



**FRANKLIN COUNTY PLANNING AND ZONING COMMISSION REGULAR MEETING
COURTHOUSE ANNEX, COMMISSION MEETING ROOM**

NOVEMBER 10, 2020

6:30 PM

AGENDA

PLEASE NOTE: PLANNING AND ZONING COMMISSION MAKES RECOMMENDATIONS TO THE FRANKLIN COUNTY BOARD OF COMMISSIONERS REGARDING YOUR APPLICATION. ALL APPLICANT'S ARE NOTIFIED THAT IF YOUR APPLICATION IS DENIED, IT MAY NOT BE RESUBMITTED FOR ONE YEAR. ALSO, ANY PERSON WISHING TO APPEAL THE RECOMMENDATION OF THE PLANNING AND ZONING COMMISSION OR THE DECISION OF THE FRANKLIN COUNTY BOARD OF COUNTY COMMISSIONER BOARD ARE RESPONSIBLE TO ENSURE THAT A VERBATIM TRANSCRIPT OF THE PRCEEDINGS IS MADE.

To comply with CDC and Government social distancing requirements, the general public will not be allowed in the commission meeting room for this meeting; therefore, this Planning & Zoning regular meeting will be conducted via Zoom. Those wanting to participate during "Public Comments" should use the Zoom log-in/call-in information provided below. There is a link to a list of videos and Getting Started Resources on the main "Agenda and Minutes" webpage for those unfamiliar with Zoom. If you are experiencing any issues with Zoom, call (850) 653-9783 extension 373 for assistance.

This meeting is being held via Zoom and all attendees are muted by default. To join via computer, use the following link on the meeting date and time: <https://zoom.us/j/98215942157>

If you do not have speakers or a microphone on your computer or prefer to call, you can dial in for audio. Call (301) 715-8592 or (312) 626- 6799 or (929) 205-6099 and enter ID 982 1594 2157#.

If you would like to speak during the public comment portion of the meeting, you have the following options:

Online - select the "raise your hand" icon.

Phone - press *9 to raise your hand, *6 to unmute to submit verbal comments.

Public engagement is important to us, and meeting remotely is still a new process. We appreciate everyone's understanding.

Building Report:

A- COMMERCIAL- EASTPOINT: 1

RESIDENTIAL- EASTPOINT: 2, ST GEORGE ISLAND: 6, CARRABELLE: 2 (TOTAL: 10)

Critical Shoreline Applications:

- B-** CONSIDERATION OF A REQUEST TO CONSTRUCT A SINGLE FAMILY PRIVATE DOCK LOCATED AT 1663 EAST GULF BEACH DRIVE, LOT 3, SHELL HARBOUR, ST. GEORGE ISLAND, FRANKLIN COUNTY, FLORIDA. THE DOCK WALKWAY WILL BE 120' X 4' AND HAVE AN 8' X 20' TERMINUS. THIS WILL BE CONTINGENT UPON ALL STATE AND FEDERAL PERMITS. REQUEST SUBMITTED BY LARRY JOE COLSON, AGENT FOR MARK AND LINDA MUSARACA, APPLICANTS. (PROPOSED HOUSE)

Commercial Site Plan Applications:

- C-** CONSIDERATION OF A REQUEST FOR COMMERCIAL SITE PLAN APPROVAL FOR A MEDICAL CENTER TO BE LOCATED AT 104 HIGHWAY 98, EASTPOINT, FRANKLIN COUNTY, FLORIDA. (PARCEL IS LOCATED ON THE CORNER OF HIGHWAY 98 AND SOUTH BAYSHORE DRIVE) REQUEST SUBMITTED BY SCOTT TUTHERFORD, PE, SCR & ASSOCIATES, AGENT FOR BILLY SHULTZ, BAY AND 98, LLC, APPLICANT.

Lot Re-Configuration Application:

- D-** CONSIDERATION OF A REQUEST TO ADJUST LOT LINES BETWEEN LOTS 26 AND 27, BLOCK D, LANARK BEACH, UNIT 1 TO MAKE LOT 27 MORE BUILDABLE. LOT 26 WILL HAVE THE SAME SQUARE FOOTAGE AS PREVIOUSLY. LOT 27 WILL BE LARGER THAN PREVIOUSLY WITH THE INCLUSION OF PART OF LOT 6, BLOCK D, LANARK BEACH, UNIT 1. THE DUKE ENERGY TRANSMISSION LINE EASEMENT RUNS THROUGH ALL OF THESE LOTS. REQUEST SUBMITTED BY LEONARD SKINNER, APPLICANT.

Zoning Administrator's Report:

ELECTION OF CHAIR AND VICE CHAIR

Monthly Building Report



Franklin County

Franklin County Planning & Building Department
34 Forbes Street, Suite 1, Apalachicola, FL 32320
Phone (850) 653-9783 Fax (850) 653-9799

PowerLine
Building Permit
Software

Date range: 10/1/2020 to 10/27/2020

Total Number of Permits: 66

Total Fees Collected: \$39815.32

Date	Permit	Property Owner	Development	Location	Street Address	Cost	Fee
10/01/2020	29887	NATIONAL WEATHER SERVICE-FRANKLIN COUNTY AIRPORT	ELECTRICAL WIRING FOR CONDUIT	NA	28 AIRPORT ROAD	\$0.00	\$0.00
10/02/2020	29888	Ed Moore	Lime rock Revetment	METES & BOUNDS	4376 St Teresa Avenue	\$15,894.20	\$338.75
10/02/2020	29889	Russel Rainey	Lime Rock Revetment	METES & BOUNDS	4374 St Teresa Avenue	\$15,894.20	\$338.75
10/02/2020	29890	GARY AND CHRISTY BARCO	POLE BARN	LOT 39 BLK 3 SUN & SANDS UNIT 2	661 PINE STREET	\$5,616.00	\$163.75

10/02/2020	29891	Michael Seningen	Solar Panels	L A-	2328 Schooner Landing	\$61,450.00	\$898.08
10/02/2020	29892	Michael Seningen	Go Solar	Lot 42 Block 10E	48 East Gorrie Drive	\$29,723.00	\$556.88
10/05/2020	29893	Andrew Ison	Replacing rotten wood sheetrock repair siding insulation non load bearing walls	45.87' FRONTING ON SR10 & 101.89 FT ON COUNTY ROAD	90 Highway 98	\$0.00	\$0.00
10/05/2020	29894	PAUL THOMPSON	ELECTRICAL UPGRADE	LOT 13 PLANTATION BEACH VILLAGE	1828 PLANTATION PASS	\$0.00	\$100.00
10/05/2020	29895	DOYLE AND PEGGY PRAT	ELECTRICAL UPGRADE	LOT 15 BLK F UYNIT 2	657 EAST GORRIE DRIVE	\$0.00	\$100.00
10/06/2020	29896	Alan Byrd	R1 Dwelling	Lot 4 Block 22W Unit 1	524 West Bayshore Drive	\$435,000.00	\$1,719.38
10/06/2020	29897	CRAIG BRUCE SHEARER	R-1 DWELLING	LOTS 13-14 BLK 1 CARRABELLE RIVER SUBDIVISION	381 RIVER ROAD	\$0.00	\$2,069.83
10/06/2020	29898	Craig Shearer	1800 sq. ft. shed	Lots 13 & 14 Block 1 Unit 3	381 River Road	\$25,905.00	\$508.38
10/06/2020	29899	Helen Tudor	Re Roof Shingles	METES & BOUNDS	2285 Highway 98 West	\$26,000.00	\$406.70
10/07/2020	29900	Denise Salvo	Re Roof	Lot 1	1660 East Gulf Beach Drive	\$27,500.00	\$426.10
10/07/2020	29901	John Mosely	Re Roof	Lot 19 Block H Unit 3	925 West Gorrie Drive	\$13,230.00	\$243.00
10/07/2020	29902	Mark McIntyre	Electrical Upgrade	Lot 51 Palm Village	1412 Elm Court	\$1,000.00	\$100.00

10/07/2020	29903	Cecile Hance	re roof	n A- & bounds	529 Mill Road	\$11,400.00	\$215.00
10/08/2020	29904	ALLIGATOR PONT FISH HUT LLC	REPLACE EXISTING BOATLIFT	LOT 59 ALLIGATOR POINT SUB	1668 ALLIGATOR DRIVE	\$0.00	\$383.10
10/08/2020	29905	TOMMY JOWERS	DP 67 WINDOW REPLACEMENT (EXISTING SHUTTERS) & HARDIE BOARD SIDING	LOT 4 TRACT 10 PHASE 2	1332 EAST GULF BEACH DRIVE	\$0.00	\$327.00
10/08/2020	29906	Hugh Whitehead	Site Prep	LOT 16 HERON BAY VILL	2215 Sea Gull Way	\$0.00	\$100.00
10/08/2020	29907	Kara Harrelson	New Construction	BLUE HERON VILLAGE LOT 39 PB 7/51 762/797 1223/564 1223/567 1268/536	280 Ridgecrest Parkway	\$120,000.00	\$1,422.85
10/09/2020	29908	Vacation Rental Services, LLC	Replace Siding, Wood Rot, and Deck Repair	UNIT 1 BL 4W LOTS 5,6, & 7	235 West Gulf Beach Drive	\$65,000.00	\$738.20
10/09/2020	29909	Richard S Bates as Trustee Revocable Trust	Replace 2 doors and 2 windows, repair AC ducts, repair plumbing leaks, repair electrical wiring	UNIT 2 HOLIDAY BEACH LOT 6 228/130 188/620 226/342 274/238 188/620 854/797 894/754 1020/612 1029/626 1149/560	1097 Alligator Drive	\$49,000.00	\$629.80
10/09/2020	29910	George Hackey	Electrical Upgraed	METES & BOUNDS	1444 Bay Front Drive	\$1,000.00	\$100.00
10/09/2020	29911	Frank and Buena Brown	Replace siding, ramp, met roof, handrails, garage demo	LOT 57 TURTLE BEACH 270X161.35X270X161.35	1748 Magnolia Drive	\$192,000.00	\$1,605.13
10/12/2020	29912	Frank Haynie	Replacing 5 doors	Lot 2 Block 11 Unit 1	308 East Gorrie Drive	\$17,886.00	\$373.75
10/13/2020	29913	John and Deborah Deacon	Shed/Carport	PARCELS IN OR/63/97 LESS 100X200 SOLD IN	575 Highway 98	\$5,179.68	\$163.75

10/14/2020	29914	Jeanne Dail	R1 Dwelling	L A- Blue Heron Village	270 Ridgecrest Parkway	\$150,000.00	\$2,845.70
10/14/2020	29915	Sandra Mitchem	Shed	Lot 2 Block 21W Unit 1	509 West Gulf Beach Drive	\$4,654.00	\$146.25
10/15/2020	29916	Coastline Rentals LLC	Electrical Upgrade	METES & BOUNDS	889 Highway 98	\$1,000.00	\$100.00
10/15/2020	29917	Warren Smith	Electrical Upgrade	Lot 2 Block I Unit 4 Perkins Beach	4230 St Teresa Avenue	\$1,500.00	\$100.00
10/16/2020	29918	98 Storage LLC	Commercial Building	metes & bounds	162 Highway 98	\$305,000.00	\$4,659.27
10/19/2020	29919	LUCY BETTINGER	SINGLE WIDE MOBILE HOME	LOT 53 NORTH RIDGE ROAD	697 RIDGE ROAD	\$0.00	\$0.00
10/19/2020	29920	Ehil Perry	Re Roof	Lot 1 Block 4 Gulf Colony	62 Chapman Road	\$19,979.53	\$327.00
10/20/2020	29921	Cronin Investments, INC	New Construction	MAGNOLIA RIDGE PHASE II PB 7/33 LOT 24 725/40 1214/727	210 Ridgecrest Parkway	\$150.00	\$1,422.85
10/20/2020	29922	Todd Wallace	Hurricane repair	Lot 23	1847 Harbor Light Lane	\$9,000.00	\$173.00
10/20/2020	29923	Keith Broyles	Re Roof	Lot 15	2136 Sea Fern Way	\$8,915.00	\$173.00
10/20/2020	29924	William Oxford	Power Pole	A PARCEL IN SEC 30 08S 06W BEING 1.04 AC M/L AKA LOT 3	469 Tip Tucker Road	\$0.00	\$100.00
10/21/2020	29925	Casa Del Mar	Electrical Upgrade	CASA DEL MAR PB 6/2	2202 Veronica Way	\$0.00	\$100.00
10/21/2020	29926	Marsha and Michael Conlan	Re-Roof	LOT 11 SEA PINE VILLAGE	1340 Azalea Drive	\$85,500.00	\$876.38

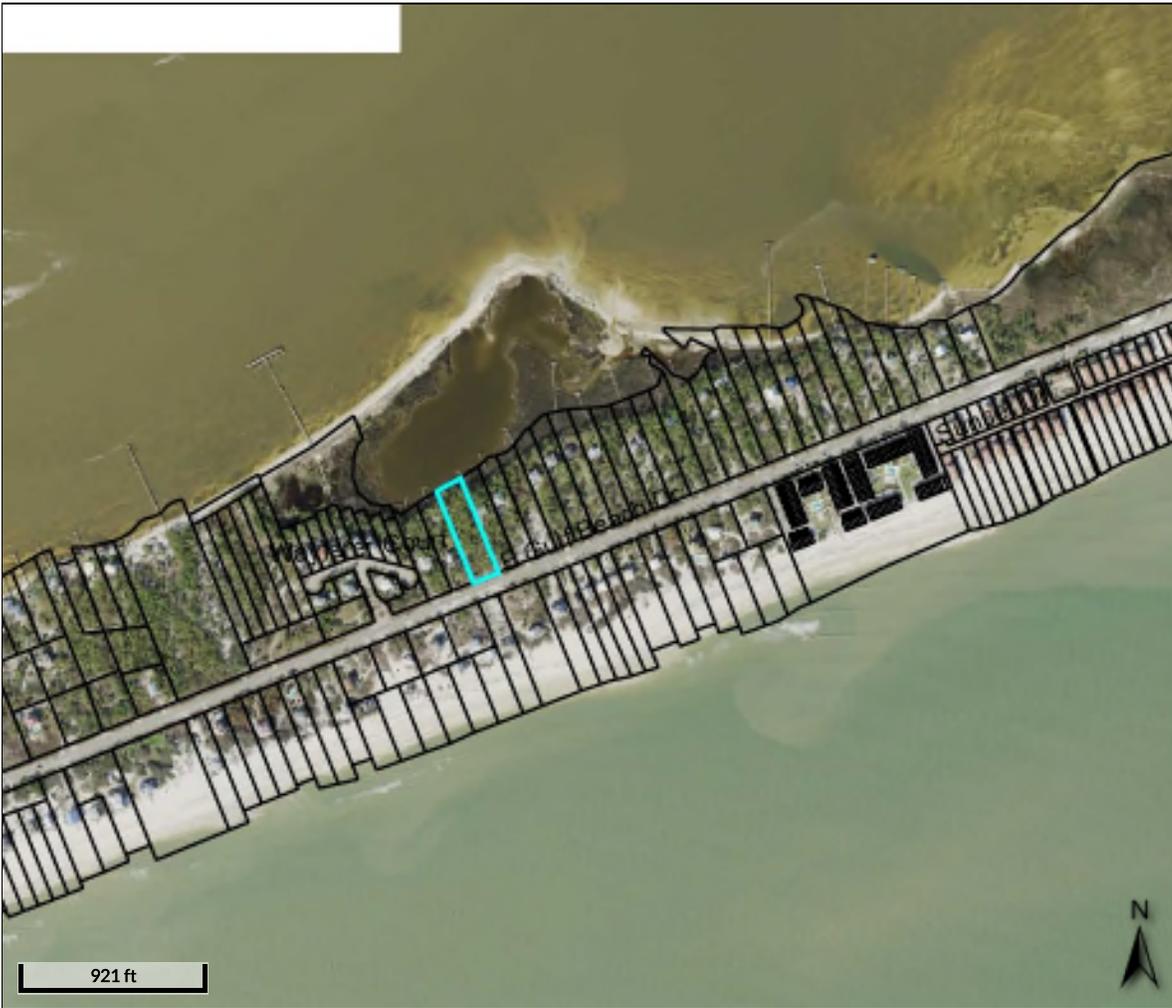
10/21/2020	29927	Eileen Coolik	Roof Over	L A- S	1661 Alligator Drive	\$6,000.00	\$131.00
10/21/2020	29928	Jeffrey Harvey	Replace windows and replacing siding with hardie board	UNIT 3 BL N LOT 6	1041 West Gulf Beach Drive	\$0.00	\$629.80
10/22/2020	29929	Robert Bischoff	Swimming Pool	UNIT 3 BL H LOT 10 179/103 270/277 633/138 1090/361 1092/246 1184/758 1184/759 1184/762	972 West Gulf Beach Drive	\$25,000.00	\$496.25
10/22/2020	29930	Holly and Steve Mccormic	Swimming Pool	UNIT 2 BL I LOT 2 ST GEORGE ISLAND	908 East Gulf Beach Drive	\$25,000.00	\$496.25
10/22/2020	29931	Samuel E Frierson	Power Pole	LOTS 4 AND 10 ALSO A 10' STRIP NORTH OF LOTS 5 & 6	119 Pine Log Drive	\$0.00	\$100.00
10/22/2020	29932	James and Myrtice Corley	Solar Panels	1 AC IN NW 1/4 OF NW 1/4 ALSO A PARCEL 85' X 149' ALSO A PARCEL 100' X 200'	139 Kendrick Road	\$45,740.00	\$750.88
10/23/2020	29933	White Sands Investment Partner	New Construction	LOT 3 RESORT VILLAGE PB 9/9	1514 Gulf View Way	\$0.00	\$2,683.13
10/23/2020	29934	WHITE SANDS INVESTMENT PARTNER	R-1 DWELLING	LOT 4 RESORT VILLAGE PUD	1516 GULF VIEW WAY	\$0.00	\$3,053.78
10/23/2020	29935	White Sands Investment Partner	New Construction	LOT 5 RESORT VILLAGE PB 9/9	1518 Gulf View Way	\$0.00	\$2,683.13
10/23/2020	29936	RODNEY AND ROBIN HILTON	R-1 DWELLING	NA	1899 US HIGHWAY 98 WEST	\$0.00	\$1,665.47
10/23/2020	29937	CRAIG AND KIM SINCLAIR	SITE PREP W/NO FILL	NA	508 AND 512 RIVER ROAD	\$0.00	\$100.00

10/23/2020	29938	FRANK AND BUENA BROWN	ELECTRICAL UPGRADE	L A- 7	TURTLE BEACH VILLAGE	1748 MAGNOLIA DRIVE	\$0.00	\$100.00
10/23/2020	29939	TERRY HILTON	SHED	N/A		22 2ND STREET	\$7,003.15	\$198.75
10/26/2020	29940	BILLY DALTON	MOBILE HOME	LOT 36	TARPON SHORES UNIT 2	658 RIDGE ROAD	\$0.00	\$0.00
10/27/2020	29941	Todd Barlow	Electrical Upgrade	Unit 1	Lanark Beach BL W Lot 1	2218 Highway 98 East	\$1,000.00	\$100.00
10/27/2020	29942	Penelope Evanoff	Hvac	Hickory Dip tract 5		141 Hickory Dip Road	\$2,700.00	\$89.00
10/27/2020	29943	Isherwood Properties LLC	Hvac	Lot 5	Willow Pond	1351 Willow Pond	\$5,200.00	\$131.00
10/27/2020	29944	John Gallipoli	Hvac	Lot 39	Beacon Ridge Phase 3	1919 Jonna Drive	\$4,885.00	\$117.00
10/27/2020	29945	William Pate	Hvac	Lot 18	Sunset Beach Phase 1	1856 Sunset Drive	\$5,580.00	\$131.00
10/27/2020	29946	Tim Baker	Hvac	Lot 2	Bay Pine Village	1323 Curlew Way	\$5,100.00	\$131.00
10/27/2020	29947	Carole Adams	HVAC	METES & BOUNDS		215 River Road	\$5,450.00	\$131.00
10/27/2020	29948	Ramona Loudermilk	Hvac	Lot 27	Plantation Beach	1852 Sea Oat Drive	\$5,000.00	\$117.00
10/27/2020	29949	Sandplover II LLC	HVAC	Lot 12	Block 10E Unit 1	216 East Gorrie Drive	\$12,400.00	\$229.00
10/27/2020	29950	Vicki Papajohn	HVAC	Lot 2	Block 0 Penn Point Unit 4	1435 Alligator Drive	\$5,135.00	\$131.00
10/27/2020	29951	Patrick Kinni	Hvac	Lot 84	Block 10 Southern Dunes Unit 1	669 Bald Point Road	\$4,740.00	\$117.00

10/27/2020	29952	Robert Frankland	Cupola Extension	L A-	Sandpiper Village	1659 Gannet Court	\$11,000.00	\$251.25
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Overview



Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	29-09S-06W-7319-0000-0030	Alternate ID	06W09S29731900000030	Owner Address	MUSARACA MARK A & LINDA J
Sec/Twp/Rng	29-9S-6W	Class	VACANT		AS TRUSTEES
Property Address	1663 E GULF BEACH DR	Acreage	1.46		750 PEMBRIDGE PLACE
					SUGAR GROVE, IL 60554

District 1
Brief Tax Description LOT 3 SHELL HARBOUR
 (Note: Not to be used on legal documents)

Date created: 10/27/2020
 Last Data Uploaded: 10/27/2020 7:39:34 AM

Developed by 



DOCK PERMIT APPLICATION

FRANKLIN COUNTY BUILDING DEPARTMENT
 34 Forbes Street, Suite 1, Apalachicola, Florida 32320
 Phone: 850-653-9783 Fax: 850-653-9799
http://www.franklincountyflorida.com/planning_building.aspx

PERMIT # _____

FEE: \$ _____

C.S.I : \$ _____

TOTAL: \$ _____

NOTE TO APPLICANTS AND PERMIT HOLDERS:
 VIOLATIONS OF THE TERMS AND CONDITIONS OF THIS PERMIT MAY WARRANT A STOP WORK ORDER OR REVOCATION OF THIS PERMIT. THIS PERMIT IS VALID FOR ONE YEAR FROM THE DATE OF ISSUANCE. CONSTRUCTION MUST COMMENCE WITHIN SIX MONTHS OF THIS DATE:
 ISSUANCE DATE: _____ EXPIRES: _____

EXISTING HOUSE: Yes No

DEP PERMIT: Yes No

ARMY COE PERMIT: Yes No

APPROVED: Yes No

RECEIVED
 SEP 25 2020

APPLICATION MUST BE COMPLETE:

Property Owner/s: MARK & LINDA MUSARACA

Contact Information: Home #: 670-3625 Cell #: _____

Mailing Address: 750PEMBRIDGE PLACE City/State/Zip: SUGAR GROVE, IL 60554

EMAIL Address: _____ @ _____

Contractor Name: LARRY JOE COLSON Business Name: LARRY JOE COLSON, INC. QUALITY DOCKS

Contact Information: Office #: 850-247-9682 Cell #: 850-653-7633

State License #: _____ County Registration #: 104

Mailing Address: 387 US HWY 98 City/State/Zip: EASTPOINT, FL. 32328

EMAIL Address: LARRYJOECOLSONINC @ YAHOO.COM

PROPERTY DESCRIPTION: 911 Address: 1663 E GULF BEACH DR.

Lot/s: 3 Block: _____ Subdivision: SHELL HARBOUR Unit: _____

Parcel Identification #: 29-09S-06W-7319-0000-0030

JURISDICTION: Franklin County City of Carrabelle

Apalachicola Eastpoint St. George Island Carrabelle Dog Island Lanark/ St. James St. Teresa Alligator Point

SINGLE FAMILY DOCK/PIER MULTI-FAMILY DOCK/PIER COMMERCIAL

DESCRIPTION: 120' X 4' WALKWAY AND 8' X20' TERMINUS + Site Prep Road Base Road

ZONING DISTRICT: _____ CONTRACT COST: \$13,700.00

TOTAL SQUARE FOOT: _____ FOUNDATION TYPE: _____

ROOF MATERIAL: _____

APPROVED BY: Planning & Zoning Date: _____ County Commissioners Date: _____

WATER BODY: _____

CRITICAL SHORELINE DISTRICT YES OR NO CRITICAL HABITAT ZONE YES OR NO

Larry Joe Colson 9-25-2020

BUILDING OFFICIAL _____ **OWNER (Required)** _____ **CONTRACTOR (Required)** _____

Date _____ Date _____ Date _____

FRANKLIN COUNTY DOCK CHECKLIST & FEE SCHEDULE**CHECKLIST:**

- Application
- DEP *upon Continguals*
- Army CORPS *? on Road Base, Army was needed ;)*
- Site Plan *Need Help*
- Lighting Plan
- Drawings (Approved by all entities)
- Approvals from local jurisdictions
- Dock Site Plan, Construction & Lighting Affidavit *Need Help - New*
- Copy of Signed Contract Cost *← Want to make sure this want be public
Should be private, please?*

Please call me Amy @ 247-9682



FLORIDA DEPARTMENT OF Environmental Protection

Bob Martinez Center
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

Ron DeSantis
Governor

Jeanette Nuñez
Lt. Governor

Noah Valenstein
Secretary

Electronic Submission

Request for Verification of Exemption from an Environmental Resource Permit

You have successfully submitted a request for Verification of Exemption from the Environmental Resource Permit (ERP) requirements of Part IV of Chapter 373, F.S., and Chapter 62-330, F.A.C.. Your request was received on TBD.

Below is a copy of the details of your request for your records.

