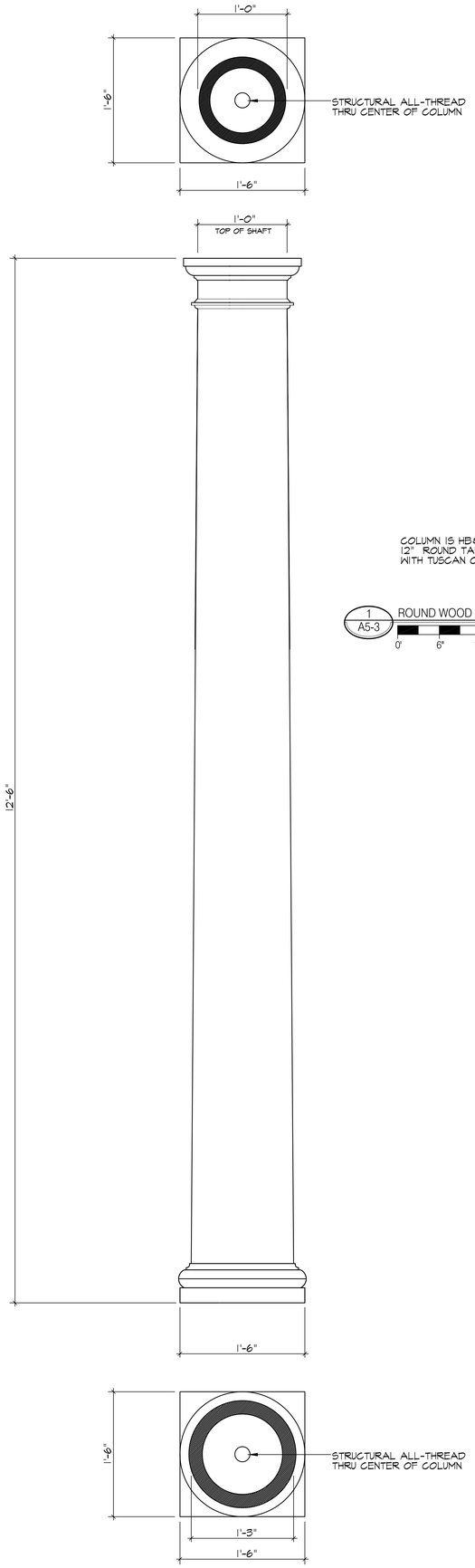
ARCHISCAPES
ARCHITECTURE
INTERIOR DESIGN
PLANNING
GRAPHIC DESIGN
TEL:
1-850-835-0404
FAX:
1-850-835-0410
WEB PAGE:
ARCHISCAPES.COM

STATE OF FLORIDA
CHRIS STOYLES
AR 92280
REGISTERED ARCHITECT
ARCHITECT SEAL

ISSUE:
PERMIT
DATE:
JUNE, 2019
PROJECT#:
A1815
ARCHITECT
CHRIS STOYLES
DRAWN BY:
CHRIS STOYLES
SHEET TITLE
• EXTERIOR DETAILS

COMMERCIAL BUILDING
GULF BEACH DRIVE
ST. GEORGES ISLAND, FLORIDA

A5-2



COLUMN IS HB&G:
12" ROUND TAPERED PERMACAST COLUMN
WITH TUSCAN CAP AND TUSCAN BASE

1 / A5-3 ROUND WOOD COLUMN "A"

SCALE: 1 1/2" = 1'-0"

0' 6" 1'-0" 2'-0"