Facility Information

Site Name: Musaraca Dock
Address Line 1: 1663 E Gulf Beach Dr
Address Line 2:
City/State/Zip Code: Eastpoint, FL 32328 3107

Mailing Address

Address Line 1: 1663 E Gulf Beach Dr
Address Line 2:
City/State/Zip Code: Eastpoint, FL 32328 3107

Applicant

Name: Mark and Linda Musaraca
Address Line 1: 1663 E Gulf Beach Dr
Address Line 2:
City/State/Zip Code: Eastpoint, FL 32328 3107
Phone Number: (850) 670-3625
Extension:
Cell Number: (850) 653-7634
Fax Number:
E-mail Address: larryjoecolsoninc@yahoo.com

Agent

Name: Larry Colson
Address Line 1:
Address Line 2:
City/State/Zip Code: , FL 32320 1005
Phone Number: (850) 653-7634
Extension:
Cell Number:
Fax Number:
E-mail Address: larryjoecolsoninc@yahoo.com

Property Owner

Name: Mark and Linda Musaraca
Address Line 1: 1663 E Gulf Beach Dr
Address Line 2:
City/State/Zip Code: Eastpoint, FL 32328 3107
Phone Number: (850) 670-3625
Extension:
Cell Number: (850) 653-7634
Fax Number:
E-mail Address: larryjoecolsoninc@yahoo.com

Project Information

Tax Parcel Identification Number(s): 29-095-06W-7319-0000-0030
Anticipated Commencement Date: 02/29/2020
Anticipated Completion Date: 03/31/2020
Project Name (including Phase): Musaraca Dock

Exemptions Requested:

Permit Category	Permit Subcategory	Application #
Docks, piers, boat ramps, navigational aids, and related activities	New boat dock at a private, single-family residence	TBD

Project Description:

Single Family Dock 120 feet by 4 with a 8 feet by 20 feet Terminus, 640 square feet Total Coverage. 45 feet and terminus is over open water with Mud and Sand Bottom and No Grasses. From uplands to the water we must traverse over 75 feet over marsh grass Turbidity Cloth will be used before and during construction. Low Pressure Jetting with Low noise, we will be using our floating barge with a 6 inch draft to install the pilings over the water. All Material will be brought over by land, in one set of foot prints to avoid any disturbance. There will be no stock piling. Plans for a house after dock has been built. All pilings will be 6' diameter and will be 2.5 CCA Marine Treated, installed 10 feet in the ground with no hallows. Piling Span will be 10 feet Apart. All Lumber will be .25 Pressure Treated 2 by

B-

Musac



**FLORIDA DEPARTMENT OF
Environmental Protection**

Bob Martinez Center
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

Ron DeSantis
Governor

Jeanette Nuñez
Lt. Governor

Noah Valenstein
Secretary

Payment Receipt

Remittance ID: 1357593
Remittance Date: 09/23/2019 11:02:05 PM
Name: Larry Colson
Address: PO Box 1046
Carrabelle, FL 32322
Payment Type: FDEP Request for Verification of ERP Exemption
Amount: \$100.00

(SAV) Survey Performed: 9-4-08 50' Radius

Performed By: Larry Johnson

850-653-7634, 387 Hwy, 98 Eastpoint, FL 32328

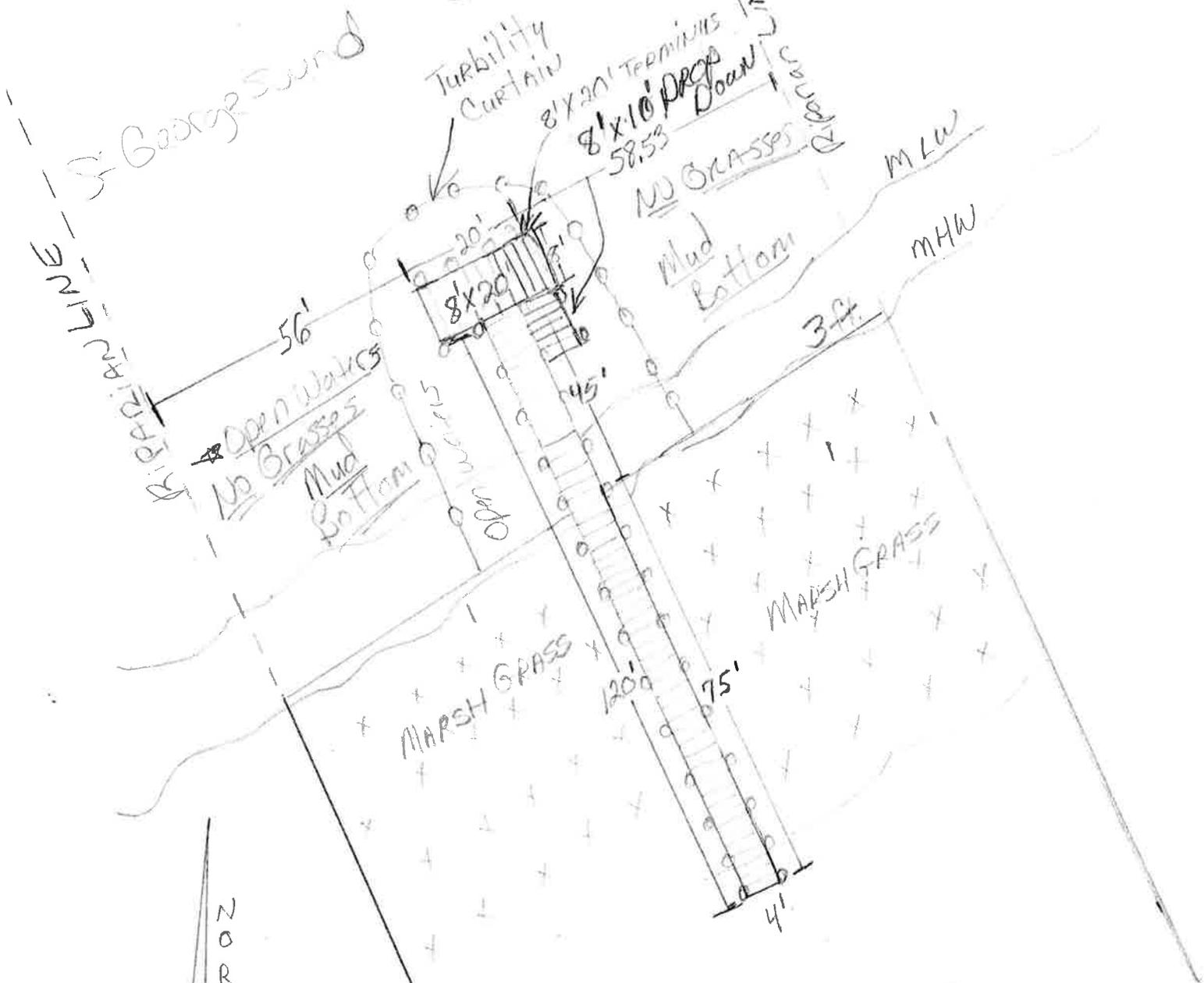
Findings: Open Waters - Mud Bottom, No Grasses

Traverse to Open Waters - 75' Marsh Grass Only

NO Johnson Sea Grasses, NO Submerge Seagrass

SHEET: 3/4 Grass Survey + Overhead Drawing

Project 2008-01
1663 East Gulf Beach Dr
S-1, FL 32328



1" = 25'
scale

"Single Family Dock"
Mark + Linda Musaraca
1663 East Gulf Beach Dr., SGI FL 32328
Lot 3 Vacant
"Future Single Family Dwelling"

Prepared By: Larry Joe Colson, Inc.

387 Hwy 98 Eastport, FL 32328

Applicant: Mark A. + Linda J. Musaraca

Project Address: 1663 East Gulf Beach Dr, SBI
FL 32328

DATE: September 4, 2019

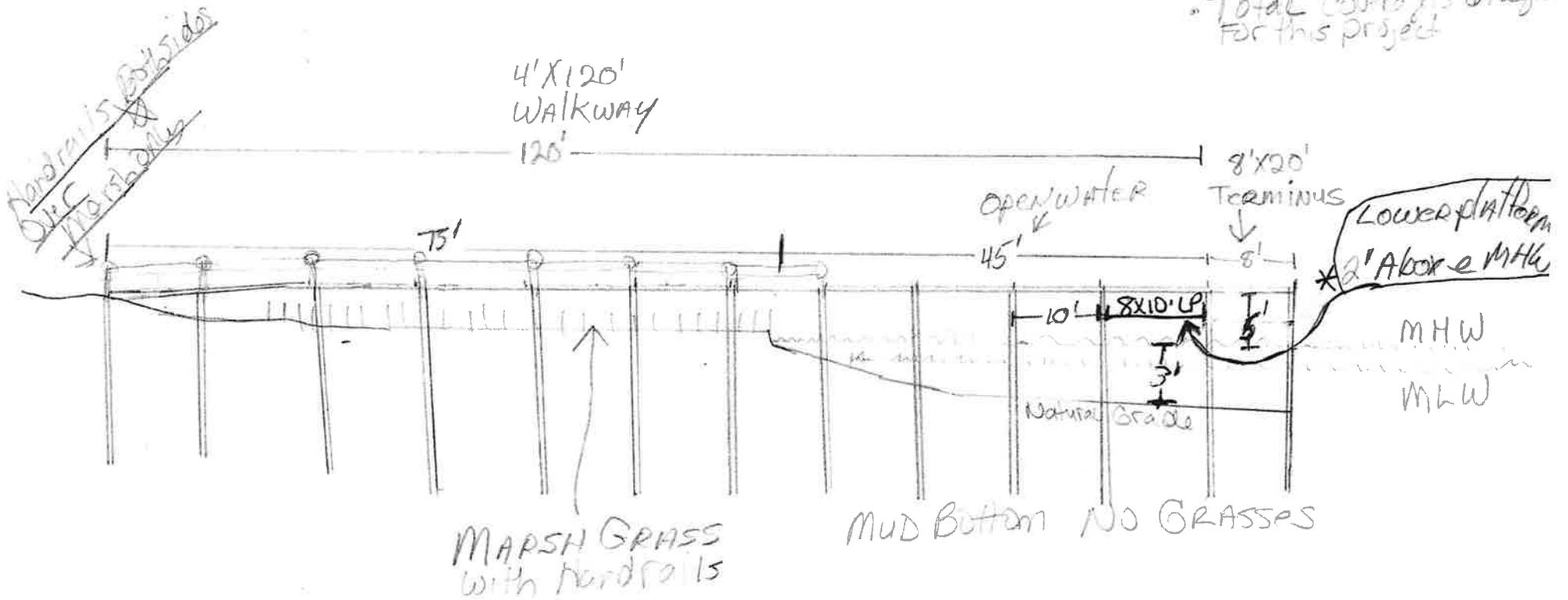
SHEET: 4/4

'Cross Section of Proposed Dock' Single Family Dock

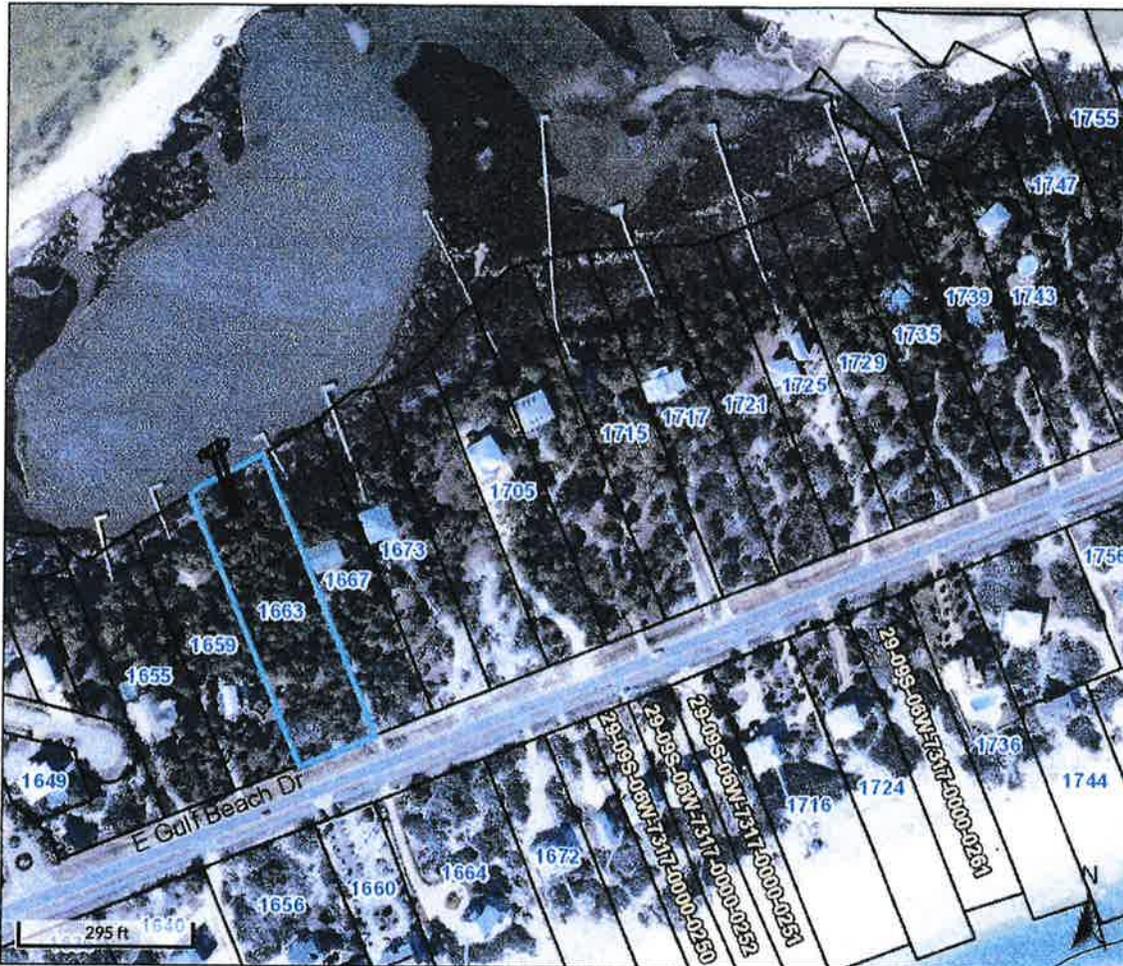
Total Sqft Proposed: 640 Sqft Coverage

B-

- Wood Piling 6 inch in Diameter
- Will Be 10 feet Apart
- Low Pressure Jetting, Low Noise
- Decking Will be 6" in Width Spaced No Less than 1/2 inch
- Deck Will Be 5' Above MHW
- Dyer in Marsh + Water
- Piling 2.5 CCA Marine Treated
- Lumber .85 P.T.
- Haul Dyer By Land
- Fasteners Not Dip Galv
- Turbidity Curtain Used
- 1 Set of Foot Prints Minimum any other disturbance
- Carrying Dyer Professional as per 301.13 material will be stored at site
- Total Coverage is 640 Sqft for this project



Vicinity Map Sheet 2/4



- Legend**
- Parcels
 - Roads
 - City Labels

Parcel ID	29-09S-06W-7319-0000-0030	Alternate ID	06W09S29731900000030	Owner Address	MUSARACA MARK A & LINDA J
Sec/Twp/Rng	29-9S-6W	Class	VACANT		AS TRUSTEES
Property Address	1663 E GULF BEACH DR	Acres	1.46		750 PEMBRIDGE PLACE
					SUGAR GROVE, IL 60554

District 1
Brief Tax Description LOT 3 SHELL HARBOUR
 (Note: Not to be used on legal documents)

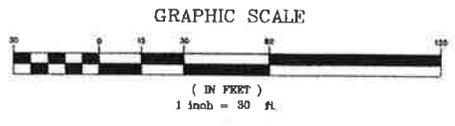
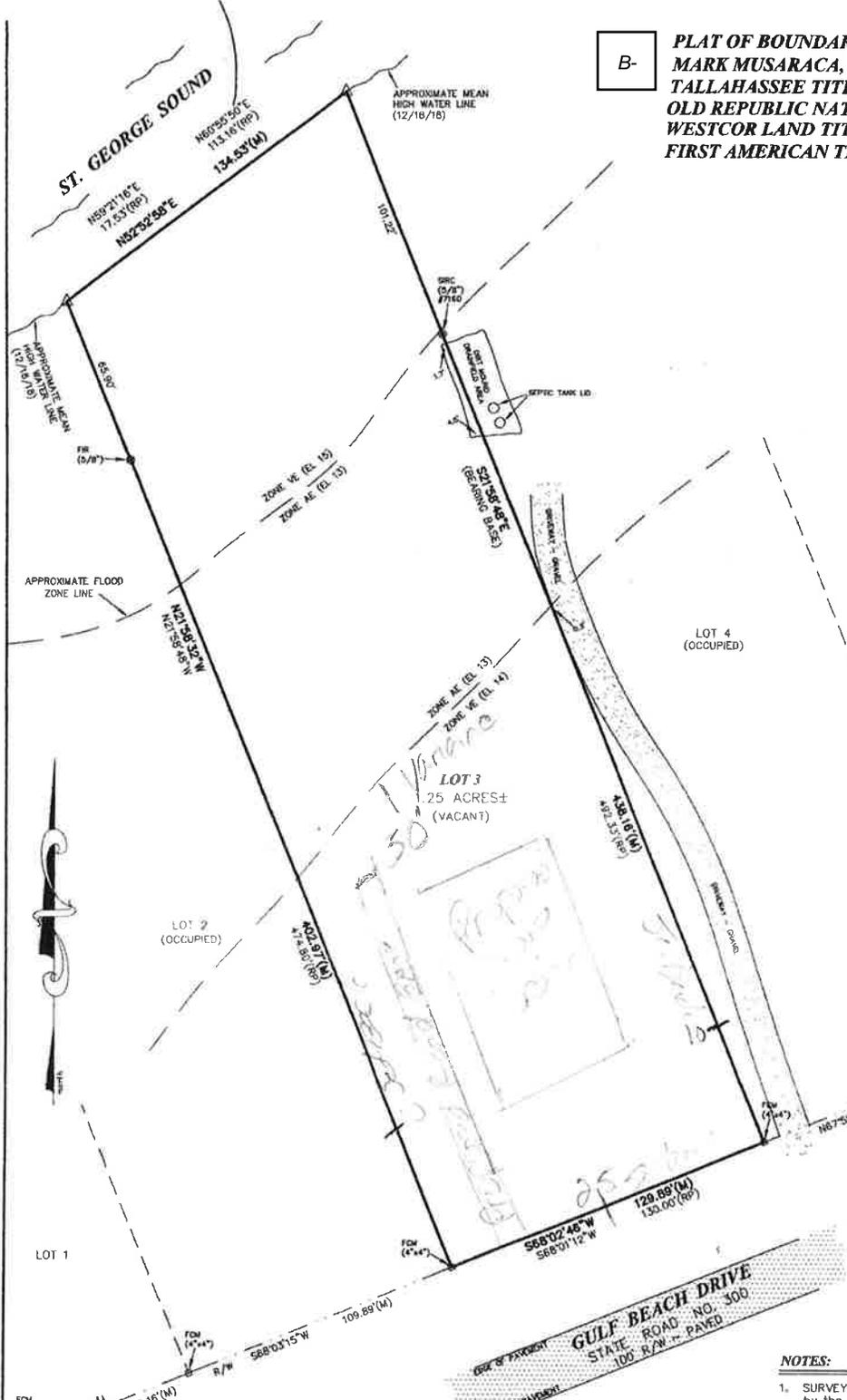
Date created: 9/23/2019
 Last Data Uploaded: 9/23/2019 7:04:21 AM

Developed by Schneider GEOSPATIAL

Proposed House Location

B-

PLAT OF BOUNDARY SURVEY CERTIFIED TO:
MARK MUSARACA,
TALLHASSEE TITLE GROUP, LLC,
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY,
WESTCOR LAND TITLE INSURANCE COMPANY,
FIRST AMERICAN TITLE INSURANCE COMPANY



LEGEND

FIR	FOUND IRON ROD -5/8"
FCM	FOUND CONCRETE MONUMENT 4"x4" (UNLESS NOTED)
SJPC	ST JOE PAPER COMPANY-6"x6"
FT	FLAT TOP
SIRC	SET IRON ROD & CAP #7160-5/8"
FIRC	FOUND IRON ROD & CAP-5/8"
R/W	RIGHT OF WAY
M	MEASURED
D	DEED CALL
R.P.	RECORD PLAT
~	NOT TO SCALE
ORB.	OFFICIAL RECORDS BOOK, FRANKLIN COUNTY, FL
PG	PAGE
⊕	FIRE HYDRANT
⊙	POWER POLE
OHE	OVERHEAD ELECTRICAL LINE
WM	WATER METER
⊠	TELEPHONE BOX
⊕	WATER VALVE

LEGAL DESCRIPTION:
 LOT 3 OF "SHELL HARBOUR", A SUBDIVISION AS PER MAP OR PLAT THEREOF RECORDED IN PLAT BOOK 4, PAGES 25-26 OF THE PUBLIC RECORDS OF FRANKLIN COUNTY, FLORIDA.

- NOTES:**
1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
 2. BEARING REFERENCE: Easterly boundary of subject parcel being South 21 degrees 58 minutes 48 seconds East as per record plat.
 3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
 4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
 5. This survey is dependent upon EXISTING MONUMENTATION.
 6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 5J-17.051/.052).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

James T. Roddenberry
 JAMES T. RODDENBERRY
 Surveyor and Mapper
 Florida Certificate No. 4251

FLOOD ZONE INFORMATION:
 Subject property is located in Zone "AE" (EL 13), Zone "VE" (EL 14) and Zone "VE" (EL 15) as per Flood Insurance Rate Map Community Panel Number: 120085 0570F, Index Date: February 5, 2014, Franklin County, Florida.

THURMAN RODDENBERRY & ASSOCIATES, INC. PROFESSIONAL SURVEYORS AND MAPPERS P.O. BOX 100 • 123 SHELDON STREET • SOPCHOPPE, FLORIDA 32358 PHONE NUMBER: 850-943-2528 FAX NUMBER: 850-943-1110 L.R. 1780			
			DATE: 12/19/18
FILE: 18560 DWG	DATE OF LAST FIELD WORK: 12/18/18	JOB NUMBER: 18-560	

permits@franklincountyflorida.com

From: Larry joe Colson,inc <larryjoecolsoninc@yahoo.com>
Sent: Friday, September 25, 2020 3:39 PM
To: permits@franklincountyflorida.com
Subject: Re: DOCK PERMIT UPON CONTINGENTS HERE S THE COUNTY APPLICATION
Attachments: MARK MUSARACA FRANKLIN COUNTY DOCK PERMIT APPLICATION.pdf; MARK MUSARACA CHECK LIST WITH SOME QUESTIONS.pdf

HI LADIES

HERE IS THE COUNTY APPLICATION FOR MARK MUSARACA, I SENT THE OTHER 7 ATTACHMENTS RIGHT BEFORE THIS ONE. I WILL GET THE OTHER THINGS YOU ALL NEED NEXT WEEK WHEN I SPEAK TO AMY WHEN SHE GETS BACK IN THE OFFICE:)) HAVE A BLESS WEEKEND, THANK YOU BOTH FOR ALL YOUR HELP TODAY<3

Your Friends Here @
Larry Joe Colson, Inc.
A-1 Quality Docks & Boatlifts
Larry Joe & Georgette Colson
Apalachicola Office: 850-653-2098
The Dock Store 850-670-DOCKS(3625)
www.A1QualityDocksBoatliftsandSeawalls.com
www.A1QualityDocks.com

On Friday, September 25, 2020, 03:22:18 PM EDT, Larry joe Colson,inc <larryjoecolsoninc@yahoo.com> wrote:

GOOD EVENING LADIES,

PLEASE GET THIS CLIENT ON BEFORE THE DEADLINE HE HAS WAITING OVER A YEAR:(:(I ALMOST HAVE THE PERMIT FROM THE DEP AND ARMY COOR JUST NOT RIGHT NOW. I WILL GET IT ALL TO YOU ASAP:) SORRY I DIDNT KNOW ABOUT THE OTHER NEW ITEMS I HAVENT GOT A PERMIT IN A WHILE. I WILL GET THAT TO YOU AMY.

ALSO I HAVE TO SOMEHOW MAKE THIS COUNTY APPLICATION SAVE OR PRINT SO I CAN SEND IT TO YOU, IT WILL BE IN A SEPARATE EMAIL I DONT WANT THIS ONE TO BE TOO LARGE OF A FILE:(

ALSO I HAD CALLED FRIDAY AND YOU WERE OUT WE ALL WASNT FOR SURE IF I ADD THE ROAD BASE TO THIS PERMIT, I THINK YOU TOLD ME IT DOESNT HAVE TO GO TO THE P&Z MEETING BUT I PUT IT IN THE SITE PLANS FOR NOW. I WILL GET A MUCH DETAIL FOR YOU IF YOU NEED IT.