ARCHISCAPES
ARCHITECTURE
INTERIOR DESIGN
PLANNING
GRAPHIC DESIGN

TEL:
1-850-835-0404
FAX:
1-850-835-0410
WEB PAGE:
ARCHISCAPES.COM

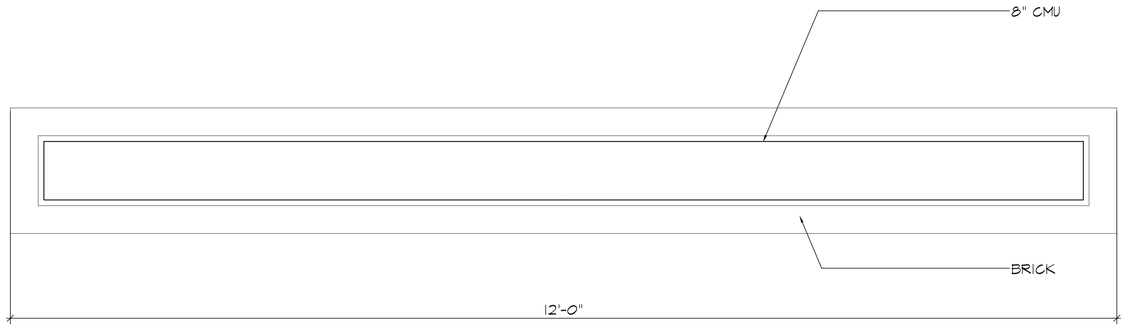
STATE OF FLORIDA
CHRIS STOYLES
AR 92280
REGISTERED ARCHITECT

ARCHITECT SEAL

ISSUE:
PERMIT
DATE:
JUNE, 2019
PROJECT#:
A1815
ARCHITECT
CHRIS STOYLES
DRAWN BY:
CHRIS STOYLES
SHEET TITLE
• EXTERIOR DETAILS

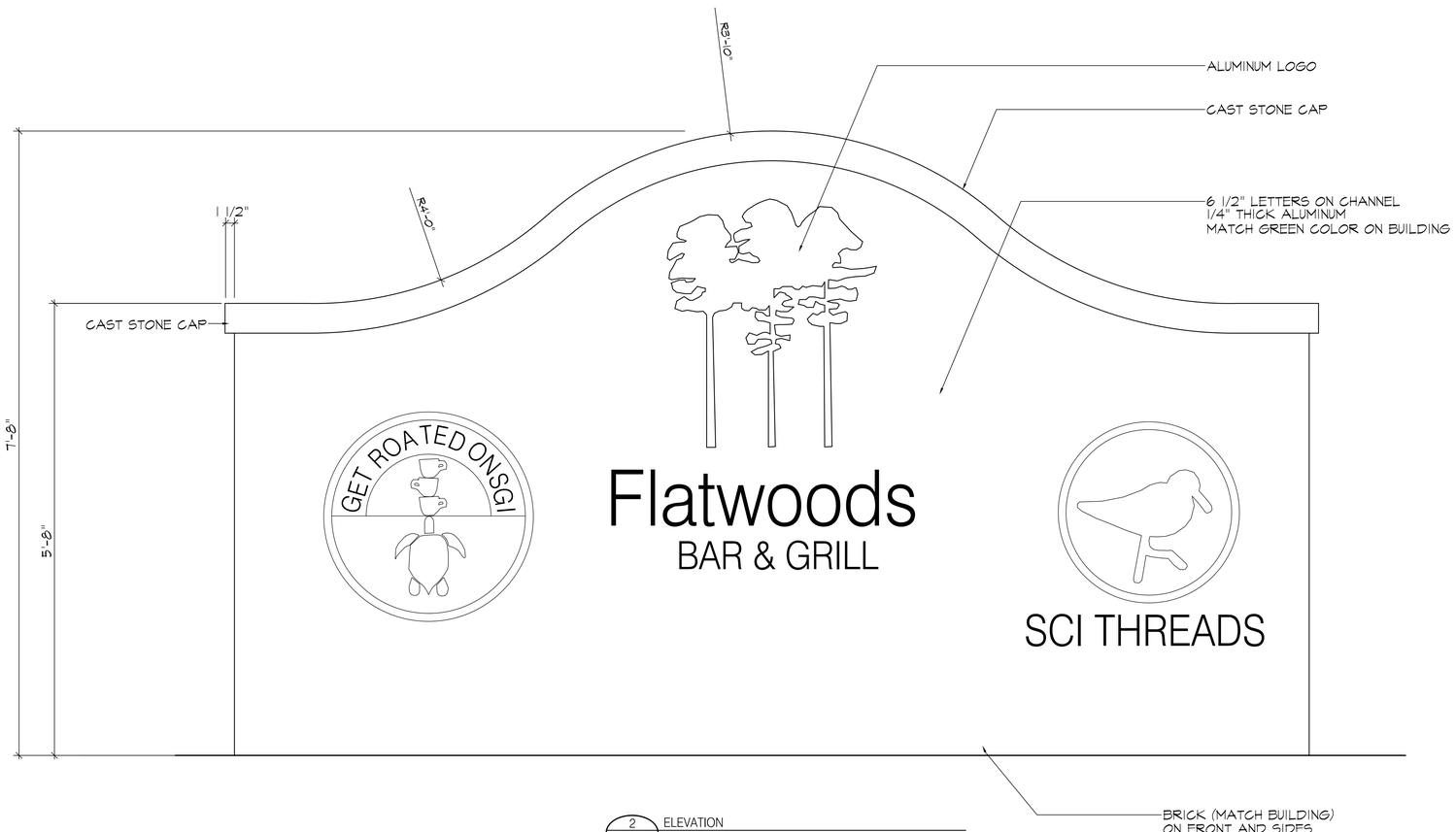
COMMERCIAL BUILDING
GULF BEACH DRIVE
ST. GEORGES ISLAND, FLORIDA

A5-3



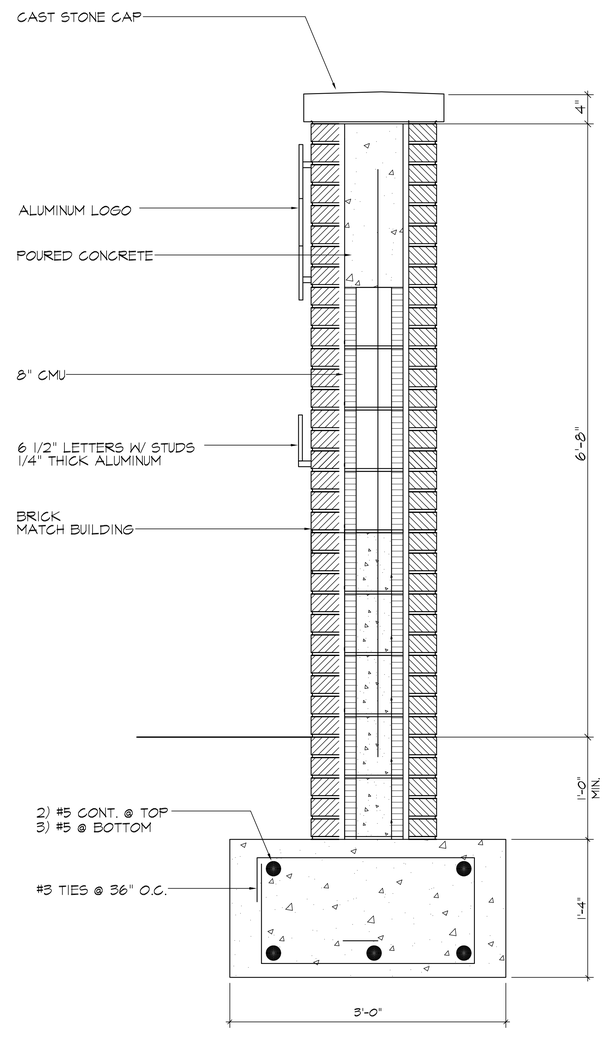
1 / A1-1 PLAN SECTION
SCALE: 1 1/2" = 1'-0"
0' 6" 1'-0" 2'-0"

NOTE:
HAND COMPACT FOOTING EXCAVATION
GEOTECHNICAL ENGINEER TO VERIFY
ADEQUATE BEARING CONDITIONS



2 / A1-1 ELEVATION
SCALE: 1 1/2" = 1'-0"
0' 6" 1'-0" 2'-0"

NOTE:
PROVIDE ARCHITECT WITH SHOP DRAWINGS FOR ALL SIGNAGE TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION OF LETTERS AND LOGO.