PS PLEASE CALL ME NEXT WEEK. I AM TRYING TO GET THIS TO THE GIRLS TO GET TO YOUR DESK IN TIME:) PLEASE FIND ALL THE ATTACHMENTS AND WHAT I DONT HAVE I WILL GET FOR YOU. THANK YOU AND HAVE A BLESS DAY:))

Your Friends Here @
Larry Joe Colson, Inc.
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www.A1QualityDocks.com



**DOCK SITE PLAN, CONSTRUCTION
AND LIGHTING AFFIDAVIT**

FRANKLIN COUNTY BUILDING DEPARTMENT
 34 Forbes Street, Suite 1, Apalachicola, Florida 32320
 Phone: 850-653-9783 Fax: 850-653-9799
http://www.franklincountyflorida.com/planning_building.aspx

PERMIT

ORDINANCE
No. 2004-17
Dock Ordinance

DOCK CONSTRUCTION STANDARDS & LIGHTING AFFIDAVIT

APPLICATION MUST BE COMPLETE: (We will no longer accept incomplete applications)

Property Owner/s: Mark & Linda Mustaraca
 Contact Information: Home #: _____ Cell #: _____
 Mailing Address: 750 Pembroke Place City/State/Zip: Sugar Beach, FL 32054
 EMAIL Address: _____

PROPERTY DESCRIPTION: 911 Address: _____
 Lot/s: 3 Block: _____ Subdivision: Shell Harbour Unit: _____
 Parcel Identification #: 29-095-DOW-7319-0000-0030

JURISDICTION: Franklin County City of Carrabelle
 Apalachicola Eastpoint St. George Island Carrabelle Dog Island Lanark/ St. James St. Teresa Alligator Point

SITE PLAN & CONSTRUCTION STANDARDS:

- I understand that applications for dock or piers must contain a survey prepared by a professional surveyor which indicates riparian rights, unless the dock is built at least 25 feet from existing property lines. INITIAL: AM
- I understand that Docks built on canals are permitted to be no larger than 25% of the width of the canal including the boat mooring site. INITIAL: AM
- I understand that the lot must be large enough to accommodate a single-family dwelling; or be a lot separated from the single family dwelling by a right-of-way and owned by the same owner; or the lot may be eligible for a hardship variance from the Board of Adjustment. INITIAL: AM
- I understand that no dry dock facilities, gasoline or fuel pumps are allowed on a residential lot other than boat lifts connected to a dock. INITIAL: AM
- I understand that boat ramps may be allowed so long as the property contains adequate size for the parking of trailers on the property. No commercial boat docking or launching allowed. INITIAL: AM
- I understand that no parking of vehicles is allowed within the Critical Habitat Zone, which is the first 50 feet from mean high water. INITIAL: AM
- I understand that the lot must be kept in natural vegetation within the Critical Habitat Zone. INITIAL: AM
- I understand that I must comply with the permitting requirements for all other governmental agencies having jurisdiction over the project. (Evidence of an exemption from such compliance must be furnished by the homeowner before approval can be granted. INITIAL: AM
- I understand that the dock must be elevated a minimum of five (5) feet above mean high water, except that the terminal platform may be lower at the owner's discretion. This requirement shall not apply to docks running parallel to the shoreline provided they extend no further than 25 feet from the edge of the water. (*This will allow pedestrians to cross under the dock at the water's edge) INITIAL: AM

- I understand that the dock must be constructed on pilings B- a minimum of eight (8) feet apart center to center. INITIAL: *AGC*
- I understand that no dusk to dawn lights. Must be able to switch off or on by motion detector, or be activated by a 3-way switch. INITIAL: *AGC*
- I understand that lights limited to one on the terminal platform and one on the landward end of the dock or pier, and one every 100 feet between the terminal platform and the landward end of the dock, except where a hardship exists. INITIAL: *AGC*
- I understand that all lights must be downward directed and have adequate shielding to prevent light trespass and minimize light pollution from light scatter. INITIAL: *AGC*
- I understand the type and location of fixtures must be included on a diagram of dock or pier and submitted with permit application. INITIAL: *AGC*
- I understand that the dock must have amber colored night/time reflectors set at a minimum of one at each side in the middle and one at each side of the terminal. INITIAL: *AGC*

I have read and understood that construction and lighting standards of the Franklin County Dock Ordinance No. 2004-17 and will practice these standards.

Contractor/Owner Signature: Date

Contractor/Owner Printed Name:

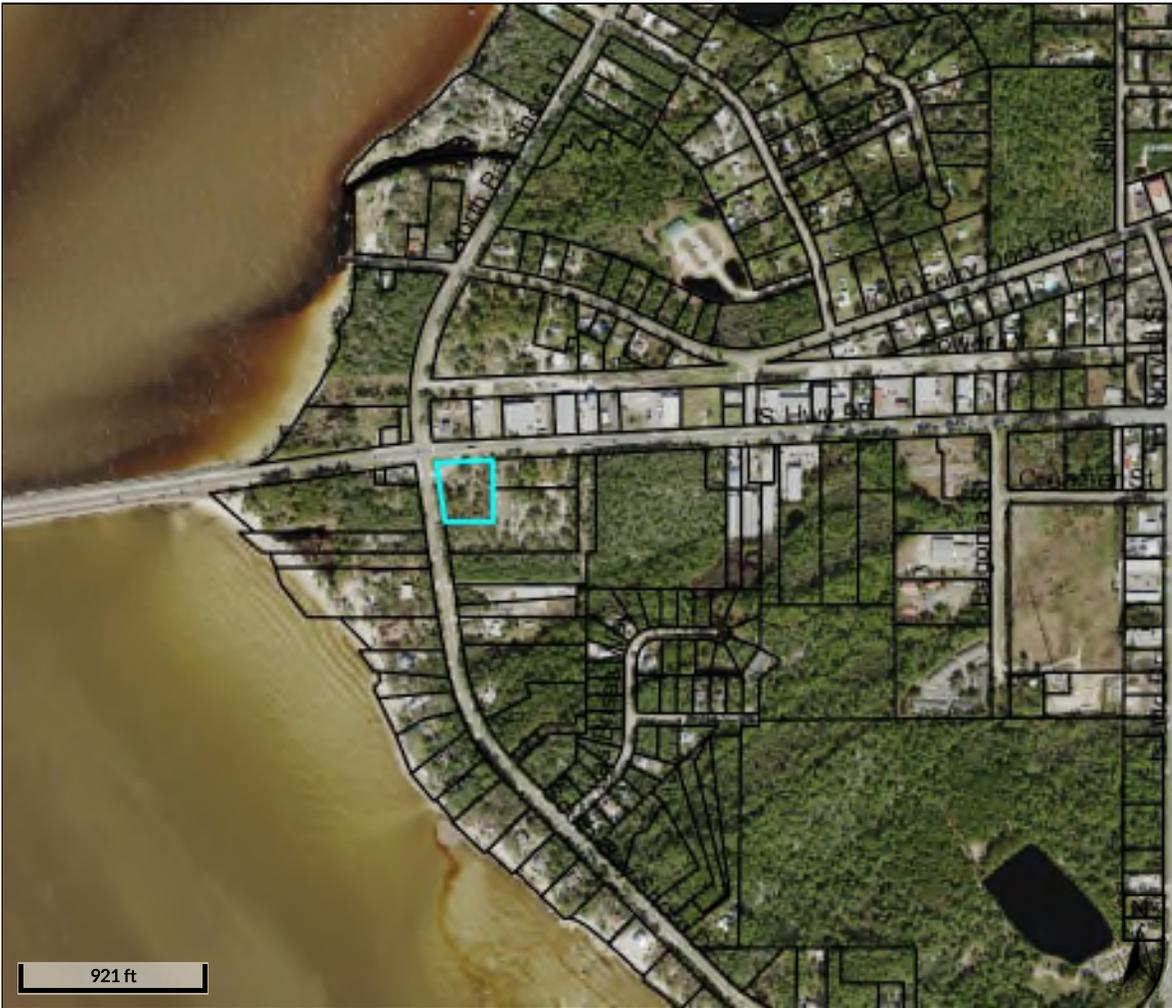
**State of Florida
County of Franklin**

I, _____, who is personally known or provided the following identification _____, on this day ____ of _____, 20__ understand that I have read and understood the above statement and will comply or the Final Certificate of Occupancy will be held up until the above has been documented.

NOTARY: _____

SEAL:

Printed Name



Overview



Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	36-08S-07W-0000-0260-0000	Alternate ID	07W08S36000002600000	Owner Address	BAY AND 98, LLC
Sec/Twp/Rng	36-8S-7W	Class	STORE/OFFI		2356 SCHOONER LANDING
Property Address		Acreage	n/a		ST.GEORGE ISLAND, FL 32328
District	5				
Brief Tax Description	1.76 ACRES IN NW 1/4 & SW				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 10/27/2020
 Last Data Uploaded: 10/27/2020 7:39:34 AM

Developed by 

CONSTRUCTION PLANS FOR:

BAY SHORE VILLAGES MEDICAL CENTER

EASTPOINT, FRANKLIN COUNTY, FLORIDA
SECTION 36, T8S, R7W

FOR PERMIT
PURPOSES ONLY
NOT FOR CONSTRUCTION



VICINITY MAP
NOT TO SCALE



SITE MAP
NOT TO SCALE

NOTES

- 1) THE CONTRACTOR SHALL COMPLY WITH THE "FLORIDA TRENCH SAFETY ACT" (LAWS OF FLORIDA 90-96, OCTOBER 1, 1990) AND PROVIDE PROOF OF COMPLIANCE. THE CONTRACTOR MUST PROVIDE "NOTORIZED STATEMENT" TO THE OWNER, THAT THEY ARE IN COMPLIANCE WITH ALL APPLICABLE TRENCH SAFETY STANDARDS.
- 2) EVERY ATTEMPT TO LOCATE UNDERGROUND UTILITIES MUST BE MADE. THERE ARE THE POSSIBILITIES OF UNDERGROUND ELECTRICAL, TELEPHONE, ETC. THAT HAS NOT BEEN LOCATED. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS, DEPTH AND TYPE OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.

ENGINEER OF RECORD:

SCOT C. RUTHERFORD, PE
LICENSE No. 70041
SCR & ASSOCIATES
4116 N. HWY 231 E. BLDG
PANAMA CITY, FL. 32404

SURVEYOR OF RECORD:

JAMES T. RODDENBERRY, PLS
LICENSE NO. 4261
THURMAN RODDENBERRY & ASSOCIATES, INC
P.O. BOX. 100
SOPCHOPPY, FLORIDA 32358

PREPARED FOR :

SOUTHERN DEVELOPMENT OF MISSISSIPPI
P.O. BOX 1207
PURVIS, MS 39475

PROPERTY OWNER :

BAY AND 98, LLC
2356 SCHOONER LANDING
ST. GEORGE ISLAND, FL 32328

INDEX

SHEET DESCRIPTION	SHEET No.
COVER	C.0
CONSTRUCTION NOTES	C.1
EXISTING CONDITIONS	C.2
SITE, DIMENSIONS, EROSION & UTILITY PLAN	C.3
SITE GRADING & DRAINAGE PLAN	C.4
SITE DETAILS	C.5
EROSION CONTROL & UTILITY DETAILS	C.6

SITE DATA

PARCEL ID NUMBER: 36-08S-07W-0000-0270-0000
& 36-08S-07W-0000-0250-0000

FUTURE LAND USE: COMMERCIAL
FLOOD ZONE: "X"

DESIGN CRITERIA

FRANKLIN COUNTY LAND DEVELOPMENT REGULATIONS

PREPARED BY :



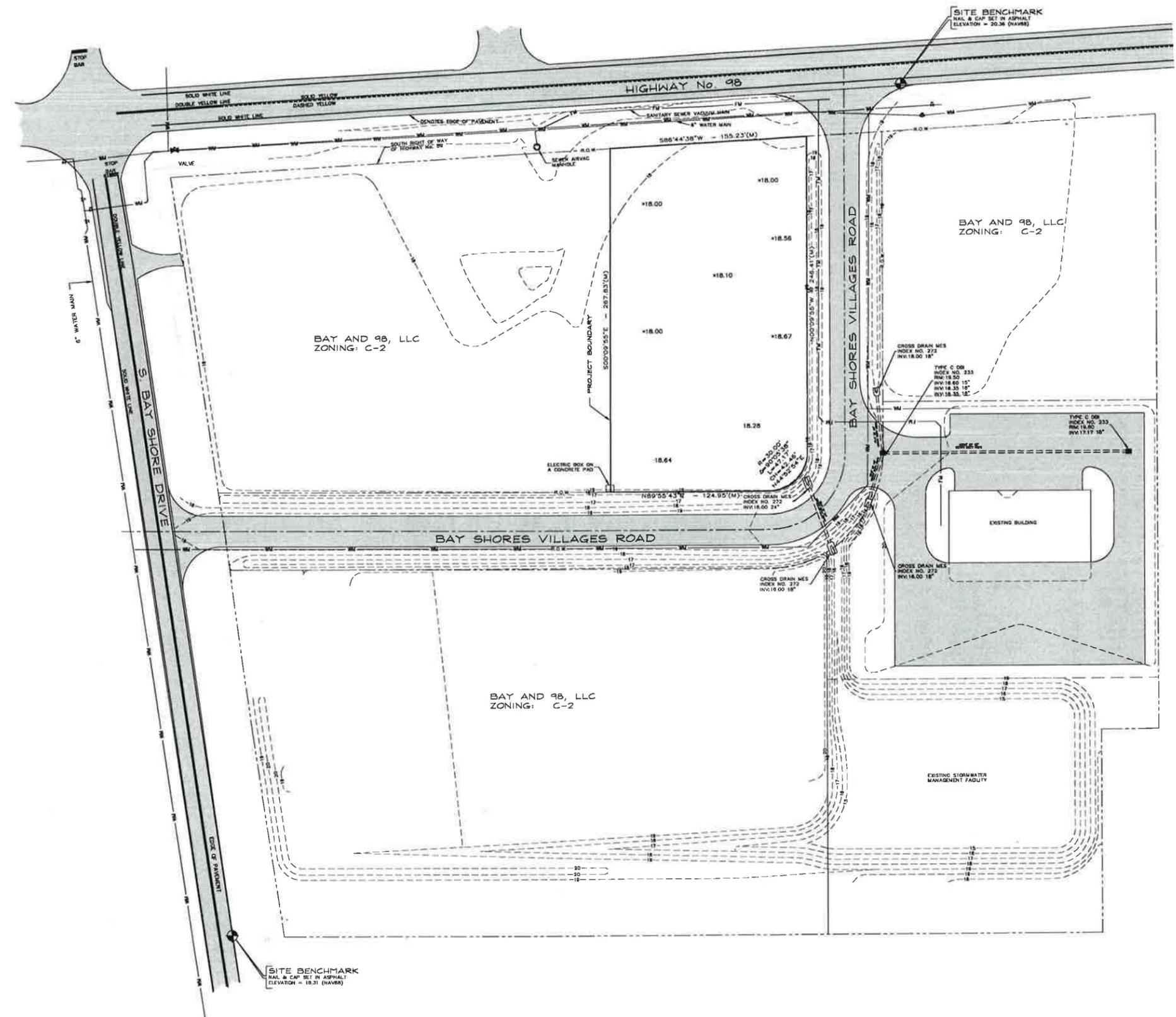
ENGINEERING - SURVEYING

FLORIDA CERTIFICATE OF AUTHORIZATION No. 28715

4116 N. Hwy 231 E. Bldg. Panama city, Florida 32404
Phone: 850-265-8878 Fax: 850-265-9842 SCR@scr.us.com www.SCR.us.com

JOB No. 14905
FILE No. R16020

FOR PERMIT PURPOSES ONLY
NOT FOR CONSTRUCTION



SYMBOLS & ABBREVIATIONS

672	NUMBER OF STANDARD & HANDICAP PARKING SPACES	⊠	EXISTING TELEPHONE OPTIC PEDESTAL
CL	CENTERLINE	⊠	EXISTING GATE VALVE
M	MORE OR LESS	⊠	EXISTING FIRE HYDRANT
SUF	STORMWATER MANAGEMENT FACILITY	⊠	EXISTING BACKFLOW PREVENTER
HRZ	HORIZONTAL	⊠	EXISTING SEWER MANHOLE
VERT	VERTICAL	⊠	EXISTING UTILITY POLE
N	NUMBER	⊠	EXISTING ANCHOR POLE
LB	LICENSED BUSINESS PROFESSIONAL ENGINEER	⊠	EXISTING GUY ANCHOR
P.E.	PROFESSIONAL ENGINEER	⊠	EXISTING ROAD SIGN
R	RADIUS	⊠	EXISTING SPOT ELEVATION
EL	ELEVATION	⊠	PROPOSED SPOT ELEVATION
F.F.E.	FINISHED FLOOR ELEVATION	⊠	PROPOSED SPOT ELEVATION
CONC.	CONCRETE	⊠	PROPOSED WATER VALVE
SF	SQUARE FEET	⊠	PROPOSED WATER METER
N	NORTH	⊠	PROPOSED RPZ BACKFLOW PREVENTER
E	EAST	⊠	PROPOSED MITERED END SECTION
S	SOUTH	⊠	APPROXIMATE GEOTECHNICAL BORE LOCATION
W	WEST	⊠	PROPOSED DOWNSPOUT
EX	EXISTING	⊠	PROPOSED FIRE HYDRANT
LF	LINEAR FEET	⊠	PROPOSED FIRE HYDRANT SIGN
BTM	BOTTOM	⊠	PROPOSED BOLLARD
ADP	ADJUSTED PLASTIC PIPE	⊠	PROPOSED CLEAN-OUT
R.C.P.	REINFORCED CONCRETE PIPE	⊠	SLOPE DIRECTION ARROW
SEC	SECTION	⊠	GRADE TO EXISTING GRADE
PCB	PANAMA CITY BEACH LAND DEVELOPMENT CODE	⊠	PIPE CONTINUES OUTSIDE THE SURVEY'S SCOPE
LDC	LAND DEVELOPMENT CODE	⊠	
TY	TYPICAL	⊠	
PE	POLYETHYLENE	⊠	
WV	WATER METER REQUIREMENTS	⊠	
REQ.	REQUIREMENTS	⊠	
A.G.	ADJACENT GRADE	⊠	
LA	LANDSCAPE	⊠	
P.V.C.	POLYVINYL CHLORIDE	⊠	
UN	UNLESS OTHERWISE NOTED	⊠	
SHWT	SEASONAL HIGH WATER TABLE	⊠	
T.O.B.	TOP OF BANK	⊠	
WS	WATER SERVICE	⊠	
SS	SANITARY SEWER LATERAL	⊠	
SCD	SEWER CLEAN-OUT	⊠	
T.T.E.	TIE TO EXISTING	⊠	
IRN	IRIGATION	⊠	
EX	EXISTING	⊠	
PR	PROPOSED	⊠	
SPB	STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES	⊠	

NOTE:

SEE THURMAN RODDENBERRY & ASSOCIATES, INC BOUNDARY SURVEY JOB No. 05-721, FILE No. 057210.DWG, DATED 7-30-20 FOR COMPLETE SURVEY INFORMATION.
EXISTING SITE GRADING PROVIDED BY CLIENT & PERFORMED BY GENESIS GROUP, PROJECT No. B675-001, DATED 09-13-18



REVISIONS

NO.	DATE	DESCRIPTION

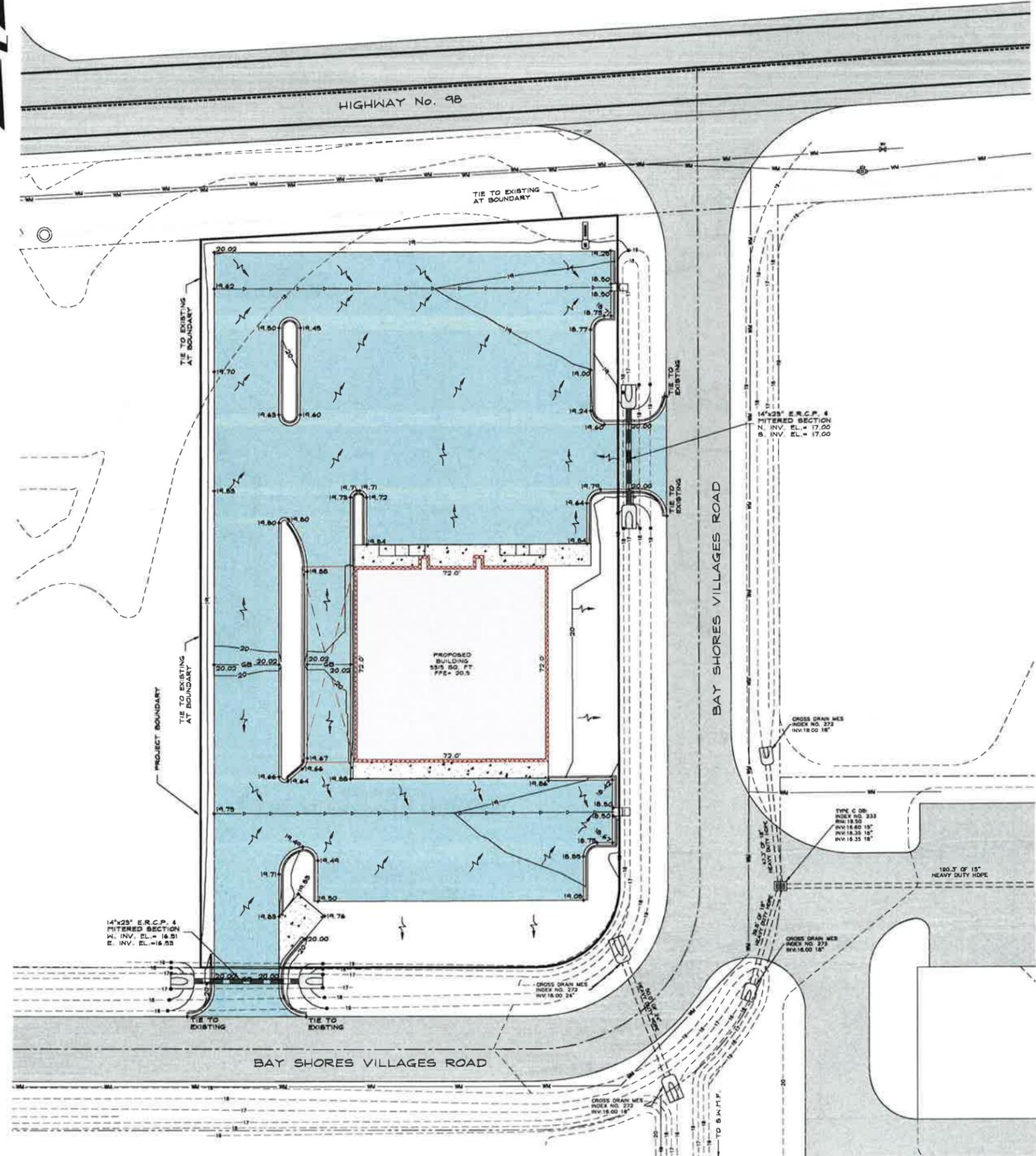
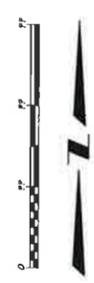
EXISTING CONDITIONS

PROJECT NAME: BAY SHORES VILLAGES MEDICAL CENTER EASTPOINT, FLORIDA
CLIENT NAME: SOUTHERN DEVELOPMENT OF MISSISSIPPI, INC.

DATE: 05/27/2020

SCALE: AS SHOWN
PROJECT NO.: 14905
FILE NO.: 116020
ISSUE DATE: NOT ISSUED
REVISION: C.2

Professional Engineer Seal: SP & Associates, INC. ENGINEERING - SURVEYING. 4118 N. HWY 231 E. BLDG. PANAMA CITY, FLORIDA 32404. Phone: (904) 282-8978 Fax: (904) 282-9444. Florida License No. EC 17267 - Florida Exp. 08/2015



FOR PERMIT PURPOSES ONLY
NOT FOR CONSTRUCTION

SYMBOLS & ABBREVIATIONS

NUMBER OF STANDARD & HANDICAP PARKING SPACES	
CL	CENTERLINE
±	MORE OR LESS
SMF	STORMWATER MANAGEMENT FACILITY
HRZ.	HORIZONTAL
VRT.	VERTICAL
NO.	NUMBER
LB	LICENSED BUSINESS
P.E.	PROFESSIONAL ENGINEER
R	RADIUS
EL.	ELEVATION
F.F.E.	FINISHED FLOOR ELEVATION
CONC.	CONCRETE
ST	SQUARE FEET
N	NORTH
E	EAST
S	SOUTH
W	WEST
EX.	EXISTING
LF	LINEAR FEET
BTM	BOTTOM
INV.	INVERT
A.S.P.	ASPHALT SURFACE
R.C.P.	REINFORCED CONCRETE PIPE
P.C.B.	PANAMA CITY BEACH
SEC.	SECTION
LOC	LAND DEVELOPMENT CODE
TY.	TYPICAL
PE	POLYETHYLENE
WM	WATER MAIN
REQ.	REQUIREMENTS
A.S.	ADJACENT SIDE
LA.	LANDSCAPE
P.V.C.	POLYVINYL CHLORIDE
UNIF.	UNLESS OTHERWISE NOTED
SWFT	SEASONAL HIGH WATER TABLE
T.O.B.	TOP OF BANK
WS	WATER SURFACE
SSL	SEWERY SEWER LATERAL
SCD	SEWER CLEAN-OUT
T.T.E.	TIE TO EXISTING
IRR.	IRRIGATION
EX.	EXISTING
PR.	PROPOSED
SSRB	STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES

LINETYPE & HATCHING LEGEND

EXISTING	PROPOSED
[Symbol]	BUILDING
[Symbol]	ASPHALT PAVEMENT
[Symbol]	CONCRETE
[Symbol]	GRADE BREAK
[Symbol]	POTABLE WATER MAIN
[Symbol]	SEWER VACUUM MAIN
[Symbol]	FIBER OPTIC LINE
[Symbol]	GAS LINE
[Symbol]	GRAVITY SEWER MAIN
[Symbol]	OVERHEAD UTILITIES
[Symbol]	ELEVATION CONTOUR
[Symbol]	RIGHT-OF-WAY
[Symbol]	PROJECT BOUNDARY
[Symbol]	BUFFER
[Symbol]	SILT FENCE

REVISIONS

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DESCRIPTION

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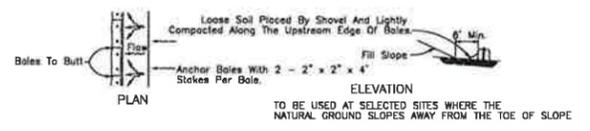
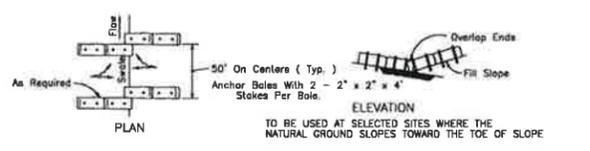
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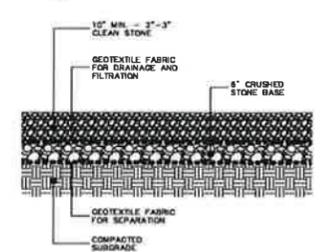
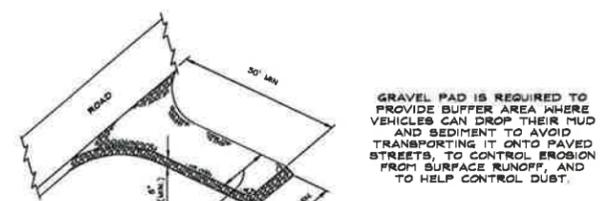
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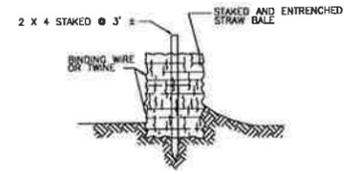
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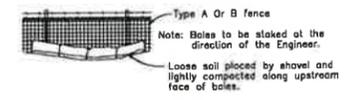
BARRIERS FOR FILL SLOPES
NOT TO SCALE



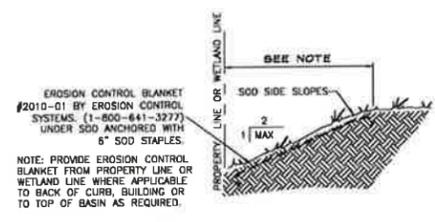
CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



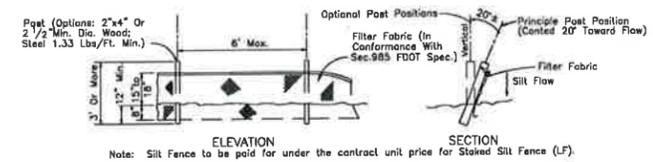
STRAW BALE BARRIER INSTALLATION DETAIL
NOT TO SCALE



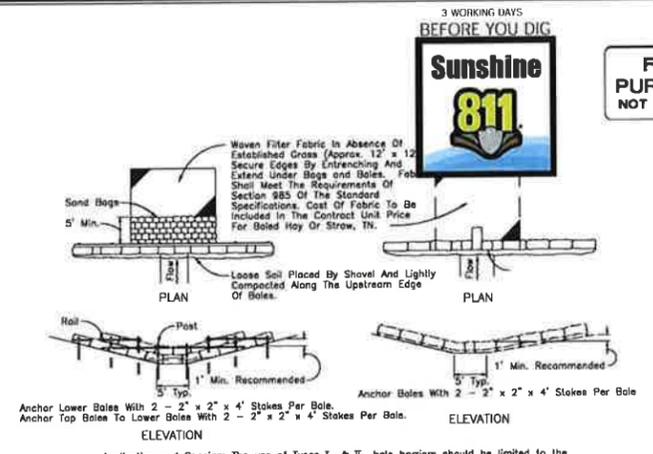
BALES BACKED BY FENCE
NOT TO SCALE



SLOPE STABILIZATION DETAIL
NOT TO SCALE



TYPE III SILT FENCE
NOT TO SCALE



BARRIER FOR UNPAVED DITCHES
NOT TO SCALE

REVISIONS

SP & Associates
ENGINEERING - SURVEYING
4116 N. 40th ST. E. SUITE 200, PANAMA CITY, FLORIDA 32404
PHONE (904) 265-8876 FAX (904) 265-8874
FLORIDA LICENSE NO. 18,778E ENGINEER, 18,773S SURVEYOR

EROSION CONTROL & UTILITY DETAILS

PROJECT NAME: BAY SHORES VILLAGES MEDICAL CENTER EASTPOINT, FLORIDA
CLIENT NAME: SOUTHERN DEVELOPMENT OF MISSISSIPPI, INC.

DATE: AS SHOWN
SHEET NO.: 14905
PROJECT NO.: B16020
FILE NO.: NOT ISSUED
SHEET: C.6

27

CONSTRUCTION PLANS FOR MEDICAL CENTER EASTPOINT, FLORIDA

GRAPHIC SYMBOLS

- DETAIL NUMBER 
- SHEET WHERE DETAIL IS SHOWN 
- BUILDING/WALL SECTION 
- ELEVATION 
- DOOR NUMBER 
- ELEVATION BENCHMARK 
- REVISION NUMBER 



SHEET INDEX

- T-1 COVER SHEET
- S-1 FOUNDATION PLAN AND DETAILS
- A-1 FLOOR PLAN
- A-2.1 FINISH PLAN AND SCHEDULE
- A-2.2 SCHEDULES AND DETAILS
- A-3 EXTERIOR ELEVATIONS
- A-4 INTERIOR ELEVATIONS @ MILLWORK
- A-5 REFLECTED CEILING PLAN
- A-6 ROOF PLAN
- A-7 CROSS SECTION
- A-8 WALL SECTIONS
- A-9 WALL SECTIONS AND DETAILS
- M-1 HVAC PLAN AND DETAILS
- E-1 ELECTRICAL PLAN - POWER
- E-2 ELECTRICAL PLAN - LIGHTING
- P-1 PLUMBING PLAN



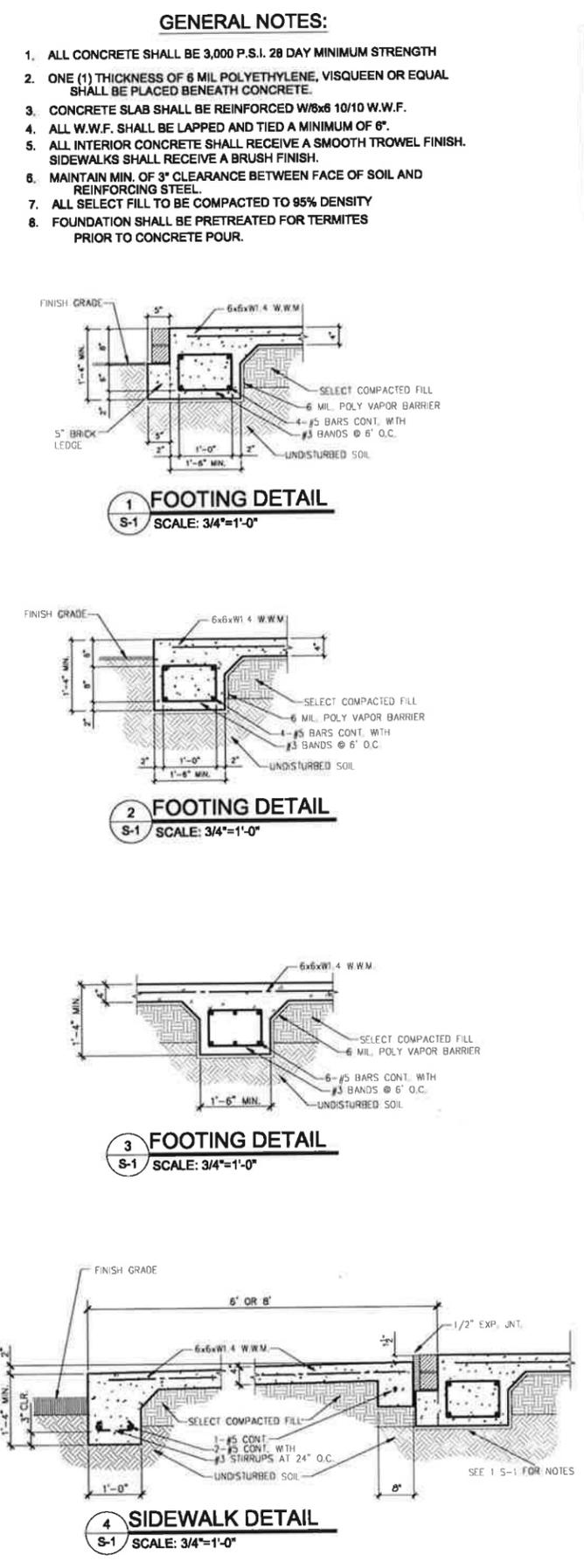
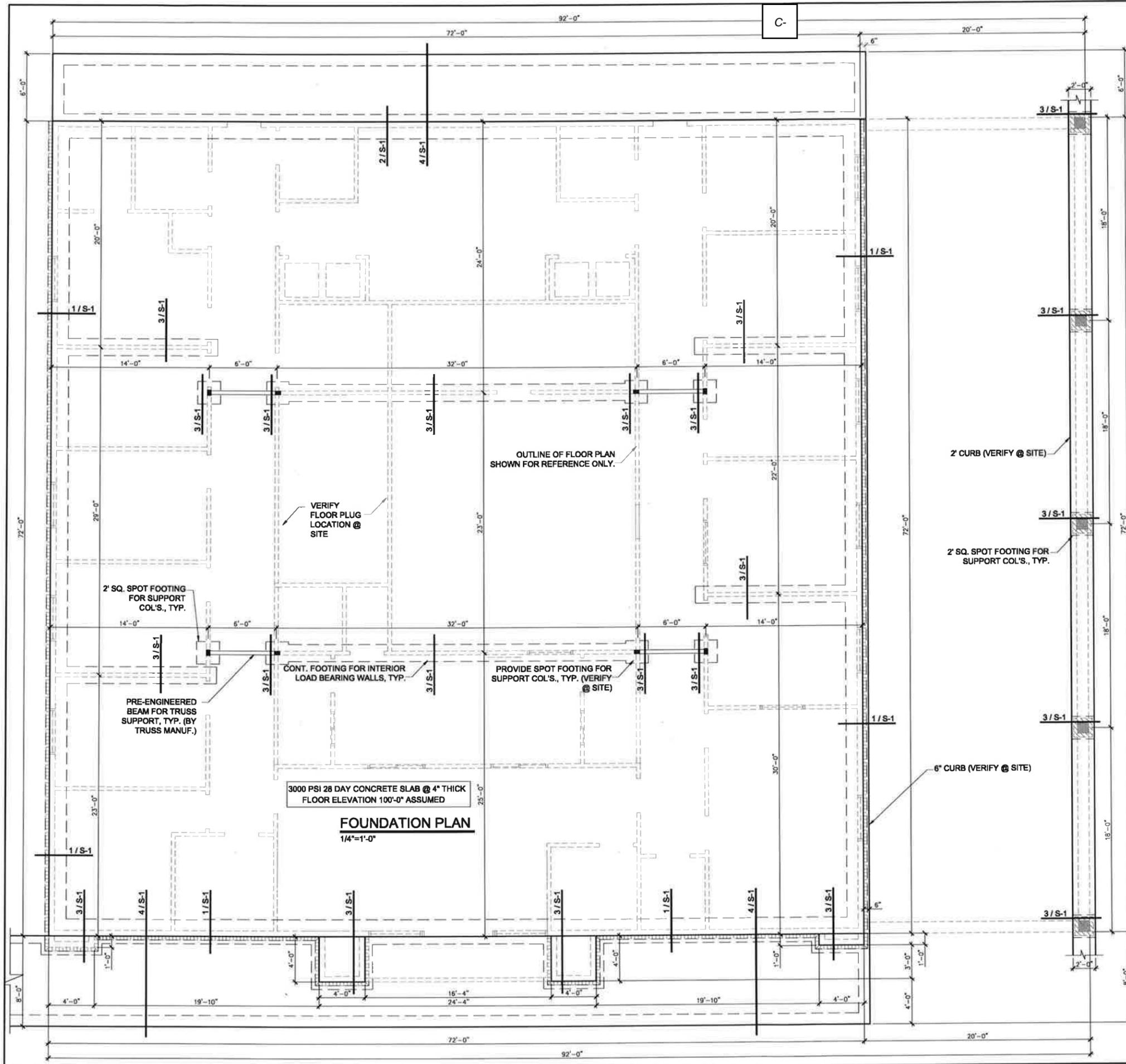
SOUTHERN DEVELOPMENT OF MISSISSIPPI, INC.
 207th LANE
 P.O. BOX 500
 PURVIS, MISSISSIPPI 39475
 PHONE: 601-794-2253
 FAX: 601-794-5488

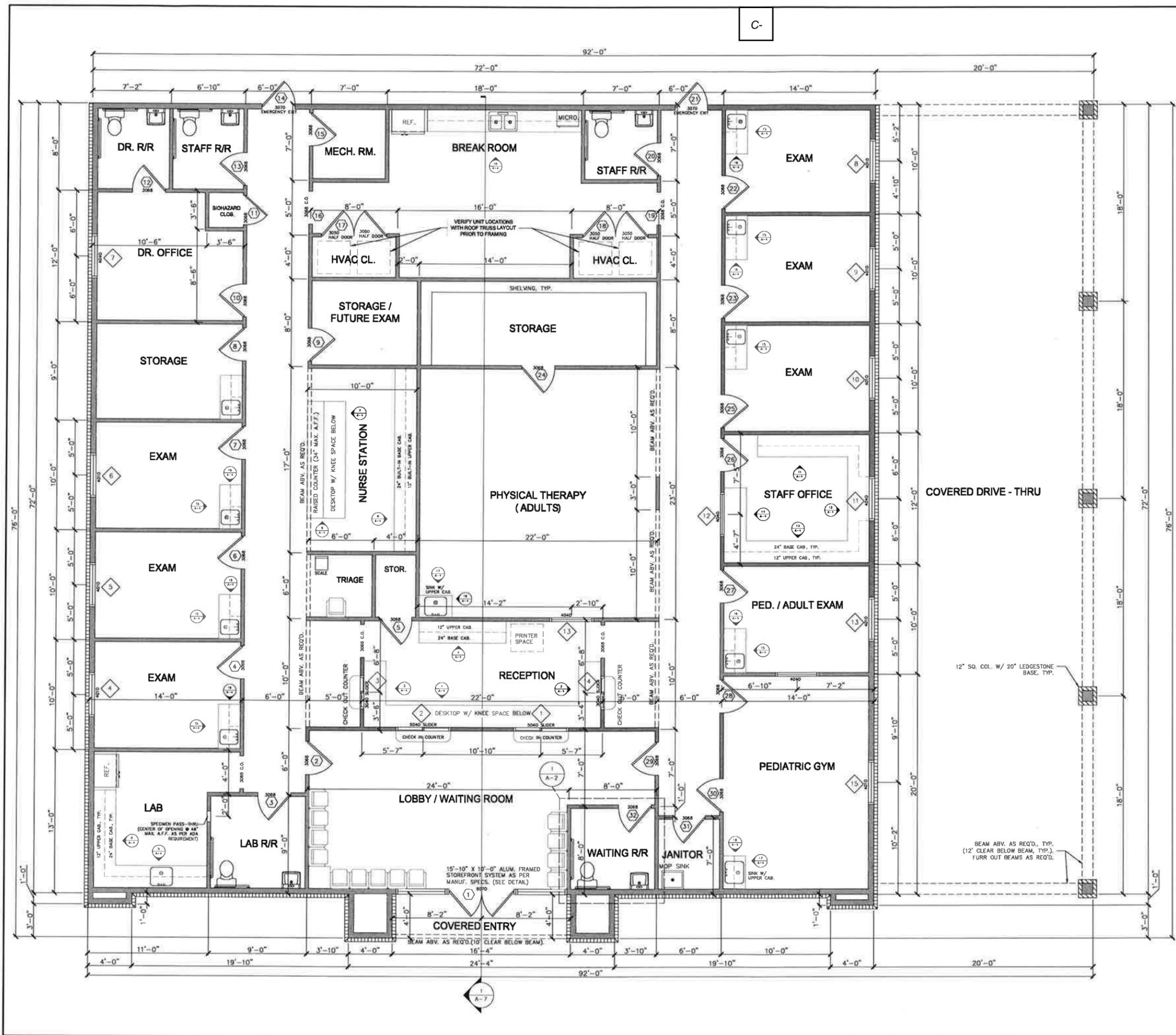
A NEW DEVELOPMENT FOR:
MEDICAL CENTER
 EASTPOINT, FLORIDA

REVISION

COVER SHEET
 Job No. _____
 Designer: RW
 Checked: _____
 Date: 8-24-20

SHEET
T-1





C.

FLOOR PLAN

SCALE: 1/4"=1'-0"

AREAS:	5194 S.F. HEATED - NOT INCLUDING MASONRY
	97 S.F. UNHEATED - COVERED ENTRY
	1440 S.F. UNHEATED - COVERED DRIVE-THRU
	6721 S.F. TOTAL UNDER ROOF

NOTES:

- CONTRACTOR RESPONSIBLE FOR MEETING ALL STATE AND LOCAL CODES INCLUDING A.D.A.
- ALL EXTERIOR WALLS TO BE 2X6 WOOD STUDS @ 16" O.C.
- ALL INTERIOR WALLS TO BE 2X4 WOOD STUDS @ 16" O.C.
- ALL CEILINGS 10' UNLESS OTHERWISE SPECIFIED.
- TOILETS SHALL BE EQUIPPED WITH THE FOLLOWING ACCESSORIES FOR EACH.
 - 1 EA. 24" X 30" FRAMED WALL MIRROR MOUNTED FLUSH OVER EACH LAVATORY.
 - 1 EA. TOILET TISSUE HOLDER - BRADLEY MODEL 5054 18 GA. CHROME PLATED STEEL OR APPROVED EQUAL.
 - 1 EA. CODE APPROVED ROOM IDENTIFICATION SIGN.
 - 1 EA. 1 1/4" DIA. X 24" & 42" S.S. CODE APPROVED GRAB BARS WALL OR FLOOR MOUNTED AS REQUIRED.
- ALL FIXTURES, MILLWORK AND FURNISHINGS TO BE PROVIDED PER TENANT'S CONTRACT.

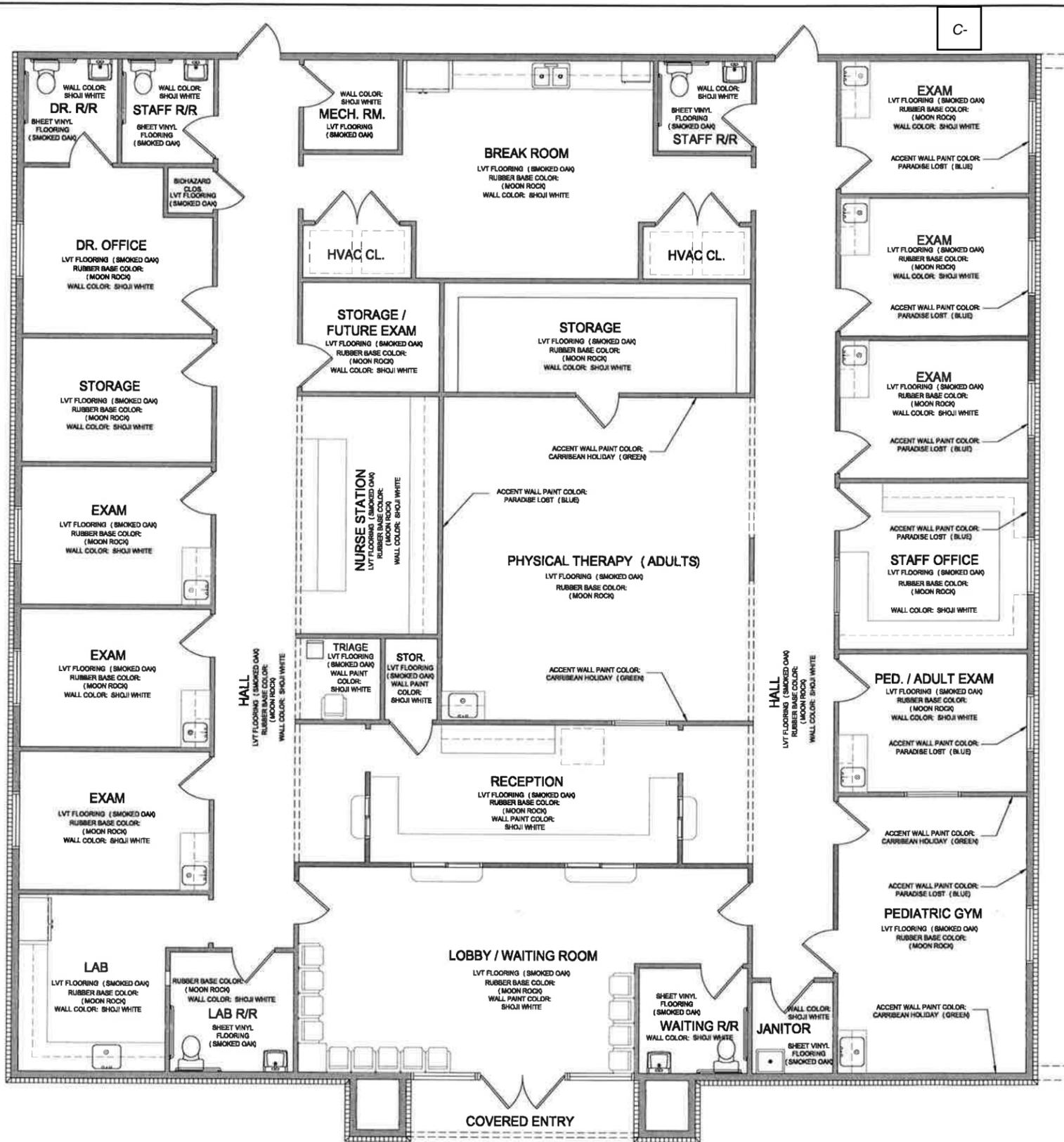
SOUTHERN DEVELOPMENT OF MISSISSIPPI, INC.
 P.O. BOX 1707
 EASTPOINT, MISSISSIPPI 39475
 PHONE: 601-794-2953
 FAX: 601-794-5458

A NEW DEVELOPMENT FOR:
MEDICAL CENTER
 EASTPOINT, FLORIDA

REVISIONS

FLOOR PLAN
 Job No: _____
 Drawn: RW
 Checked: _____
 Date: 8-19-20

SHEET
A-1



(INTERIOR FINISH) FLOOR PLAN
SCALE: 1/4"=1'-0"

FINISH SCHEDULE

ROOM	FLOOR	BASE	WALLS	CEILING		REMARKS
				FINISH	HEIGHT	
LOBBY / WAITING ROOM	•	•	•	•	•	NOTES PAINT COLORS (WALLS): SHOUJI WHITE PARADISE LOST (ACCENT WALL) CARRIBEAN HOLIDAY (ACCENT WALL) COUNTERTOPS: PLASTIC LAMINATE—WILSONART CLASSIC LINEN RUBBER BASE COLOR: MOONROCK VINYL TILE COLOR: SMOKED OAK SHEET VINYL COLOR: SMOKED OAK
RESTROOM(S)	•	•	•	•	•	
RECEPTION	•	•	•	•	•	
EXAM ROOM(S)	•	•	•	•	•	
DR. OFFICE	•	•	•	•	•	
BIOHAZARD CLOSET	•	•	•	•	•	
LAB	•	•	•	•	•	
BREAK ROOM	•	•	•	•	•	
HVAC CLOSETS	•	•	•	•	•	
TRIAGE	•	•	•	•	•	
NURSE STATION	•	•	•	•	•	
STORAGE ROOM(S)	•	•	•	•	•	
MECH. ROOM	•	•	•	•	•	
PHYS. THERAPY (ADULTS)	•	•	•	•	•	
PED. / ADULT EXAM ROOM	•	•	•	•	•	
PEDIATRIC GYM	•	•	•	•	•	

SOUTHERN DEVELOPMENT OF MISSISSIPPI, INC.
P.O. BOX 1207
40 DEEP SOUTH LANE
PUNTA, MISSISSIPPI 39475
PHONE: 601-394-2253
FAX: 601-394-5989

A NEW DEVELOPMENT FOR:
MEDICAL CENTER
EASTPOINT, FLORIDA

REVISIONS

FINISH PLAN AND SCHEDULE
Job No: _____
Drawn: RW
Date: 8-18-20
Checked: _____

SHEET
A2.1

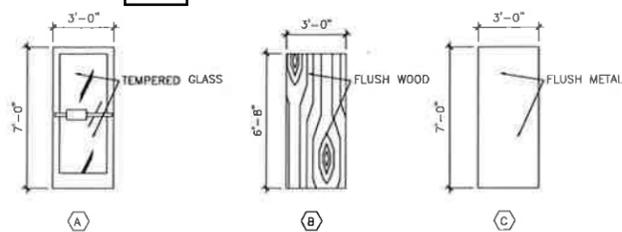
DOOR SCHEDULE

DOOR			FRAME		REMARKS
NO.	TYPE	SIZE	MATERIAL	FINISH	
1	A	DBL 3'-0"x7'-0"x1 3/4"	ALUMIN. & GLASS	ANODIZE	TEMPERED GLASS, ANODIZE BRONZE (STOREFRONT DOORS)
2	B	3'-0"x6'-8"x1 3/4"	SOLID CORE WOOD	PAINT	W/ BRUSHED ALUMINUM LEVER HANDLE HARDWARE
3	B	3'-0"x6'-8"x1 3/4"	SOLID CORE WOOD	PAINT	W/ BRUSHED ALUMINUM LEVER HANDLE HARDWARE
4	B	3'-0"x6'-8"x1 3/4"	SOLID CORE WOOD	PAINT	W/ BRUSHED ALUMINUM LEVER HANDLE HARDWARE
5	B	3'-0"x6'-8"x1 3/4"	SOLID CORE WOOD	PAINT	W/ BRUSHED ALUMINUM LEVER HANDLE HARDWARE
6	B	3'-0"x6'-8"x1 3/4"	SOLID CORE WOOD	PAINT	W/ BRUSHED ALUMINUM LEVER HANDLE HARDWARE
7	B	3'-0"x6'-8"x1 3/4"	SOLID CORE WOOD	PAINT	W/ BRUSHED ALUMINUM LEVER HANDLE HARDWARE
8	B	3'-0"x6'-8"x1 3/4"	SOLID CORE WOOD	PAINT	W/ BRUSHED ALUMINUM LEVER HANDLE HARDWARE
9	B	3'-0"x6'-8"x1 3/4"	SOLID CORE WOOD	PAINT	W/ BRUSHED ALUMINUM LEVER HANDLE HARDWARE
10	B	3'-0"x6'-8"x1 3/4"	SOLID CORE WOOD	PAINT	W/ BRUSHED ALUMINUM LEVER HANDLE HARDWARE
11	B	3'-0"x6'-8"x1 3/4"	SOLID CORE WOOD	PAINT	W/ BRUSHED ALUMINUM LEVER HANDLE HARDWARE
12	B	3'-0"x6'-8"x1 3/4"	SOLID CORE WOOD	PAINT	W/ BRUSHED ALUMINUM LEVER HANDLE HARDWARE
13	B	3'-0"x6'-8"x1 3/4"	SOLID CORE WOOD	PAINT	W/ BRUSHED ALUMINUM LEVER HANDLE HARDWARE
14	C	3'-0"x7'-0"x1 3/4"	METAL	PAINT	W/DETEX DEVICE LOCK BAR & PEEP SITE AND TAMPER GUARD
15	B	3'-0"x6'-8"x1 3/4"	SOLID CORE WOOD	PAINT	W/ BRUSHED ALUMINUM LEVER HANDLE HARDWARE
16	-	3'-0"x6'-8" C.O.	-	-	CASED OPENING
17	B	DBL 3'-0"x5'-0"x1 3/4"	SOLID CORE WOOD	PAINT	W/ BRUSHED ALUMINUM LEVER HANDLE HARDWARE (1/2 DOORS)
18	B	DBL 3'-0"x5'-0"x1 3/4"	SOLID CORE WOOD	PAINT	W/ BRUSHED ALUMINUM LEVER HANDLE HARDWARE (1/2 DOORS)
19	-	3'-0"x6'-8" C.O.	-	-	CASED OPENING
20	B	3'-0"x6'-8"x1 3/4"	SOLID CORE WOOD	PAINT	W/ BRUSHED ALUMINUM LEVER HANDLE HARDWARE
21	C	3'-0"x7'-0"x1 3/4"	METAL	PAINT	W/DETEX DEVICE LOCK BAR & PEEP SITE AND TAMPER GUARD
22	B	3'-0"x6'-8"x1 3/4"	SOLID CORE WOOD	PAINT	W/ BRUSHED ALUMINUM LEVER HANDLE HARDWARE
23	B	3'-0"x6'-8"x1 3/4"	SOLID CORE WOOD	PAINT	W/ BRUSHED ALUMINUM LEVER HANDLE HARDWARE
24	B	3'-0"x6'-8"x1 3/4"	SOLID CORE WOOD	PAINT	W/ BRUSHED ALUMINUM LEVER HANDLE HARDWARE
25	B	3'-0"x6'-8"x1 3/4"	SOLID CORE WOOD	PAINT	W/ BRUSHED ALUMINUM LEVER HANDLE HARDWARE
26	B	3'-0"x6'-8"x1 3/4"	SOLID CORE WOOD	PAINT	W/ BRUSHED ALUMINUM LEVER HANDLE HARDWARE
27	B	3'-0"x6'-8"x1 3/4"	SOLID CORE WOOD	PAINT	W/ BRUSHED ALUMINUM LEVER HANDLE HARDWARE
28	B	3'-0"x6'-8"x1 3/4"	SOLID CORE WOOD	PAINT	W/ BRUSHED ALUMINUM LEVER HANDLE HARDWARE
29	B	3'-0"x6'-8"x1 3/4"	SOLID CORE WOOD	PAINT	W/ BRUSHED ALUMINUM LEVER HANDLE HARDWARE
30	B	3'-0"x6'-8"x1 3/4"	SOLID CORE WOOD	PAINT	W/ BRUSHED ALUMINUM LEVER HANDLE HARDWARE
31	B	3'-0"x6'-8"x1 3/4"	SOLID CORE WOOD	PAINT	W/ BRUSHED ALUMINUM LEVER HANDLE HARDWARE
32	B	3'-0"x6'-8"x1 3/4"	SOLID CORE WOOD	PAINT	W/ BRUSHED ALUMINUM LEVER HANDLE HARDWARE