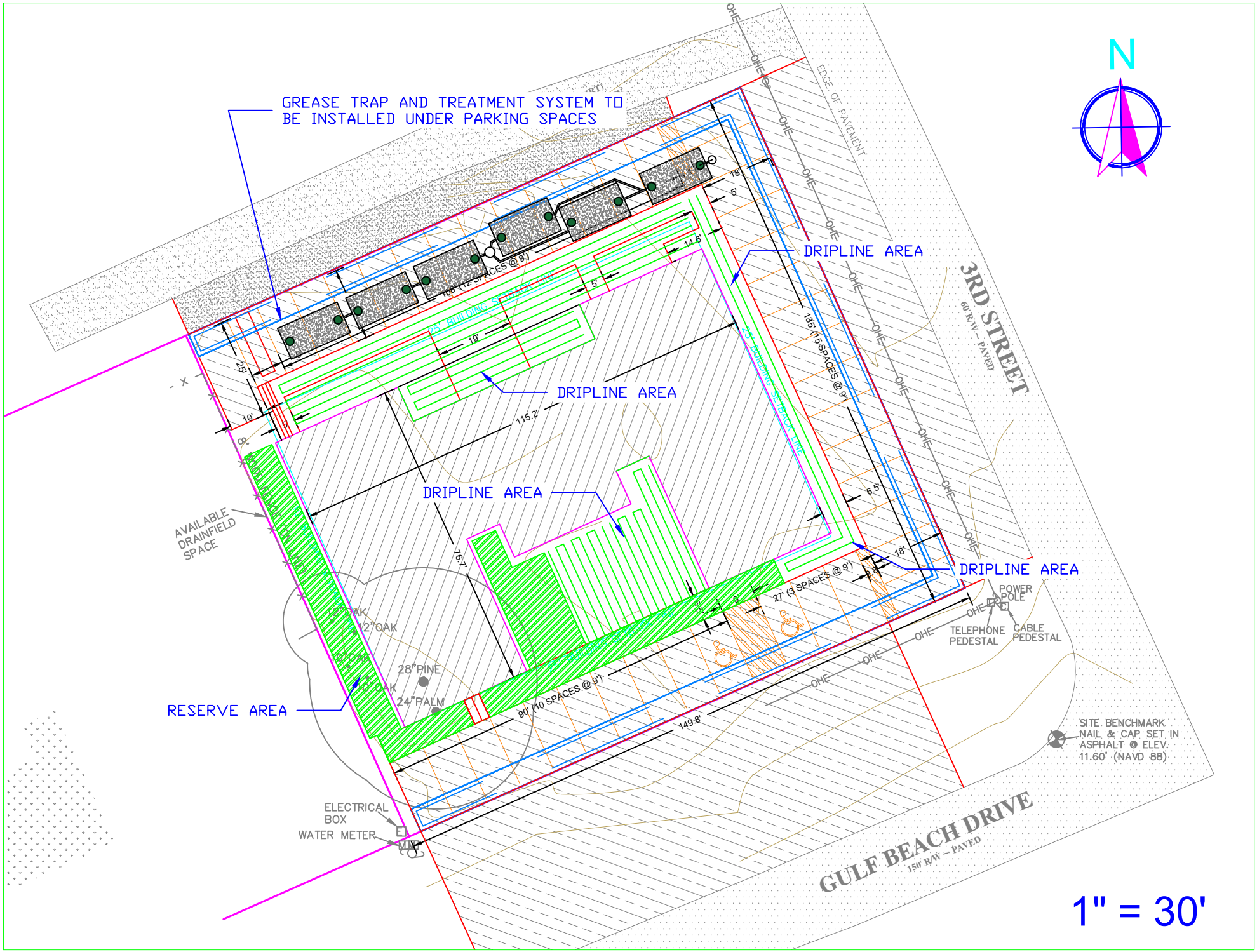
ARCHISCAPES
ARCHITECTURE
INTERIOR DESIGN
PLANNING
GRAPHIC DESIGN
TEL:
1-850-835-0404
FAX:
1-850-835-0410
WEB PAGE:
ARCHISCAPES.COM