WINDOW SCHEDULE

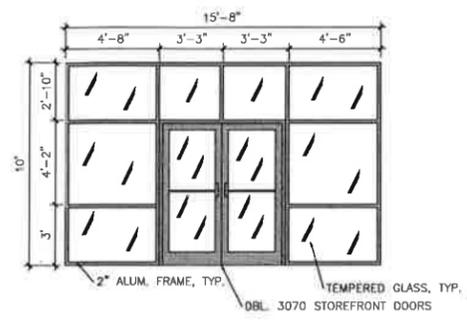
WINDOW			FRAME		REMARKS
NO.	TYPE	SIZE	MATERIAL	FINISH	
1	C	5'-0"x4'-0"	GLASS	N/A	SLIDING GLASS FRAME
2	C	5'-0"x4'-0"	GLASS	N/A	SLIDING GLASS FRAME
3	D	3'-0"x4'-0"	GLASS	N/A	SLIDING GLASS FRAME
4	A	4'-0"x1'-0"	GLASS	N/A	TEMPERED GLASS W/ 4" EXTERIOR TRIM
5	A	4'-0"x1'-0"	GLASS	N/A	TEMPERED GLASS W/ 4" EXTERIOR TRIM
6	A	4'-0"x1'-0"	GLASS	N/A	TEMPERED GLASS W/ 4" EXTERIOR TRIM
7	A	4'-0"x1'-0"	GLASS	N/A	TEMPERED GLASS W/ 4" EXTERIOR TRIM
8	A	4'-0"x1'-0"	GLASS	N/A	TEMPERED GLASS W/ 4" EXTERIOR TRIM
9	A	4'-0"x1'-0"	GLASS	N/A	TEMPERED GLASS W/ 4" EXTERIOR TRIM
10	A	4'-0"x1'-0"	GLASS	N/A	TEMPERED GLASS W/ 4" EXTERIOR TRIM
11	A	4'-0"x1'-0"	GLASS	N/A	TEMPERED GLASS W/ 4" EXTERIOR TRIM
12	B	4'-0"x4'-0"	GLASS	N/A	TEMPERED GLASS (CASEMENT)
13	B	4'-0"x4'-0"	GLASS	N/A	TEMPERED GLASS (CASEMENT)
14	D	3'-0"x4'-0"	GLASS	N/A	SLIDING GLASS FRAME
15	A	4'-0"x1'-0"	GLASS	N/A	TEMPERED GLASS W/ 4" EXTERIOR TRIM

C-



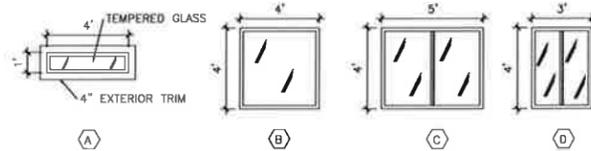
DOOR TYPES

SCALE: 1/4"=1'-0"



DOOR TYPES

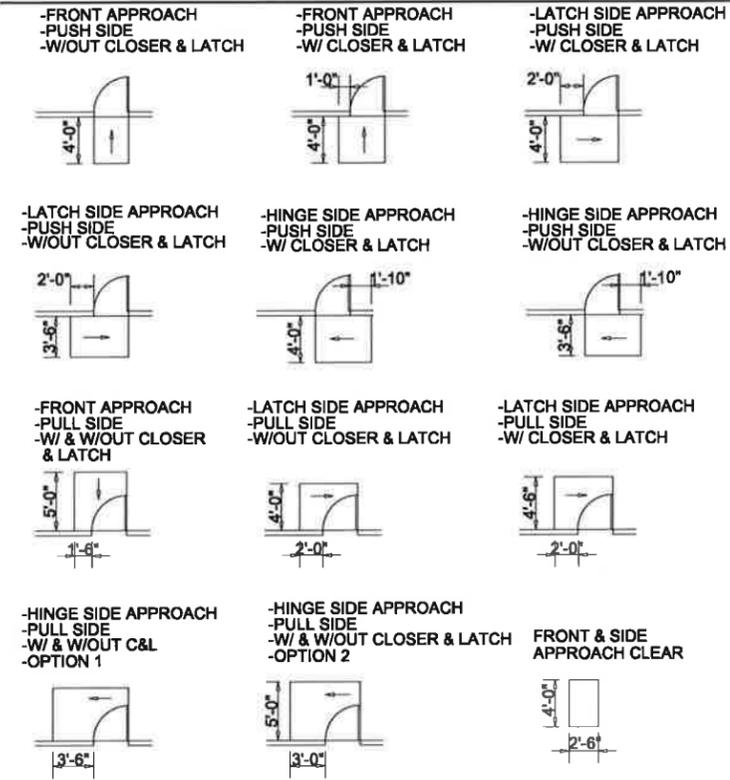
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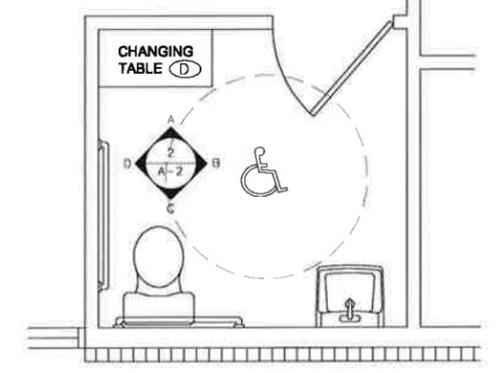
WINDOW TYPES

SCALE: 1/4"=1'-0"

ADA MANEUVERING & CLEAR FLOOR SPACE

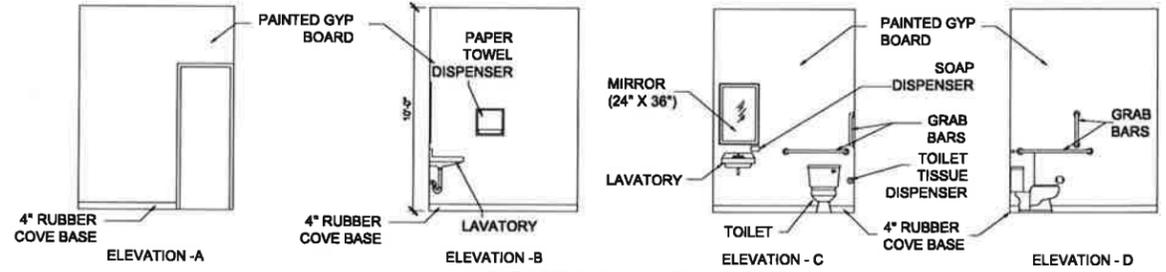


WAITING RESTROOM



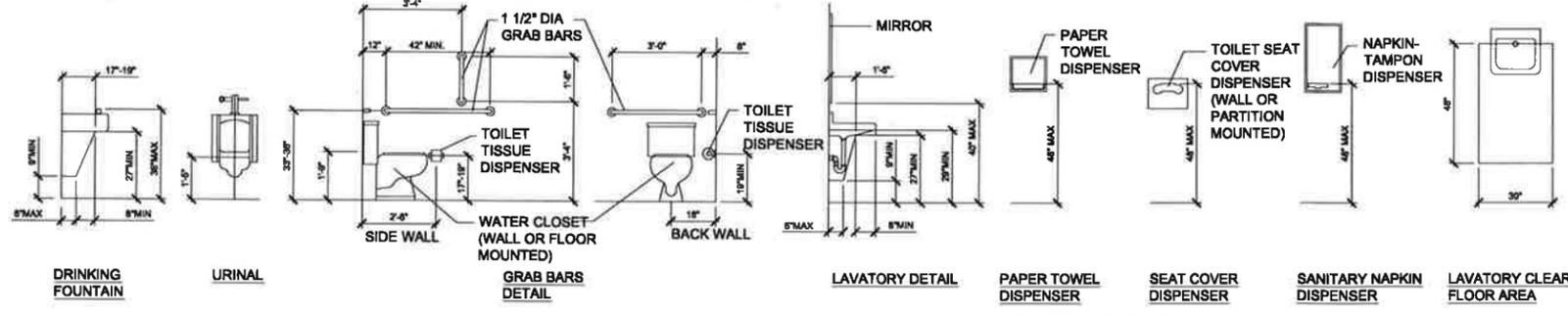
ENLARGED TOILET PLAN

SCALE: 1/2"=1'-0"



RESTROOM ELEVATIONS

SCALE: 1/4"=1'-0"



ADA FIXTURE HEIGHTS

SCALE: 1/4"=1'-0"

NOTE:

- ALL TOILET FIXTURE MOUNTING HEIGHTS SHALL COMPLY WITH ADA AND LOCAL HANDICAP CODES.
- PROVIDE 2 X BLOCKING AT ALL GRAB BAR LOCATIONS.
- HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
- DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON DOORS SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE

ACCESSORY SCHEDULE

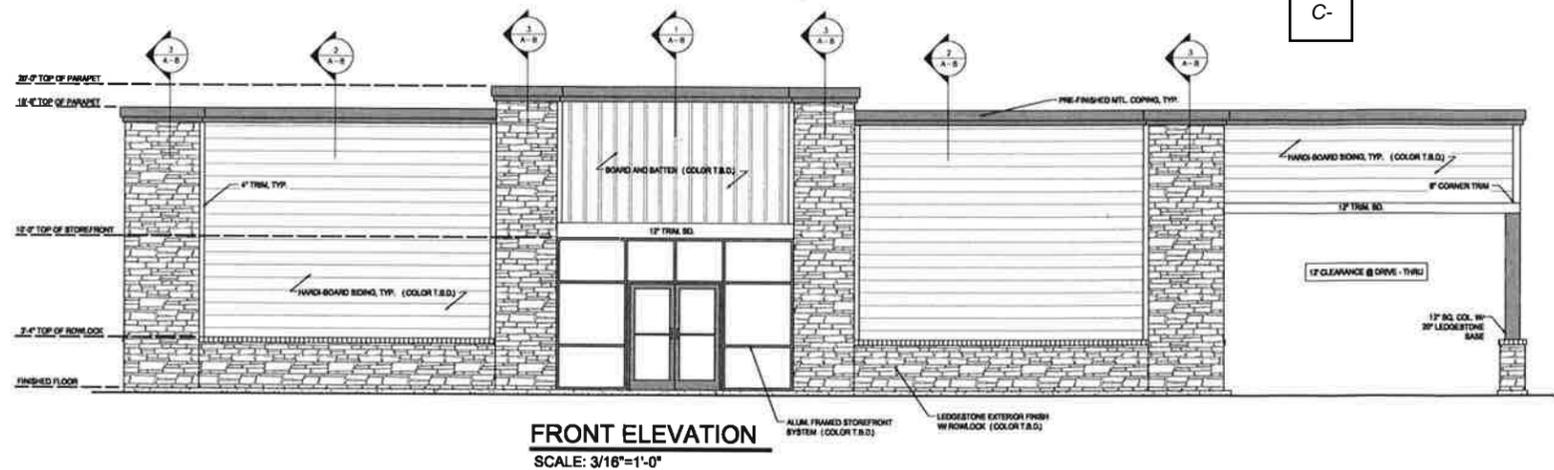
MARK	ITEM / DESCRIPTION	REMARKS
(A)	GRAB BAR (42" LONG)	MOUNT CENTER AT 33" - 36" AFF
(B)	TOILET TISSUE DISPENSER	MOUNT CENTER AT 19" AFF
(C)	GRAB BAR (36" LONG)	MOUNT CENTER AT 33" - 36" AFF - 6" FROM WALL
(D)	BABY CHANGING STATION	(IF REQUESTED BY OWNER) MOUNT MOUNT AT 2'- 7" AFF
(E)	SOAP DISPENSER	MOUNT ON COUNTER TOP
(F)	MIRROR	MOUNT BOTTOM AT 36" AFF
(G)	PAPER TOWEL DISPENSER	MOUNT CLASSIC SERIES PAPER TOWEL DISPENSER
(H)	NAPKIN/ TAMPON DISPENSER	MOUNTED OR RECESSED CLASSIC SERIES MOUNT @ 4'-0"
(I)	WASTE RECEPTACLE	
(J)	GRAB BAR (18" LONG)	VERT MOUNT CENTER AT 3'-4" FROM WALL & 3'-4" AFF

SOUTHERN DEVELOPMENT OF MISSISSIPPI, INC.
4000 BEES SOUTH LANE
PURVIS, MISSISSIPPI 39475
PHONE: 601-794-2263
FAX: 601-794-5468

A NEW DEVELOPMENT FOR:
MEDICAL CENTER
EASTPOINT, FLORIDA

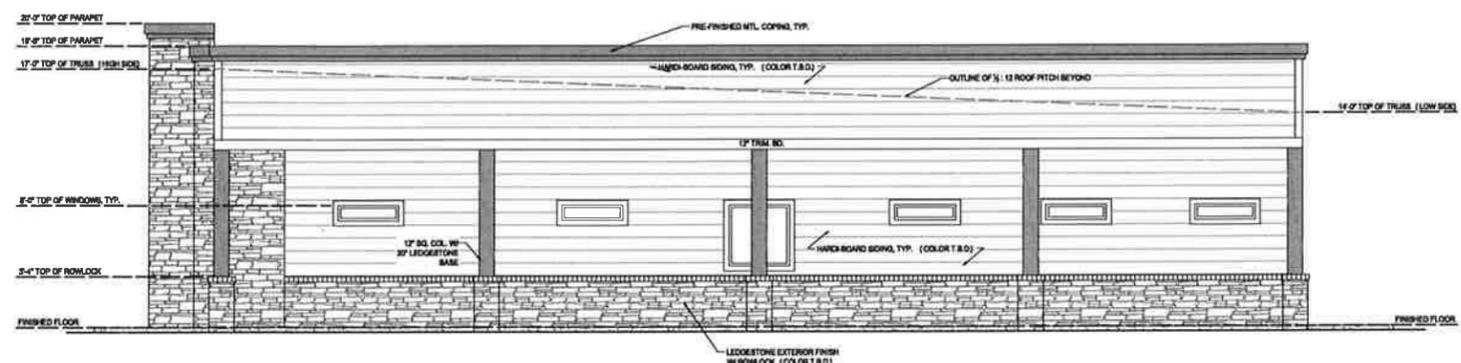
SCHEDULES AND DETAILS
Job No. _____
Drawn: RW
Checked: _____
Date: 8-24-20

SHEET
A2.2

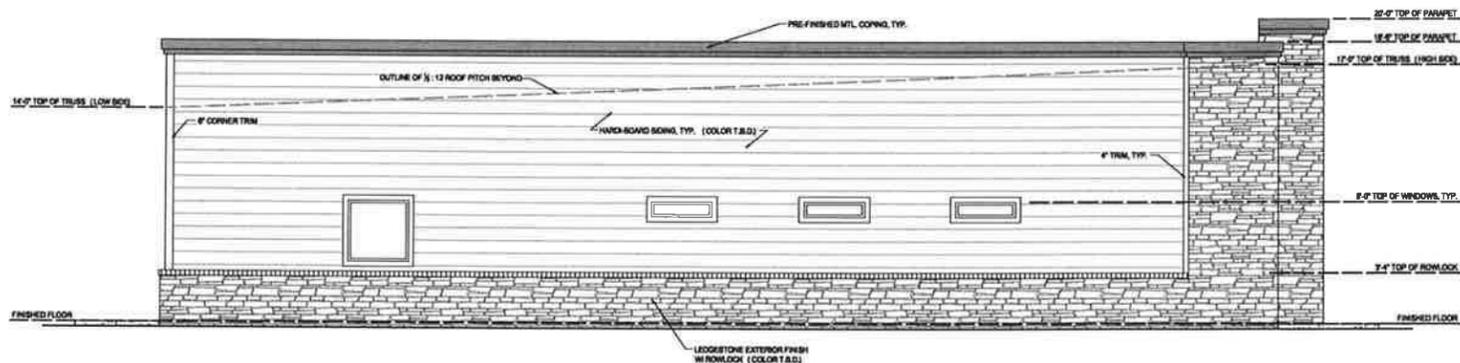


FRONT ELEVATION
SCALE: 3/16"=1'-0"

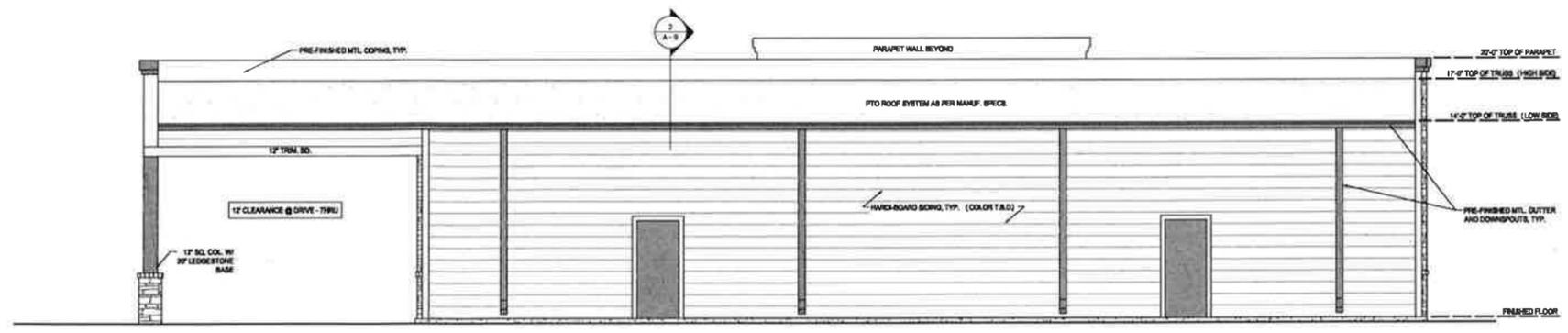
EXTERIOR ELEVATION NOTES:
 1. G.C. TO VERIFY ALL WINDOW AND DOOR STYLES AND SIZES WITH TENANT PRIOR TO CONSTRUCTION.
 2. PROVIDE STEPS AND GUARD RAILS AS PER CODE BASED ON SITE CONDITIONS.
 3. GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS.
 4. ALL FINISH MATERIALS TO BE VERIFIED WITH TENANT PRIOR TO CONSTRUCTION.
 5. REFER TO WALL DETAILS FOR FRAMING METHODS AND OTHER MISC. INFORMATION.
 6. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D BY CURRENT CODES.



RIGHT ELEVATION
SCALE: 3/16"=1'-0"



LEFT ELEVATION
SCALE: 3/16"=1'-0"



REAR ELEVATION
SCALE: 3/16"=1'-0"

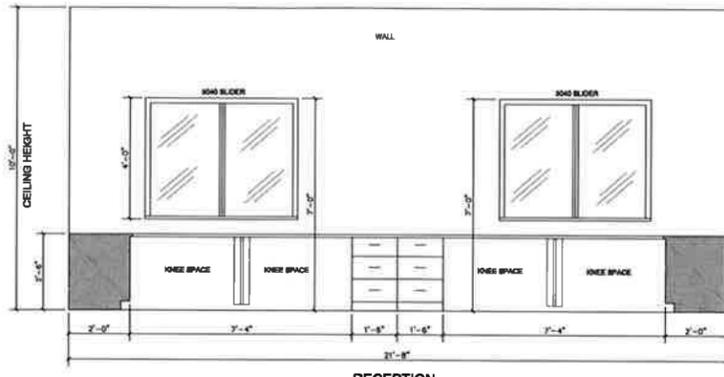
SOUTHERN DEVELOPMENT OF MISSISSIPPI, INC.
 P.O. BOX 1000, SOUTH LANE
 PURVIS, MISSISSIPPI 39475
 PHONE: 601-794-2253
 FAX: 601-794-5468

A NEW DEVELOPMENT FOR:
MEDICAL CENTER
 EASTPOINT, FLORIDA

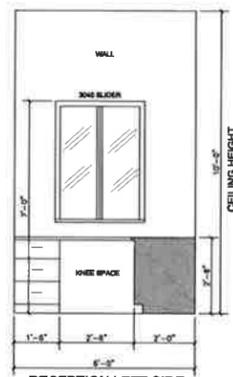
EXTERIOR ELEVATIONS

Job No.: B-24-20
 Date: B-24-20
 Checked: RW
 Drawn: RW

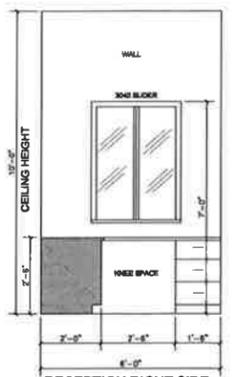
SHEET
A-3



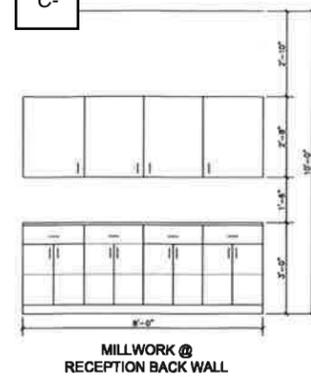
1 MILLWORK DETAIL
A-4 SCALE: 3/8"=1'-0"



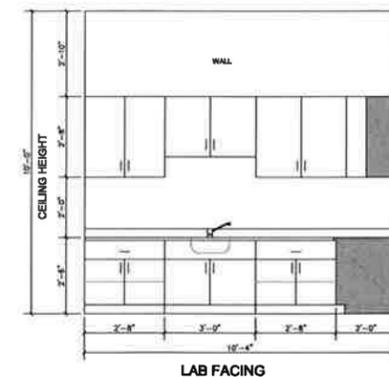
2 MILLWORK DETAIL
A-4 SCALE: 3/8"=1'-0"



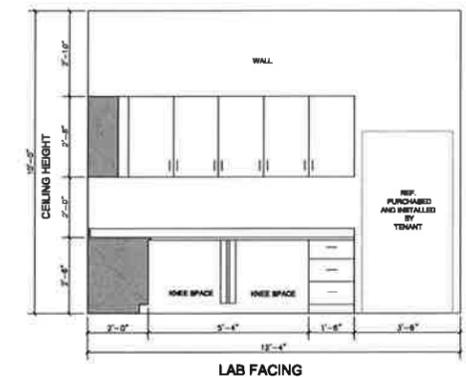
3 MILLWORK DETAIL
A-4 SCALE: 3/8"=1'-0"



4 MILLWORK DETAIL
A-4 SCALE: 3/8"=1'-0"



5 MILLWORK DETAIL
A-4 SCALE: 3/8"=1'-0"



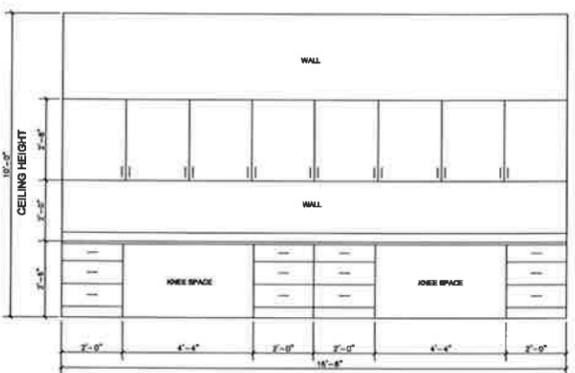
6 MILLWORK DETAIL
A-4 SCALE: 3/8"=1'-0"



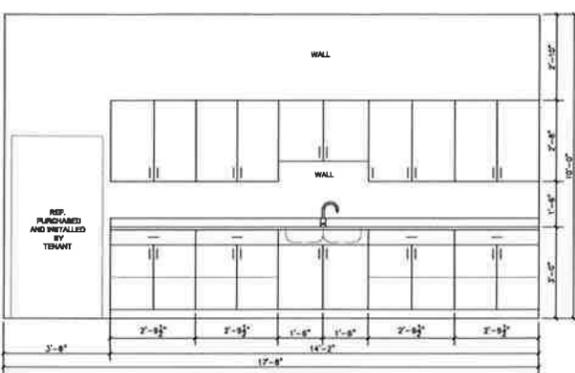
7 MILLWORK DETAIL
A-4 SCALE: 3/8"=1'-0"



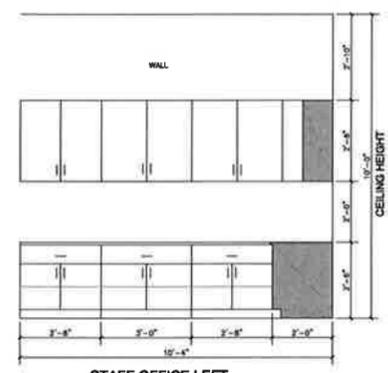
8 MILLWORK DETAIL
A-4 SCALE: 3/8"=1'-0"



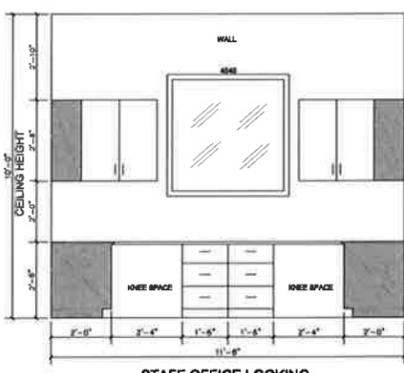
9 MILLWORK DETAIL
A-4 SCALE: 3/8"=1'-0"



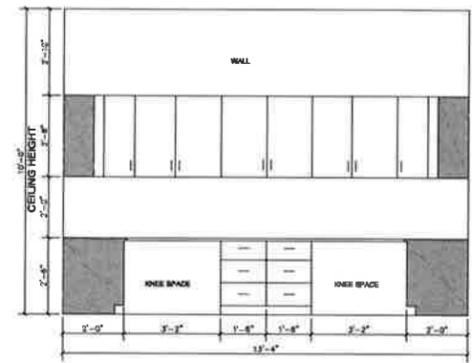
10 MILLWORK DETAIL
A-4 SCALE: 3/8"=1'-0"



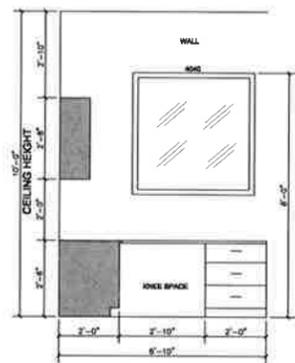
11 MILLWORK DETAIL
A-4 SCALE: 3/8"=1'-0"



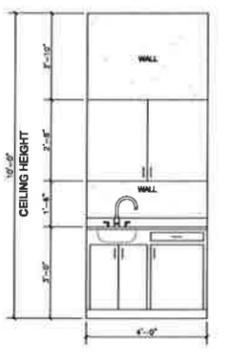
12 MILLWORK DETAIL
A-4 SCALE: 3/8"=1'-0"



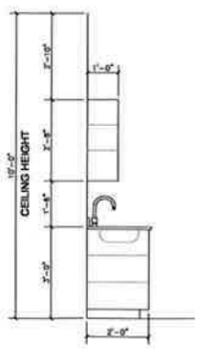
13 MILLWORK DETAIL
A-4 SCALE: 3/8"=1'-0"



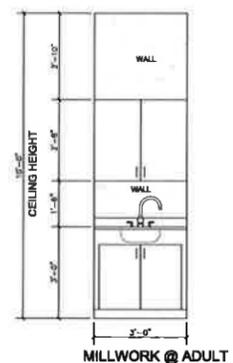
14 MILLWORK DETAIL
A-4 SCALE: 3/8"=1'-0"



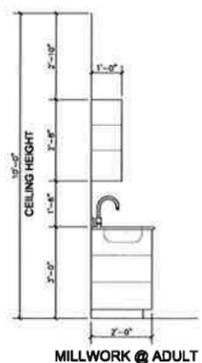
15 MILLWORK DETAIL
A-4 SCALE: 3/8"=1'-0"



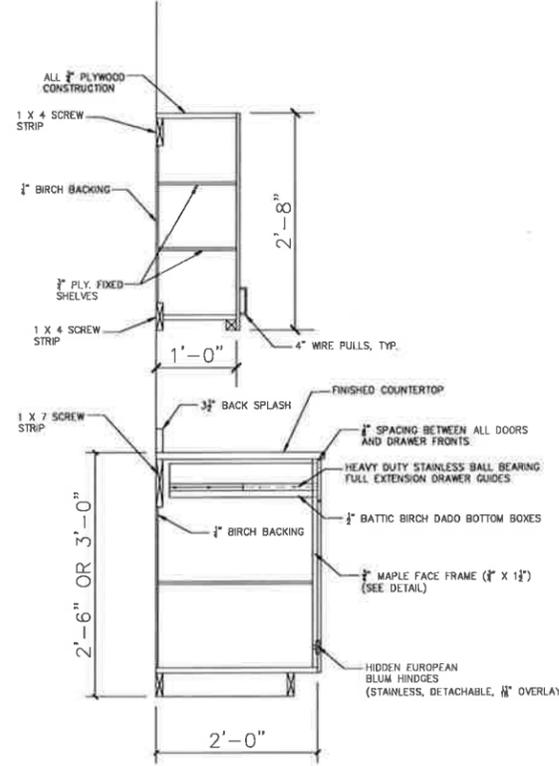
16 MILLWORK DETAIL
A-4 SCALE: 3/8"=1'-0"



17 MILLWORK DETAIL
A-4 SCALE: 3/8"=1'-0"



18 MILLWORK DETAIL
A-4 SCALE: 3/8"=1'-0"



TYPICAL CABINET DETAIL
SCALE: 1"=1'-0"

ALL MILLWORK DETAILS HAVE BEEN REVIEWED BY TENANT AND ARE APPROVED AND CAN BE RELEASED FOR FABRICATION

SIGNATURE _____

DATE _____

SOUTHERN DEVELOPMENT OF MISSISSIPPI, INC.
P.O. BOX 1207
DEEP WOOD LAKE
PUNTA, MISSISSIPPI 39475
PHONE: 601-294-2253
FAX: 601-294-5685

A NEW DEVELOPMENT FOR:
MEDICAL CENTER
EASTPOINT, FLORIDA

REVISIONS

INTERIOR ELEVATIONS @ MILLWORK
Job No: _____
Drawn: RW
Checked: _____
Date: 8-16-20

SHEET
A-4

C-



LEGEND

-  12"x12" EXHAUST FAN
-  24"x24" SUPPLY AIR DIFFUSER
-  24"x24" LED LAY-IN
-  24"x48" LED LAY-IN
-  24"x48" LED LAY-IN ON "NIGHT LIGHT" CIRCUIT
-  SMALL LED LIGHT FIXTURE
-  18K LUMEN LED WALL PACK
-  EMERGENCY EXIT LIGHTING
-  24"x 24" ACOUSTIC TILE PANELS ON METAL SUSPENSION GRID SYSTEM
-  FINISHED GYPSUM BOARD CEILING

REFLECTED CEILING PLAN

1/4"=1'-0"

NOTE: ALL FINISHED CEILINGS TO BE 10' A.F.F. UNLES SPECIFIED OTHERWISE

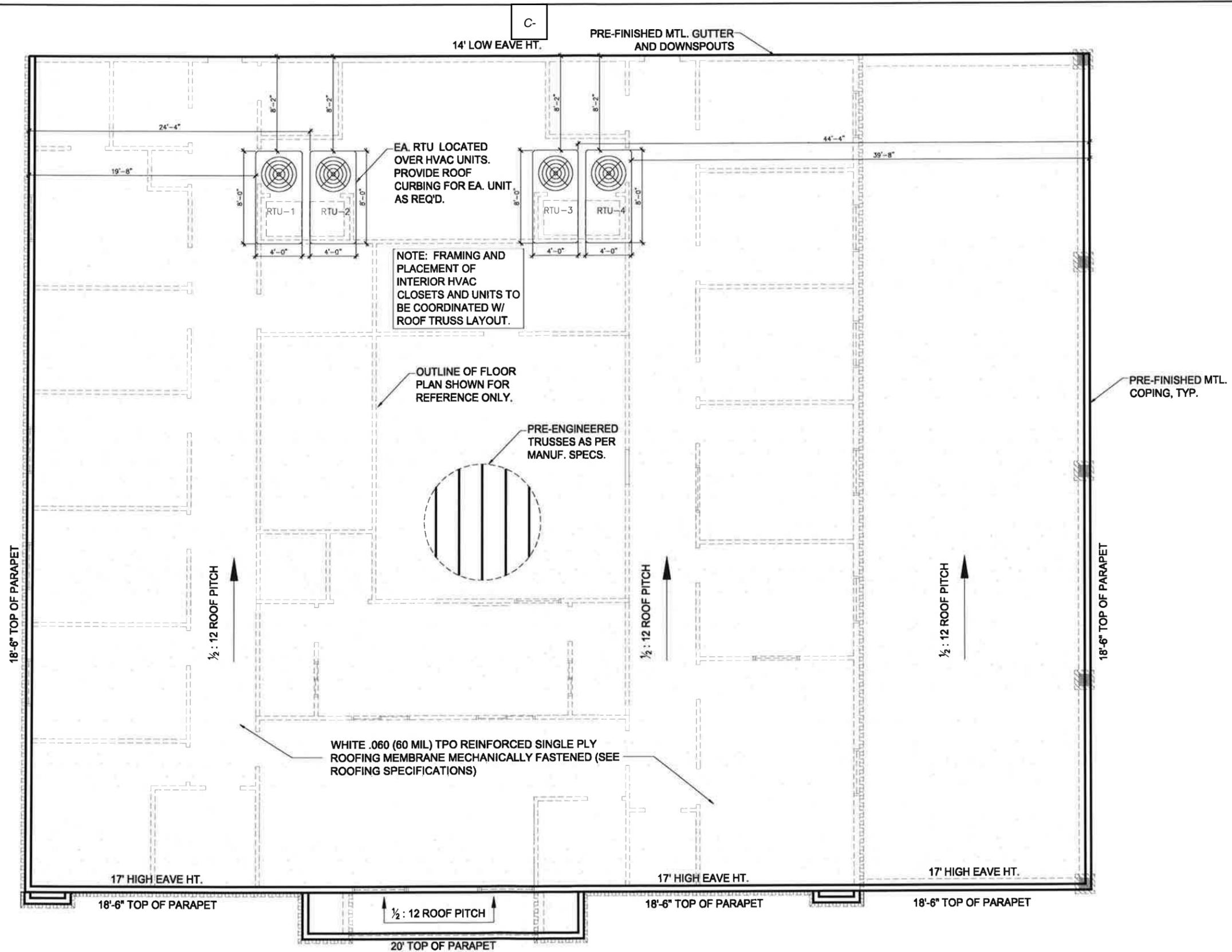
SOUTHERN PRE-ENGINEERED BUILDERS
 P.O. BOX 1207, LAKE PLACIDE, MISSISSIPPI 39475
 PHONE: 601-794-2953
 FAX: 601-794-5465

A NEW DEVELOPMENT FOR:
MEDICAL CENTER
 EASTPOINT, FLORIDA

REVISIONS
 11-18-11

REFLECTED CEILING PLAN
 Job No: _____ Date: B-24-20
 Checked: RW
 Drawn: RW

SHEET
A-5



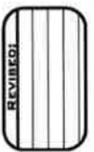
ROOFING SPECIFICATIONS:

1. WHITE .060 (60 MIL) TPO REINFORCED SINGLE PLY ROOFING MEMBRANE MECHANICALLY FASTENED
 - A. ALL WOOD NAILERS TO BE PRESSURE TREATED
 - B. ROOF INSULATION TO BE CLOSED CELL POLYISO 1 1/2" THICK AND MECHANICALLY FASTENED.
 - C. ALL CURB FLASHING CORNERS AND PIPE BOOTS WILL BE FACTORY PRE-MOLDED.
 - D. USE BARBED SEAM PLATES AND FASTENERS FOR MECHANICALLY FASTENED SYSTEM
 - E. HOT AIR WELD ALL SEAMS AS PER FACTORY SPECIFICATIONS.
 - F. TERMINATION BAR TO BE USED AS SPECIFIED AND SEALED USING FACTORY REQUIRED SEALANT.

ROOF PLAN
1/4"=1'-0"

SOUTHERN PRE-ENGINEERED BUILDERS
 1000 SOUTH LANE
 PLYMOUTH, MISSISSIPPI 39475
 PHONE: 601-794-2253
 FAX: 601-794-3468

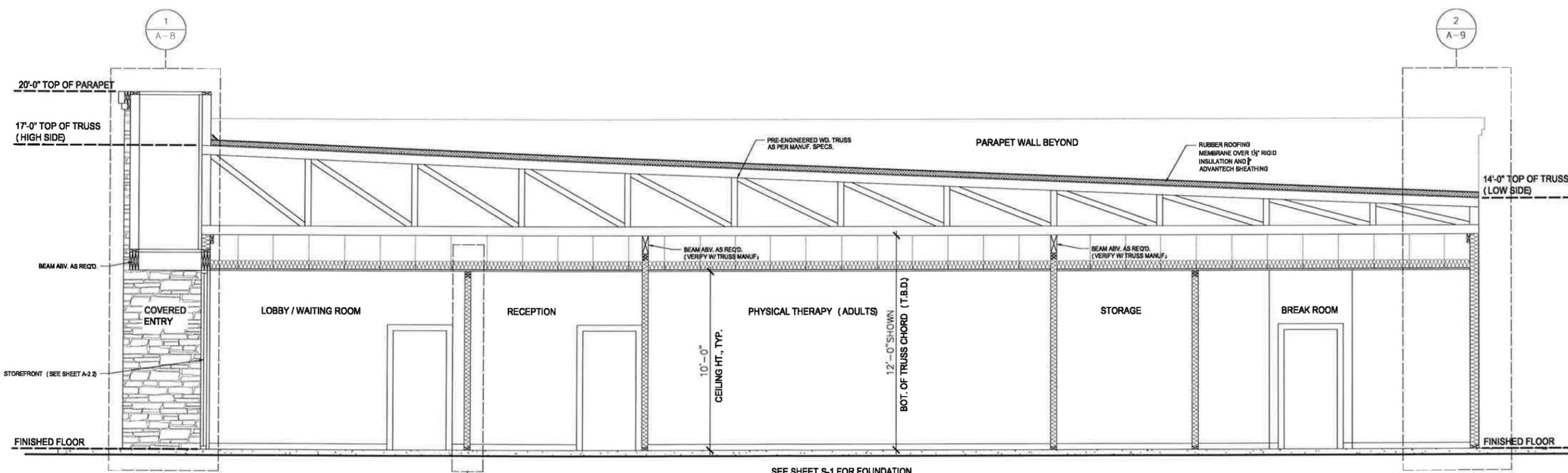
A NEW DEVELOPMENT FOR:
MEDICAL CENTER
 EASTPOINT, FLORIDA



ROOF PLAN
 Job No.:
 Drawn: RW
 Checked:
 Date: 8-19-20

SHEET
A-6

C-



1
A-7 CROSS SECTION
SCALE: 3/8"=1'-0"

SOUTHERN DEVELOPMENT OF MISSISSIPPI, INC.
 P.O. BOX 207
 LAKE
 PURVIS, MISSISSIPPI 39475
 PHONE: 601-794-2253
 FAX: 601-794-5455

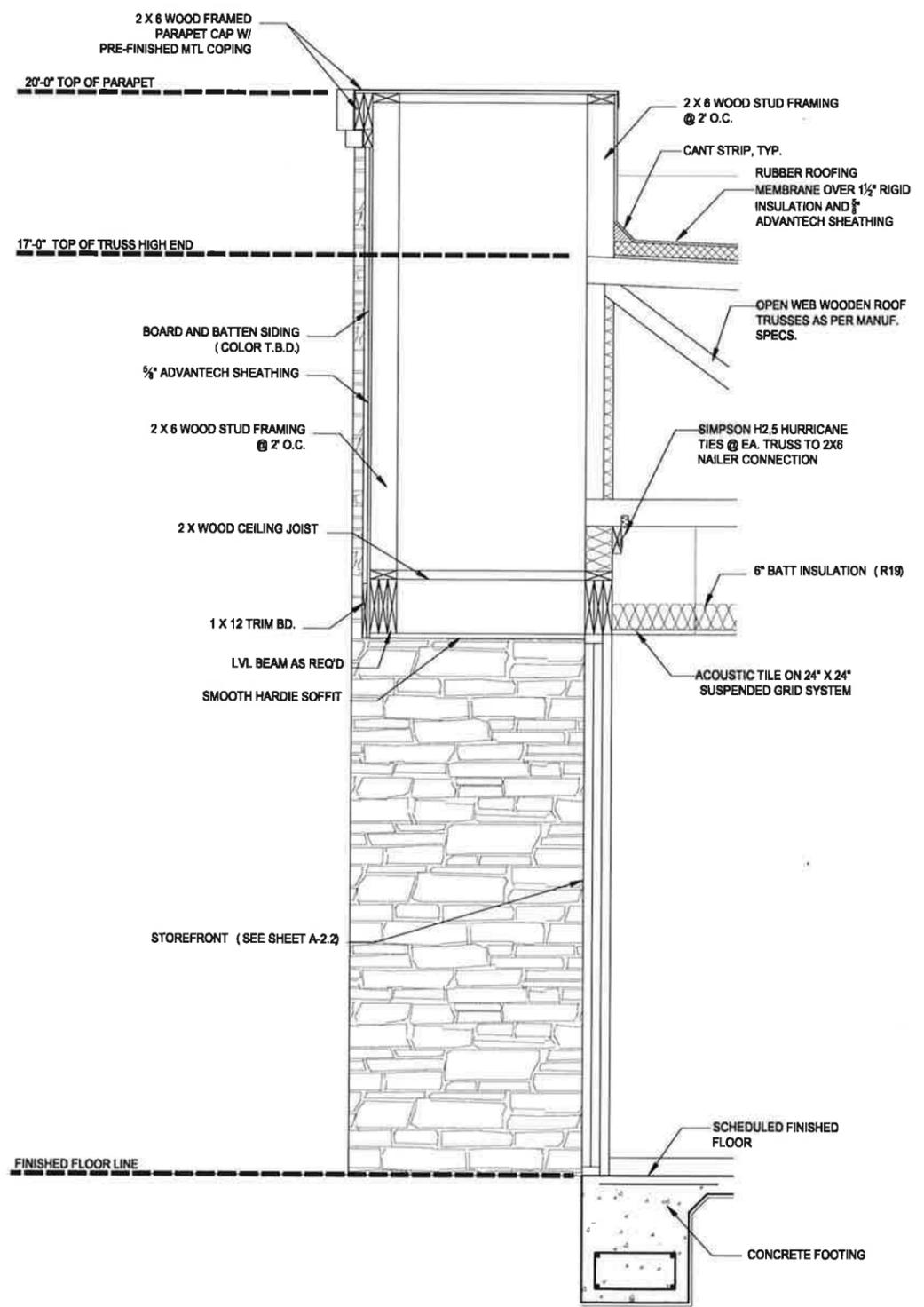
A NEW DEVELOPMENT FOR:
MEDICAL CENTER
 EASTPOINT, FLORIDA

REVISIONS

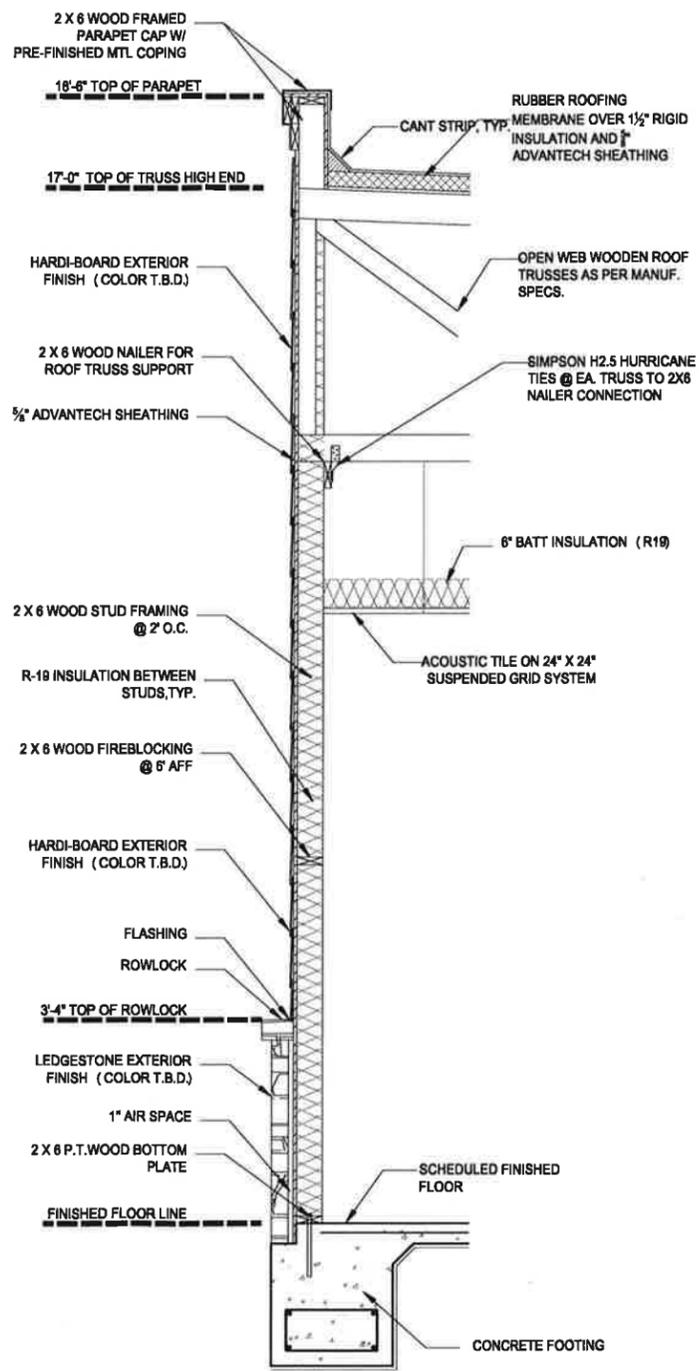
CROSS SECTION	Drawn: RW	Checked:	Date: 8-24-20
Job No:			