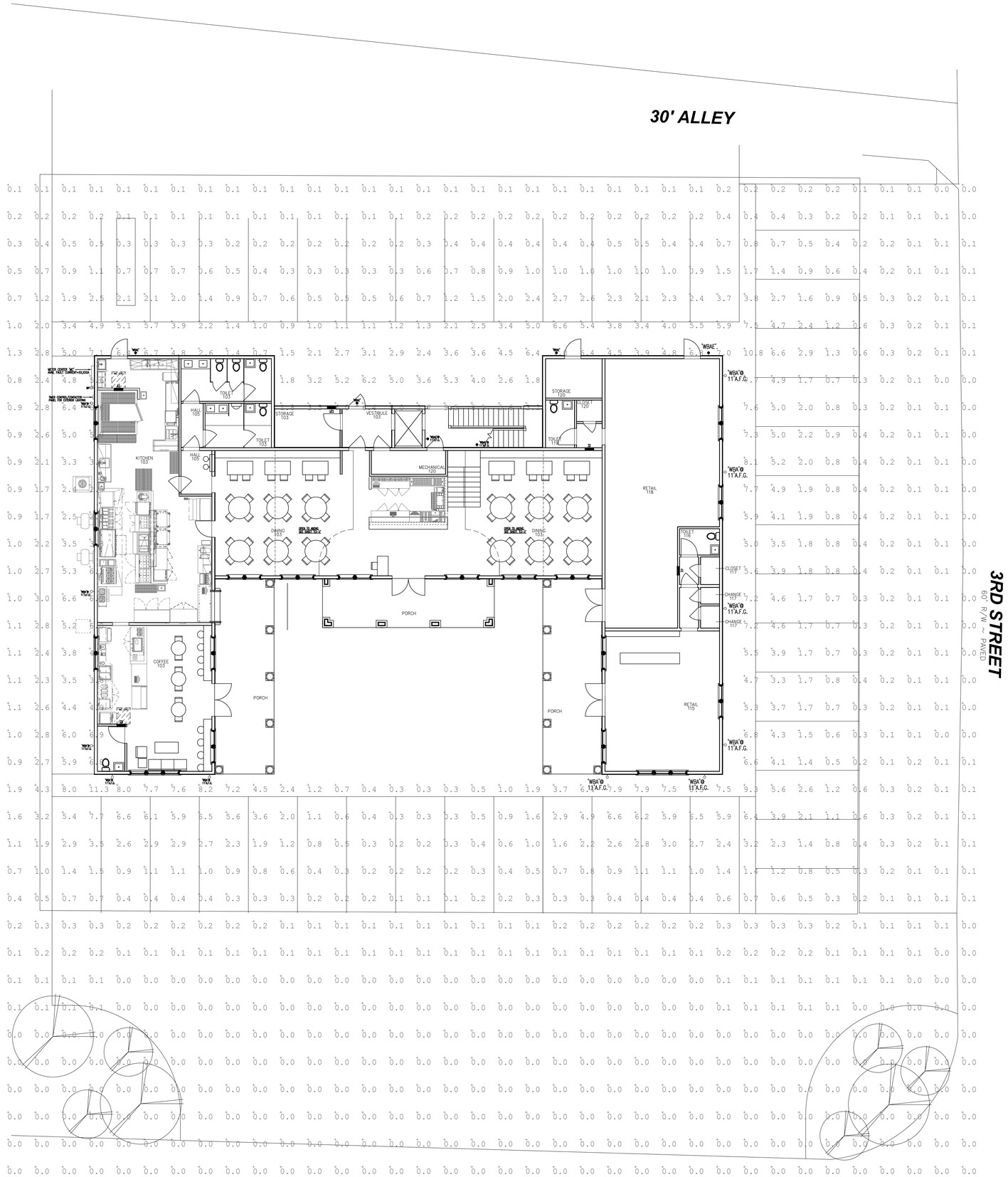
STATE OF FLORIDA
CHRIS STOYLES
AR 92280
REGISTERED ARCHITECT
ARCHITECT SEAL

ISSUE:
PERMIT
DATE:
JUNE, 2019
PROJECT#:
A1815
ARCHITECT
CHRIS STOYLES
DRAWN BY:
CHRIS STOYLES
SHEET TITLE

COMMERCIAL BUILDING
GULF BEACH DRIVE
ST. GEORGES ISLAND, FLORIDA

D1-1


N
GREASE TRAP AND TREATMENT SYSTEM TO BE INSTALLED UNDER PARKING SPACES
DRIPLINE AREA
DRIPLINE AREA
DRIPLINE AREA
DRIPLINE AREA
RESERVE AREA
AVAILABLE DRAINFIELD SPACE
108' (12 SPACES @ 9')
135' (15 SPACES @ 9')
27' (3 SPACES @ 9')
90' (10 SPACES @ 9')
149.8'
115.2'
76.7'
19'
14.6'
6.5'
5'
18'
25'
10'
8'
EDGE OF PAVEMENT
3RD STREET
60' R/W – PAVED
GULF BEACH DRIVE
150' R/W – PAVED
POWER POLE
TELEPHONE PEDESTAL
CABLE PEDESTAL
SITE BENCHMARK NAIL & CAP SET IN ASPHALT @ ELEV. 11.60' (NAVD 88)
28"PINE
24"PALM
12"OAK
ELECTRICAL BOX
WATER METER
1" = 30'



EXTERIOR LIGHTING PHOTOMETRIC PLAN
SCALE: 1/8"=1'0"

GENERAL NOTE(S):

1. OWNER TO COORDINATE WITH LOCAL UTILITY FOR ADDITIONAL SITE LIGHTING.