SHEET
A-7

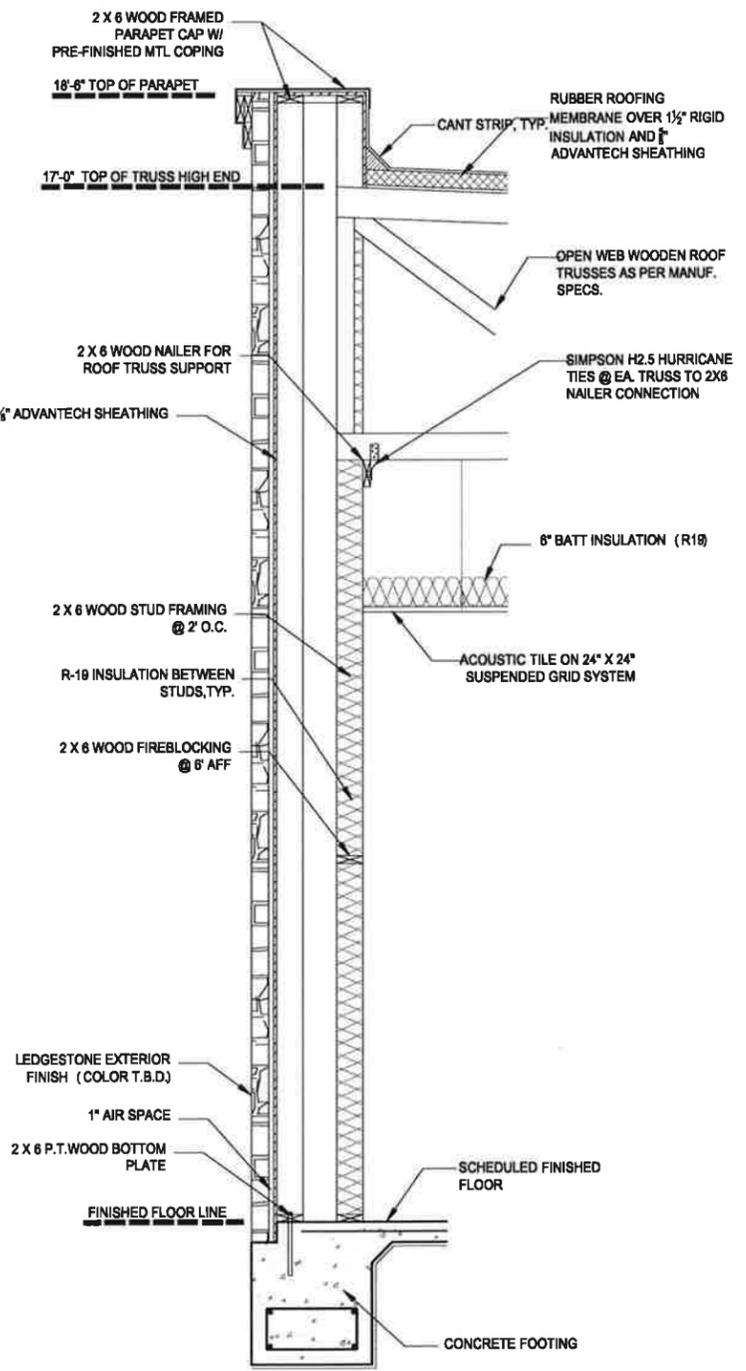
C-



1 WALL DETAIL
A-8 3/4"=1'-0"



2 WALL DETAIL
A-8 3/4"=1'-0"



3 WALL DETAIL
A-8 3/4"=1'-0"

NOTE: THIS DETAIL IS SIM. FOR THE 4' PILASTER

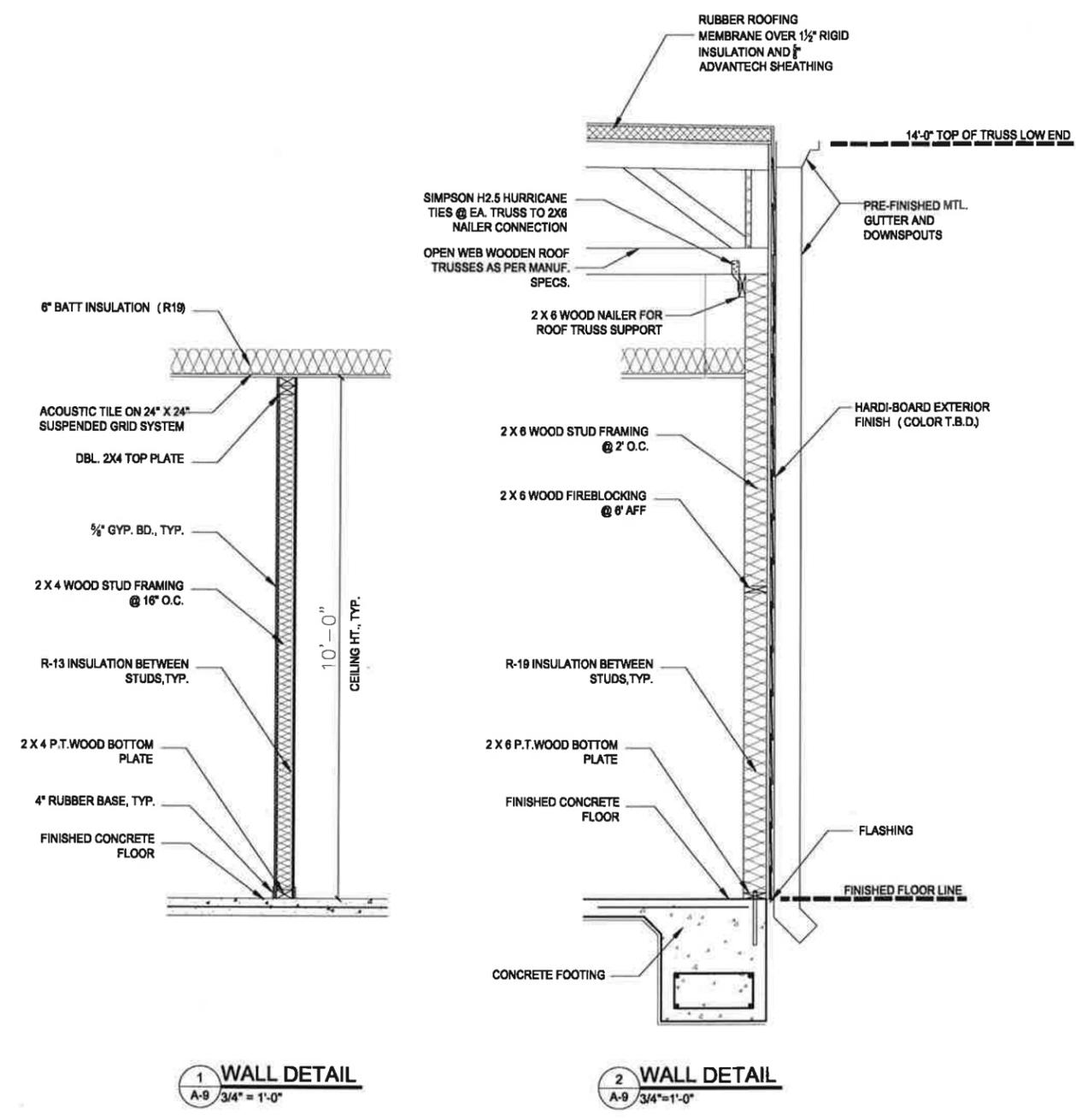
SOUTHERN DEVELOPMENT OF MISSISSIPPI, INC.
PHONE: 601-794-2253
FAX: 601-794-5468
P.O. BOX 1307
40 DEEP SOUTH LANE
PURVIS, MISSISSIPPI 39475

A NEW DEVELOPMENT FOR:
MEDICAL CENTER
EASTPOINT, FLORIDA



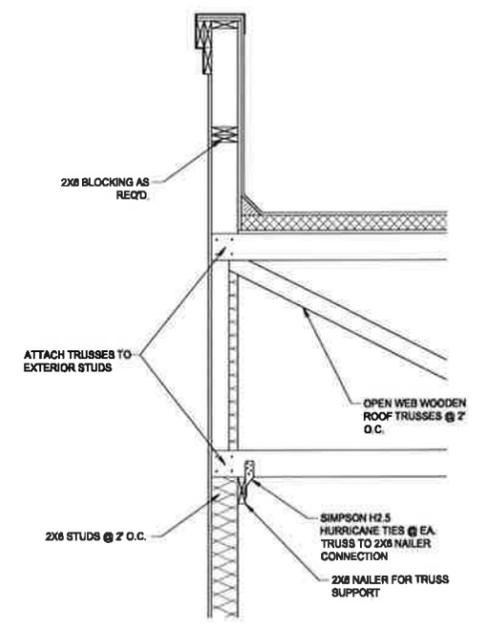
WALL SECTIONS
Job No: _____
Drawn: RW
Checked: _____
Date: 8-24-20

SHEET
A-8

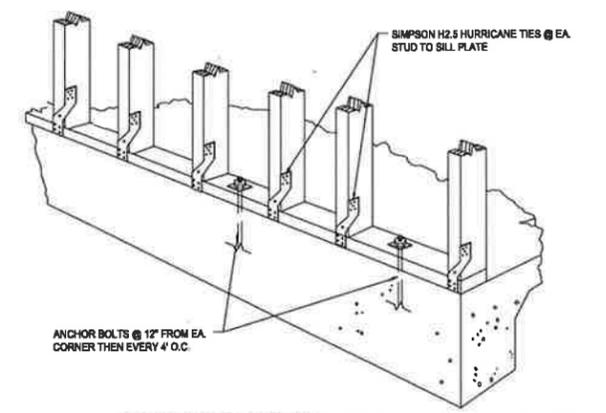


1 WALL DETAIL
A-9 3/4" = 1'-0"

2 WALL DETAIL
A-9 3/4" = 1'-0"



3 TRUSS CONNECTION DETAIL
A-9 SCALE: NOT TO SCALE



4 FOUNDATION TO SILL PLATE DETAIL
A-9 SCALE: NOT TO SCALE

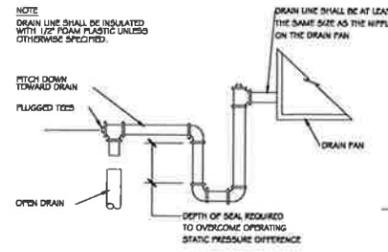
SOUTHERN DEVELOPMENT OF MISSISSIPPI, INC.
P.O. BOX 1004
400 DEP. SOUTH LANE
PURVIS, MISSISSIPPI 39475
PHONE: 601-794-2253
FAX: 601-794-5468

A NEW DEVELOPMENT FOR:
MEDICAL CENTER
EASTPOINT, FLORIDA

REVISIONS

WALL SECTIONS AND DETAILS
Job No: _____
Date: 8-24-20
Checked: _____
Drawn: RW

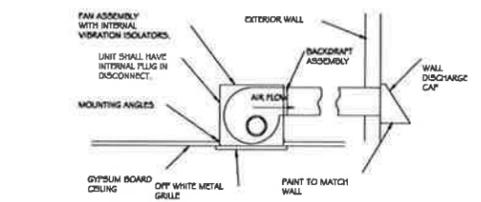
SHEET
A-9



1 CONDENSATE TRAP DETAIL
M-1 SCALE: NOT TO SCALE



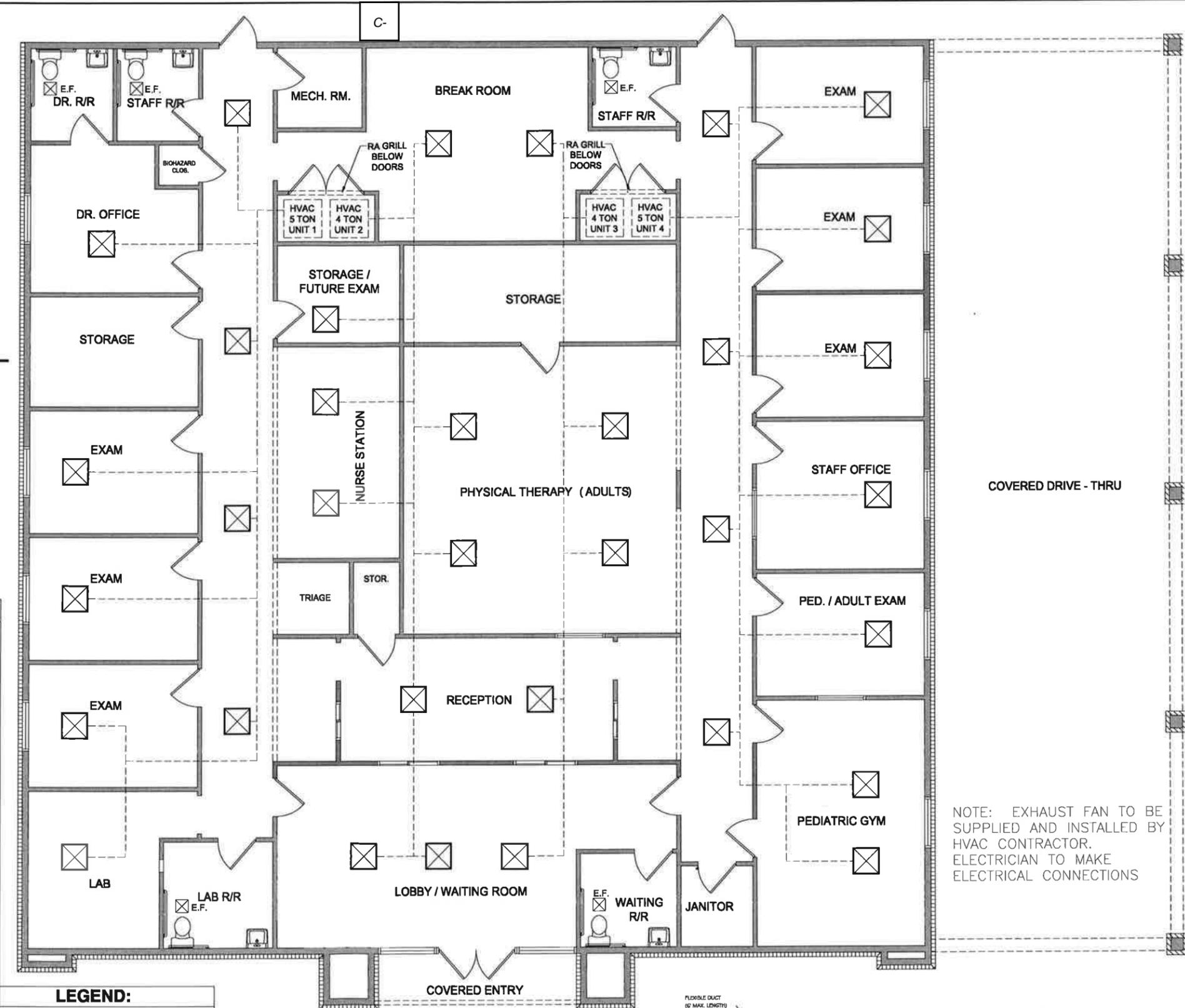
2 SPIN-IN AIR EXTRACTOR DETAIL
M-1 SCALE: NOT TO SCALE



3 CEILING MOUNTED EXHAUST FAN DETAIL
M-1 SCALE: NOT TO SCALE

H.V.A/C GENERAL NOTES

- DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL DRAWINGS AND REFLECTED CEILING PLAN FOR EXACT LOCATION OF DOORS, WINDOWS, CEILING DIFFUSERS, ETC.
- ALL DUCTWORK AND PIPING SHALL BE COORDINATED WITH THE WORK PERFORMED UNDER OTHER DIVISIONS TO AVOID INTERFERENCE.
- HVAC CONTRACTOR SHALL REPAIR, REPLACE, OR REPAINT TO MATCH EXISTING SURFACES DAMAGED BY THE HVAC CONTRACTOR DURING INSTALLATION OF MECHANICAL EQUIPMENT.
- HVAC CONTRACTOR SHALL REMOVE FROM THE JOBSITE ANY MATERIALS NOT ECONOMICALLY RECOVERABLE.
- LEFT BLANK INTENTIONALLY
- HVAC CONTRACTOR SHALL PROVIDE AND INSTALL MANUAL BALANCING DAMPERS IN DUCTWORK FIVE FEET UPSTREAM OF ALL DUCTED DIFFUSERS. IF FIVE FEET CANNOT BE MAINTAINED THE MAXIMUM DISTANCE POSSIBLE SHOULD BE OBSERVED. THE CONTRACTOR SHALL ALSO PROVIDE AND INSTALL ALL DAMPERS NECESSARY TO BALANCE THE SYSTEM TO AIR FLOW VALUES SHOWN ON PLANS.
- MAXIMUM LENGTH OF FLEXIBLE DUCT SHALL BE SIX FEET.
- HVAC CONTRACTOR SHALL PROVIDE AND INSTALL FIRE AND/OR SMOKE DAMPERS WHERE INDICATED ON PLANS AND IN SUCH LOCATIONS AS REQUIRED BY APPLICABLE CODE. INSTALLATION OF FIRE AND/OR SMOKE DAMPERS SHALL BE IN STRICT ACCORDANCE WITH THE DAMPER MANUFACTURER'S RECOMMENDATIONS.
- ALL VALVES AND PIPING SPECIALTIES SHALL BE LINE SIZED UNLESS NOTED OTHERWISE. USE ECCENTRIC REDUCERS ON CONTROL VALVES WHERE REQUIRED.
- DUCTWORK SHALL BE GALVANIZED SHEET METAL CONSTRUCTED IN ACCORDANCE WITH THE LATEST SMACNA STANDARDS. FIBERGLASS DUCTBOARD IS UNACCEPTABLE.
- DUCTWORK SHALL BE WRAPPED WITH 1 1/2" FIBERGLASS INSULATION EQUAL TO MANVILLE "MICROLITE".
- FLEXIBLE DUCTWORK SHALL BE EXTERNALLY INSULATED AND CONFORM TO ALL REQUIREMENTS OF U.L. 181 FOR CLASS 1 DUCTS.
- ALL PIPING, DUCTS, VENTS, ETC. EXTENDING THROUGH THE WALL AND/OR ROOF SHALL BE FLASHED AND COUNTERFLASHED IN A WATERPROOF MANNER.
- ALL PIPING INSULATION SHALL RUN CONTINUOUSLY THROUGH FLOOR, WALLS, AND PARTITIONS.
- ALL PIPING SHALL BE SUPPORTED ADJACENT TO EQUIPMENT, TO PREVENT WEIGHT OF PIPING BEING PLACED ON EQUIPMENT.
- LEFT BLANK INTENTIONALLY
- HVAC CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON JOBSITE.
- GENERAL CONTRACTOR SHALL FURNISH AND INSTALL ALL SUPPORTING ANGLES AND EXTRA SUPPORT BEAMS FOR ROOFTOP A.C. UNITS, EXHAUST FANS, ETC.
- IT IS THE INTENTION OF THESE DRAWINGS TO COVER ALL WORK FOR A COMPLETE FIRST CLASS MECHANICAL INSTALLATION. ANY EQUIPMENT, TRIM HARDWARE AND/OR DEVICES USUALLY UTILIZED IN THE CLASS OF WORK, THOUGH NOT SPECIFICALLY MENTIONED OR SHOWN ON THE DRAWINGS, BUT WHICH MAY BE NECESSARY FOR THE SATISFACTORY COMPLETION OF THE WORK (AS DETERMINED BY THE ARCHITECT/DESIGNER) SHALL BE FURNISHED AND INSTALLED BY THE HVAC CONTRACTOR AS PART OF HIS TOTAL WORK.
- THERMOSTATS SHALL BE "HONEYWELL" WITH LOCKING PLASTIC COVER AT FIVE FEET AFF
- ALL EQUIPMENT, DUCTWORK, AND PIPING SHALL BE SEISMICALLY RESTRAINED IN ACCORDANCE WITH THE LOCAL CODE.
- HVAC CONTRACTOR SHALL CHANGE OUT THE EQUIPMENT FILTERS AT THE TIME OF POSSESSION OF THE PROJECT BY THE OWNER, USING ONLY NEW FILTERS OF THE PROPER SIZE AND TYPE.
- THE HVAC CONTRACTOR SHALL LEAVE HIS WORK IN PERFECT WORKING CONDITION AND SHALL GUARANTEE SAME FOR A PERIOD OF TWELVE (12) MONTHS FROM DATE OF FINAL ACCEPTANCE.



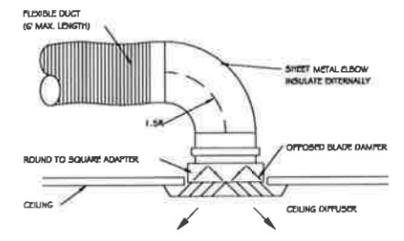
LEGEND:

- ☒ SUPPLY AIR DIFFUSER (6-12 Ø)
- DUCT (10 - 18 Ø)
- ☒ EXHAUST FAN
- Ⓢ THERMOSTAT SEE NOTE 20

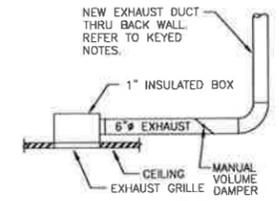
H.V.A.C. EQUIPMENT SCHEDULE

HEAT UNIT					
Unit #	Manuf.	Model #	Tons	B.T.U.	Description
1	T.B.D.	T.B.D.	5	60,000	
2	T.B.D.	T.B.D.	4	48,000	
3	T.B.D.	T.B.D.	4	48,000	
4	T.B.D.	T.B.D.	5	60,000	

HVAC PLAN
SCALE: 1/4"=1'-0"



4 TYPICAL FLEXIBLE DUCT CONNECTION DETAIL
M-1 SCALE: NOT TO SCALE



5 TOILET EXHAUST DETAIL
M-1 SCALE: NOT TO SCALE

NOTE: EXHAUST FAN TO BE SUPPLIED AND INSTALLED BY HVAC CONTRACTOR. ELECTRICIAN TO MAKE ELECTRICAL CONNECTIONS

SOUTHERN PRE-ENGINEERED BUILDERS
P.O. BOX 1207
40 DEEP SCUTE LAKE
PUNTA, MISSISSIPPI 39473
PHONE: 601-294-2053
FAX: 601-294-5489

A NEW DEVELOPMENT FOR:
MEDICAL CENTER
EASTPOINT, FLORIDA

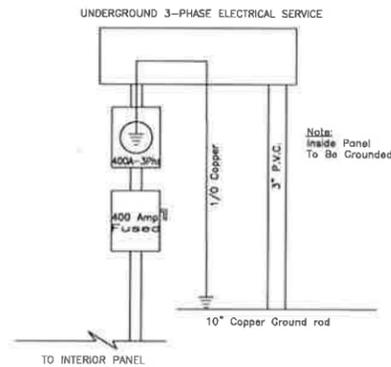
REVISIONS

Date: 8-24-20

Checked: R/W
Drawn: R/W

HVAC PLAN

SHEET
M-1



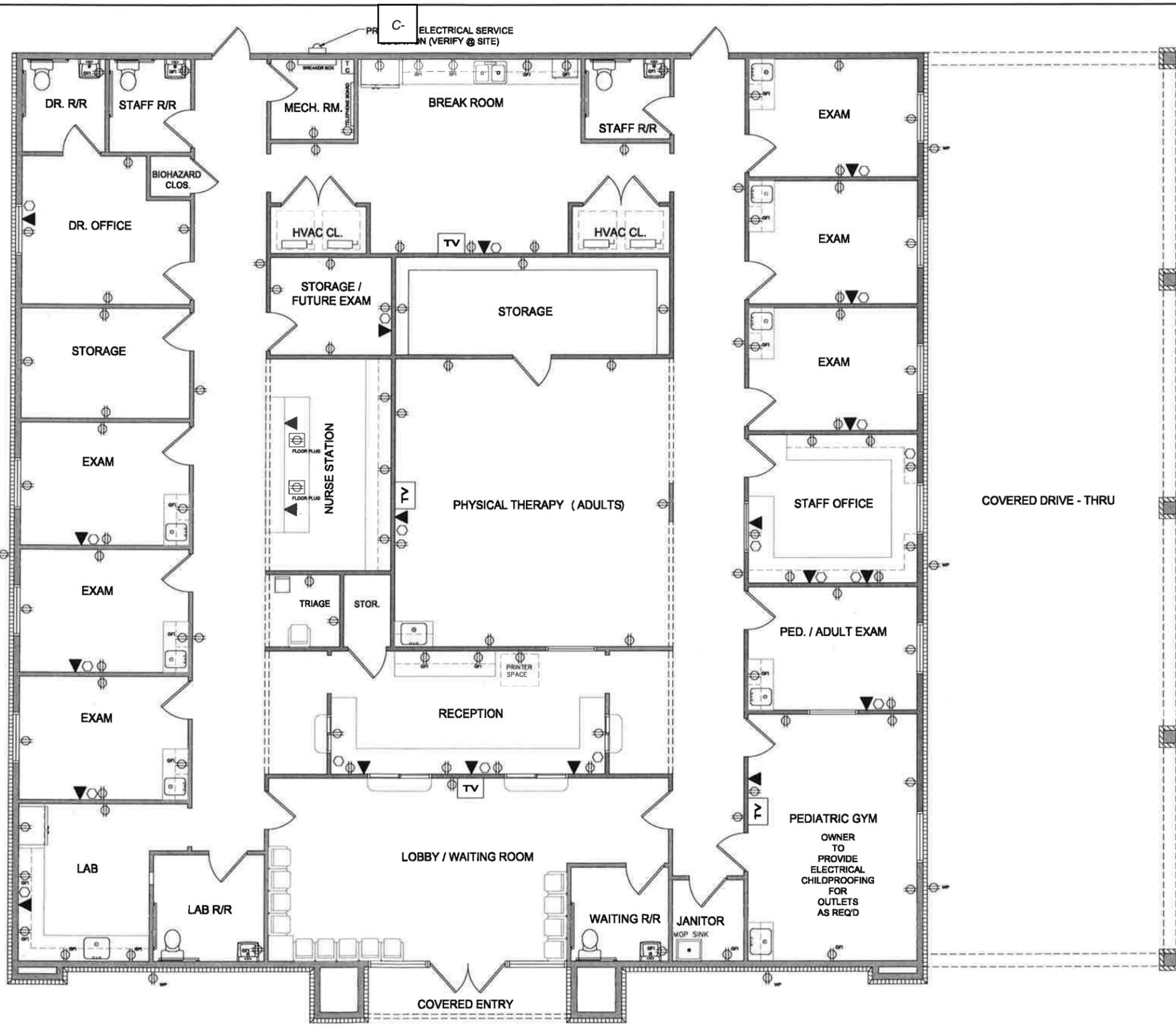
ELECTRICAL RISER DIAGRAM
SCALE: NOT TO SCALE

LEGEND

Symbol	Description	Symbol	Description
[Symbol]	Electrical Panel	[Symbol]	Switch Rated 100 Volt And 20 Amperes. Subscripts For Basic Symbol: Blank = Single Pole 3 = Three Way
[Symbol]	TIME CLOCK	[Symbol]	Duplex Recept. Wall Mounted
[Symbol]	24" x 48" LED Fixtures Wired On Night Light Circuit.	[Symbol]	EDF = Recept. Serving Electric Drinking Fountain. Coordinate Exact Location And Mounting Height w/ Plumbing Contractor And Install Recept. So That It Is Concealed From View.
[Symbol]	24" x 48" LED Fixtures	[Symbol]	GF = Duplex Recept w/ Built-in Ground Fault Circuit Interrupting Mechanism.
[Symbol]	Emergency Exit Lighting As Per Code Requirements.	[Symbol]	WP = Weatherproof Cover
[Symbol]	Ethanol R445	[Symbol]	IG = Isolated Ground
[Symbol]	SATELLITE/CABLE	[Symbol]	N = Block Neon Recept w/ Black Covers Mount @ 8" A.F.F.
[Symbol]	Junction Box Or Pull Box, Ceiling Or Wall Mounted	[Symbol]	W = 20 Amp Breaker Outlet, 8" Above Glass
[Symbol]	POWER METER	[Symbol]	Duplex Recept., FLOOR Mounted
[Symbol]		[Symbol]	Telephone Outlet, Wall Mounted, 4" Square Box w/ Single Ring Ring & Telephone Type Plate
[Symbol]		[Symbol]	Plywood Telephone Backboard
[Symbol]		[Symbol]	DISCONNECT