Luminaire Schedule					
Label	Arrangement	Description	[LAMPCAT]	LLF	Lum. Watts
WBA	SINGLE	H.E. WILLIAMS#VWPH-L30-740-T3-SDGL-(OPTIONS)-DIM-UNV	4000K	0.900	35.4

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
BUILDING PERIMETER	Illuminance	Fc	1.20	11.3	0.0	N.A.	N.A.

ANTHONY L. DAVIS
LICENSED
No 57419
STATE OF FLORIDA
PROFESSIONAL ENGINEER

ANTHONY L. DAVIS, P.E.
3035 WHITLEY LN., PACE, FL. 32571
PACE, FL. 32571
Email: anthonyldavis@att.net
PH: (850) 995-2548
FL PE #-57419/AL PE #-24573/GA PE #-35421
MS PE #-19437/VA PE #402056233/KY PE #34138
NC PE #-040692/TN PE #-116862
TX PE #-117971/PA PE #-084120

ARCHISCAPES
ARCHITECTURE
INTERIOR DESIGN
PLANNING
GRAPHIC DESIGN
TEL:
1-850-835-0404
FAX:
1-850-835-0410
WEB PAGE:
ARCHISCAPES.COM

ISSUE:
REVIEW
DATE:
MARCH, 2019
PROJECT#:
A1815
DRAWN BY:
ANTHONY DAVIS
ARCHITECT
CHRIS STOYLES
SHEET TITLE
• EXTERIOR LIGHTING PHOTOMETRIC PLAN

COMMERCIAL BUILDING
GULF BEACH DRIVE
ST. GEORGES ISLAND, FLORIDA

E1-2a
SEQUENCE