ELECTRICAL SPECIFICATIONS

- GENERAL: THE COMPLETE ELECTRICAL SYSTEM AND INSTALLATION SHALL CONFORM TO THE APPLICABLE RULES AND REGULATIONS OF THE NATIONAL ELECTRICAL CODE AS WELL AS TO ALL LOCAL LAWS AND CODES.
- MATERIALS: ALL MATERIALS, APPARATUS AND EQUIPMENT SHALL BE NEW AND SHALL BEAR THE UNDERWRITERS SEAL.
- DRAWINGS: REFER TO ALL PROJECT DRAWINGS AND FIT ALL WORK ACCORDINGLY WITH THE DRAWINGS INDICATING THE RELATION OF WIRING AND CONNECTIONS. DRAWINGS ARE NOT TO BE SCALED FOR LOCATIONS. ALL WORK TO BE COORDINATED WITH HVAC, PLUMBING, AND SUSPENDED CEILING FOR PROPER FIT, RELATION, CLEARANCE AND LOCATION.
- MATERIALS AND INSTALLATION:
- THE COMPLETE SYSTEM SHALL BE FREE FROM GROUNDS, SHORT CIRCUITS AND OPEN CIRCUITS.
 - THE SYSTEM OF DISTRIBUTION FOR POWER AND LIGHTING SHALL BE ARRANGED AS IS INDICATED, FOR A 60-CYCLE SERVICE VOLTAGE.
 - FURNISH AND INSTALL ALL POWER WIRING TO MOTORS, HEATER, AND MECHANICAL EQUIPMENT AS INDICATED ON THE DRAWINGS. WIRING INTO MOTOR OR EQUIPMENT TERMINALS SHALL BE COMPLETE WITH CONNECTIONS THROUGH ASSOCIATED MOTOR STARTERS AND DISCONNECT SWITCHES.
 - OUTLETS SHALL BE PROVIDED IN THE WIRING SYSTEM WHEREVER REQUIRED FOR PULLING OF WIRES. MARKING CONNECTIONS, TRANSITIONS FROM ONE WIRING METHOD TO ANOTHER, FOR MOUNTING OF WIRING DEVICES, SIGNAL DEVICES AND FIXTURES.
 - ALL EXPOSED NON-CURRENT CARRYING METALLIC PARTS OF ELECTRICAL EQUIPMENT, CONDUIT SYSTEMS AND NEUTRAL CONDUCTOR OF THE WIRING SYSTEM SHALL BE GROUNDED.
 - ALL CONDUIT AND TUBING SHALL MEET LOCAL AND NATIONAL CODES.
 - DEVICE PLATES SHALL BE INSTALLED FOR ALL DEVICES, BOXES, ETC., AND SHALL BE SUITABLE FOR THE DEVICE INSTALLED. PLATES SHALL BE STAINLESS STEEL, SATIN FINISH.
 - CONDUCTORS SHALL BE 800 VOLT THERMOPLASTIC INSULATED COPPER OF 98 INSTALLED IN CONDUIT. THE NUMBER OF CONDUCTORS INSTALLED IN ANY CONDUIT SHALL NOT BE GREATER THAN THE NUMBER FOR WHICH THE CONDUIT IS APPROVED. CONDUCTORS SHALL BE A MINIMUM OF #12 AWG AND SHALL BE 75 DEGREE C TYPE. BRANCH CIRCUIT CONDUCTORS SHALL BE STRANDED TYPE INSIDE LIGHT FIXTURES, TYPE 90 DEGREE C, 600 VOLT, SIZE #12 AWG.
 - FIXTURES SHALL BE AS SHOWN ON THE DRAWINGS AND SHALL BE INSTALLED COMPLETE WITH NEW LAMPS OF THE PROPER TYPE, WATTAGE AND VOLTAGE RATING. BALLASTS SHALL BE AS CALLED FOR ON THE DRAWINGS OR AS REQUIRED BY THE INTENDED USE. 1-1/2" SPACERS SHALL BE USED WHEN INSTALLING STRIP FLUORESCENT LIGHTING.
 - ALL PANEL BOARDS SHALL BE STANDARD DEAD-FRONT, WITH THE SIZE AND NUMBER OF SINGLE AND MULTIPLE BREAKERS AS INDICATED OR REQUIRED WITH MAIN LUGS AS INDICATED. BUS MAINS SHALL BE COPPER FOR SYSTEM VOLTAGE AND FEEDER SIZE. PANEL BOARDS SHALL BE COMPLETE WITH TRIM, LOCKING DOOR, CONCEALED HINGES, DIRECTORY FRAME AND COMPLETED (TYPED) DIRECTORY CARDS. ALL PANEL BOARDS SHALL HAVE DISTRIBUTED BUSING AND SEQUENCE NUMBERING. ALL PANELS AND BREAKERS SHALL BE SQUARE-D, I.T.E., G.E., OR CUTLER-HAMMER, NO OTHER ACCEPTABLE.
 - ELECTRICAL CONTRACTOR SHALL COORDINATE WORK WITH LOCAL TELEPHONE COMPANY AND, IF REQUIRED, FURNISH AND/OR INSTALL CONDUITS, OUTLETS, DEVICE PLATES, PLYWOOD BACKBOARDS, ETC., FOR PHONE WIRING. GROUND PHONE TO COLD WATER LINES AS REQUIRED BY THE TELEPHONE COMPANY.
 - ELECTRICAL CONTRACTOR SHALL PROVIDE SERVICE AND MAKE CONNECTIONS TO ALL MECHANICAL EQUIPMENT AND SIGNS, INCLUDING BUILDING AND STREET SIGNS.
 - ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL COMPLETE WITH POLES AND THE REQUIRED BASES, FLOODLIGHTS IN PARKING AREAS WHERE AND WHEN CALLED FOR ON THE SITE PLAN.
 - ALL WIRING CONDUCTORS SHALL BE COPPER. NO ALUMINUM ALLOWED.
 - ELECTRICAL CONTRACTOR SHALL LEAVE HIS WORK IN PERFECT OPERATING CONDITION AND SHALL GUARANTEE SAME FOR A PERIOD OF TWELVE (12) MONTHS FROM DATE OF FINAL ACCEPTANCE.



POWER PLAN
SCALE: 1/4"=1'-0"

SOUTHERN PRE-ENGINEERED BUILDERS
P.O. BOX 1207
PULASKI, MISSISSIPPI 39475
PHONE: 601-784-2951
FAX: 601-794-5468

A NEW DEVELOPMENT FOR:
MEDICAL CENTER
EASTPOINT, FLORIDA

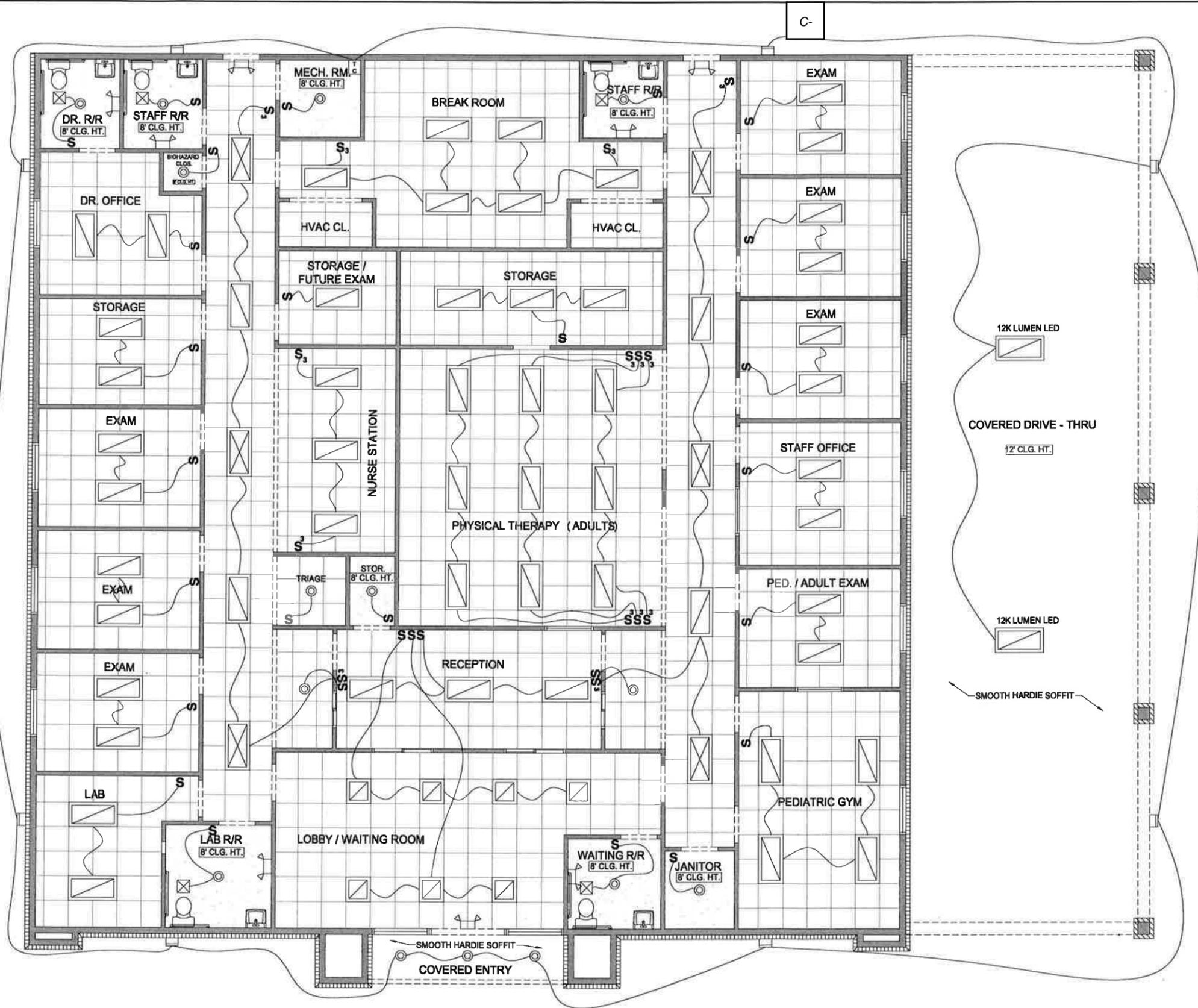
REVISIONS

Date: B-19-20

Checked: RW

POWER PLAN
Job No.

SHEET
F-1



LIGHTING PLAN
SCALE: 1/4"=1'-0"

NOTE: 3 PHASE ELECTRICAL SERVICE REQUIRED

Note:
SEE SHEET E-1 FOR GENERAL NOTES.

LEGEND

-  24"x24" LED LAY-IN
-  24"x48" LED LAY-IN
-  24"x48" LED LAY-IN ON "NIGHT LIGHT" CIRCUIT
-  SMALL LED LIGHT FIXTURE
-  18K LUMEN LED WALL PACK
-  SWITCH RATED 120 VOLTS AND 20 AMPRES, SUBSCRIPTS FOR BASIC SYMBOL: BLANK = SINGLE POLE 3 = THREE WAY
-  EMERGENCY EXIT LIGHTING
-  24"x 24" ACOUSTIC TILE PANELS ON METAL SUSPENSION GRID SYSTEM
-  FINISHED GYPSUM BOARD CEILING

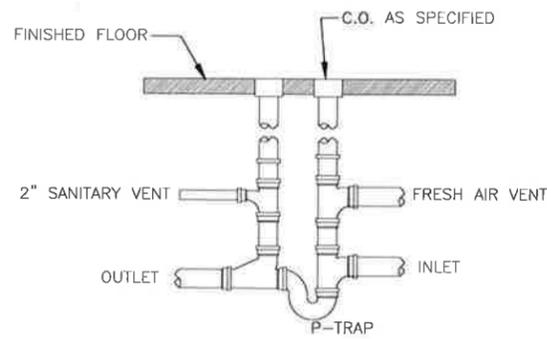
SOUTHERN PRE-ENGINEERED BUILDERS
P.O. BOX 1207, LAKE PURVIS, MISSISSIPPI 39475
PHONE: 601-994-2953 FAX: 601-994-5458

A NEW DEVELOPMENT FOR:
MEDICAL CENTER
EASTPOINT, FLORIDA

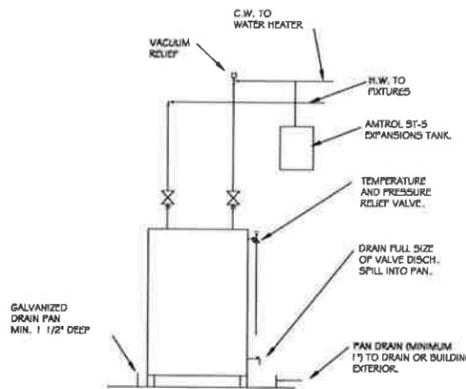
REVISIONS

LIGHTING PLAN
Job No: _____ Date: 8-24-20
Checked: _____
Drawn: RW

SHEET
F-2



1 FRESH AIR TRAP DETAIL
P-1 SCALE: NOT TO SCALE



2 WATER HEATER DETAIL
P-1 SCALE: NOT TO SCALE

NOTE:
CONTRACTOR RESPONSIBLE FOR MEETING ALL STATE AND LOCAL CODES INCLUDING A.D.A.

PLUMBING GENERAL NOTES

- DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF DOORS, WINDOWS, PLUMBING FIXTURES, ETC.
- ALL PIPING SHALL BE COORDINATED WITH THE WORK PERFORMED UNDER OTHER DIVISIONS TO AVOID INTERFERENCE.
- ALL PIPING, VENTS, ETC. EXTENDING THROUGH THE WALL AND/OR ROOF SHALL BE FLASHED AND COUNTER FLASHED IN A WATERPROOF MANNER.
- ALL PIPING INSULATION SHALL RUN CONTINUOUSLY THROUGH FLOOR, WALLS, AND PARTITIONS.
- PLUMBING CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON JOBSITE.
- VERIFY ALL ROUTING OR ALL WORK ON JOBSITE.
- IT IS THE INTENTION OF THESE DRAWINGS TO COVER ALL WORK FOR A COMPLETE FIRST CLASS PLUMBING INSTALLATION. ANY EQUIPMENT, TRIM HARDWARE AND/OR DEVICES USUALLY UTILIZED IN THE CLASS OF WORK, THOUGH NOT SPECIFICALLY MENTIONED OR SHOWN ON THE DRAWINGS, BUT WHICH MAY BE NECESSARY FOR THE SATISFACTORY COMPLETION OF THE WORK AS DETERMINED BY THE ARCHITECT SHALL BE FURNISHED AND INSTALLED BY THE PLUMBING CONTRACTOR AS PART OF HIS TOTAL WORK.
- ALL WATER PIPING ABOVE GROUND SHALL BE INSULATED WITH 3/4" FIBERGLASS PIPE INSULATION SIMILAR TO MANVILLE AMCO-LOK.
- COPPER PIPING SHALL NOT BE ALLOWED TO COME IN CONTACT WITH MASONRY OR UNSIMILAR METALS. PIPING SHALL BE PROTECTED BY COPPER HANGERS AND SLEEVES.
- DRAIN PIPING SHALL BE MINIMUM SCHEDULED 40 PVC OR CAST IRON.
- UNDERGROUND WATER PIPING SHALL BE MINIMUM TYPE "K" COPPER.
- ABOVE GROUND WATER PIPING SHALL BE MINIMUM TYPE "K" COPPER.
- ALL WATER PIPE FITTINGS SHALL BE WROUGHT COPPER WITH 5050 SOLDER. ADAPTERS SHALL BE CAST BRASS.
- INSULATION SHALL BE IN STRICT ACCORDANCE WITH LOCAL PLUMBING CODE.
- HEAT TRAPS ARE REQUIRED ON NON CIRCULATING WATER HEATING SYSTEM ON BOTH INLET AND OUTLET CONNECTIONS. HEAT TRAPS MAY BE PURCHASED OR FIELD BY CREATING A LOOP OR INVERTED U-SHAPED ARRANGEMENT ON THE INLET AND OUTLET PIPES.
- PIPE INSULATION FOR THE SPECIFIED NON CIRCULATING SERVICE HOT WATER SYSTEM IS REQUIRED FOR ALL PIPING IN THE FOLLOWING CATEGORIES: (A) THE FIRST 6'-0" OF OUTLET PIPING FROM ANY CONSTANT, NON CIRCULATING STORAGE SYSTEM. (B) THE INLET PIPING BETWEEN THE STORAGE TANK AND THE HEAT TRAP IN A NONCIRCULATING STORAGE SYSTEM.

PLUMBING FIXTURE SCHEDULE

MARK	FIXTURE	C.W.	H.W.	W.	MANUFACTURER
P-1	WATER CLOSURE - RESEALY TYPE KOLA COMPARTMENT WATER CONSERVATION	1/2"	-	4"	AMERICAN STANDARD OR EQ. WITH OPEN FRONT SEAT
P-2	LABORATORY - WALL MOUNTED	1/2"	1/2"	1 1/2"	AMERICAN STANDARD "DOLBY" 19917, AMERICAN STANDARD "HELIANT" FAUCET OR EQ.
P-3	SNK - LAB, ADULT AND PEDIATRIC PHYS THERAPY	1/2"	1/2"	1 1/2"	
P-4	SNK (BREAK ROOM)	1/2"	1/2"	1 1/2"	
P-5	MOP SINK	1/2"	1/2"	1 1/2"	

LEGEND

---	SANITARY SEWER LINE
---	COLD WATER LINE
---	HOT WATER LINE

ELECTRIC WATER HEATER SCHEDULE

MARK	LOCATION	MODEL #	CAPACITY GALLONS	RECOVERY GPH	ELECTRICAL REQUEST	MOUNTING	REMARKS
WH-1	BREAK ROOM CAB	T.B.D.	5-10 GAL.	T.B.D.	T.B.D.	T.B.D.	T.B.D.
WH-2	JANITORS CLOS.	T.B.D.	5-10 GAL.	T.B.D.	T.B.D.	T.B.D.	T.B.D.



SOUTHERN PRE-ENGINEERED BUILDERS
P.O. BOX 20707, LANE
PURVIS, MISSISSIPPI 39475
PHONE: 601-794-7953
FAX: 601-794-5468

A NEW DEVELOPMENT FOR:
MEDICAL CENTER
EASTPOINT, FLORIDA

REVISIONS

PLUMBING PLAN
Drawn: RW
Checked: B-19-20
Date: B-19-20

SHEET
P-1



D-



Overview



Legend

-  Parcels
-  Roads
-  City Labels

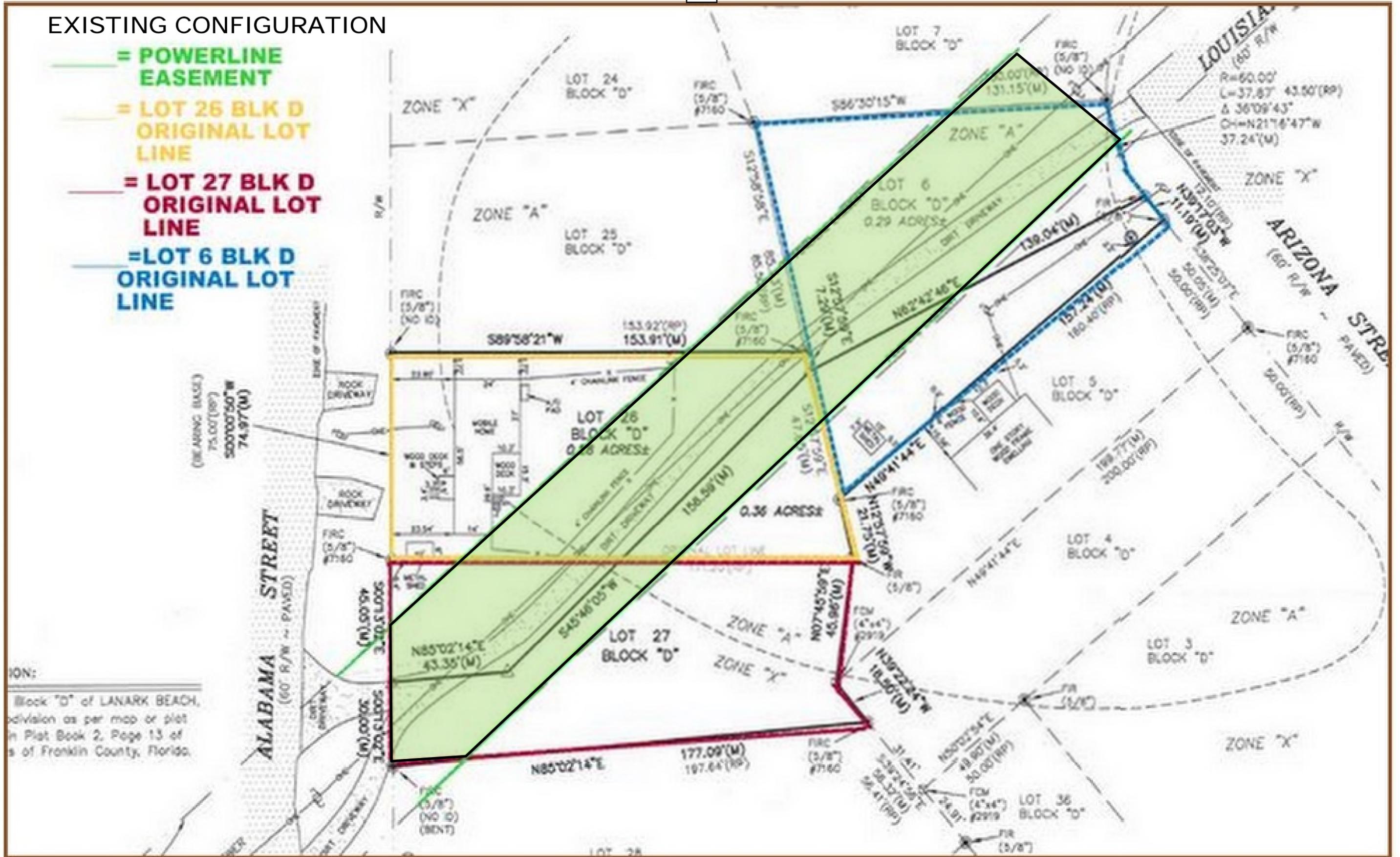
Parcel ID	14-07S-04W-3131-000D-0060	Alternate ID	04W07S143131000D0060	Owner Address	SKINNER LEONARD & GINA
Sec/Twp/Rng	14-7S-4W	Class	VACANT		2783 MERRITT DRIVE
Property Address	164 ARIZONA ST	Acreage	n/a		BRUFORD, GA 30518
District	6				
Brief Tax Description	LANARK BEACH UNIT ONE, BLOCK D				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 10/27/2020
 Last Data Uploaded: 10/27/2020 7:39:34 AM

Developed by 

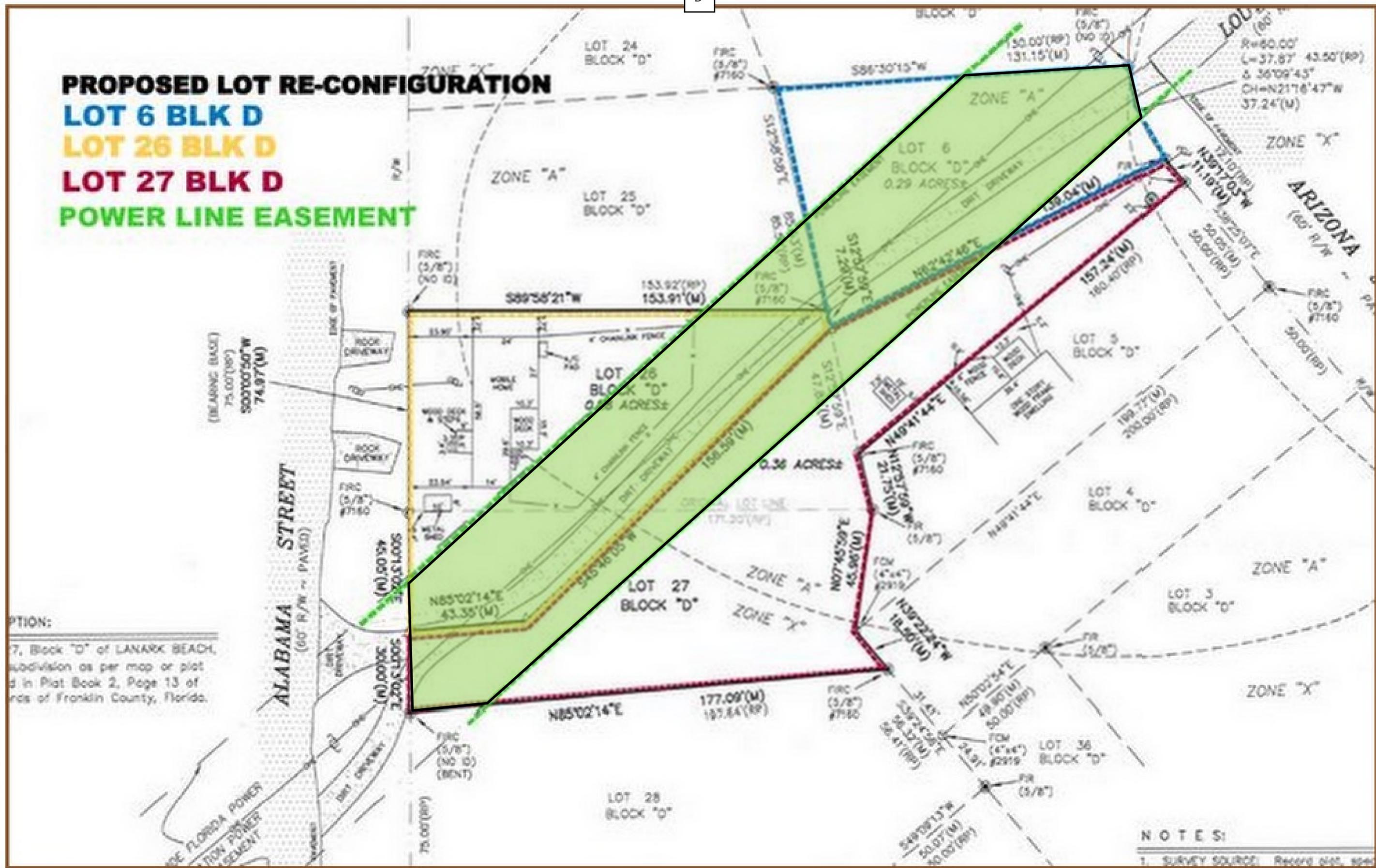
EXISTING CONFIGURATION

- = POWERLINE EASEMENT
- = LOT 26 BLK D ORIGINAL LOT LINE
- = LOT 27 BLK D ORIGINAL LOT LINE
- = LOT 6 BLK D ORIGINAL LOT LINE



Block "D" of LANARK BEACH, Florida, showing lots 3, 4, 5, 6, 7, 24, 25, 26, and 27. The map includes Alabama Street, Louisiana Street, and Arizona Street. Lot 26 is highlighted in yellow, Lot 27 in red, and Lot 6 in blue. A green shaded area represents a powerline easement. The map shows various bearings and distances in feet and meters, as well as zone designations 'A' and 'X'. A large black rectangle is overlaid on the map, encompassing parts of Lots 6, 26, and 27.

PROPOSED LOT RE-CONFIGURATION
LOT 6 BLK D
LOT 26 BLK D
LOT 27 BLK D
POWER LINE EASEMENT



NOTATION:
 1. Survey of Block "D" of LANARK BEACH, subdivision as per map or plat filed in Plat Book 2, Page 13 of records of Franklin County, Florida.

NOTES:
 1. SURVEY SOURCE: Record plat, plat