



**FRANKLIN COUNTY PLANNING AND ZONING COMMISSION REGULAR MEETING  
COURTHOUSE ANNEX, COMMISSION MEETING ROOM**

**APRIL 13, 2021**

**6:30 PM**

**AGENDA**

**PLEASE NOTE: PLANNING AND ZONING COMMISSION MAKES RECOMMENDATIONS TO THE FRANKLIN COUNTY BOARD OF COMMISSIONERS REGARDING YOUR APPLICATION. ALL APPLICANT'S ARE NOTIFIED THAT IF YOUR APPLICATION IS DENIED, IT MAY NOT BE RESUBMITTED FOR ONE YEAR. ALSO, ANY PERSON WISHING TO APPEAL THE RECOMMENDATION OF THE PLANNING AND ZONING COMMISSION OR THE DECISION OF THE FRANKLIN COUNTY BOARD OF COUNTY COMMISSIONER BOARD ARE RESPONSIBLE TO ENSURE THAT A VERBATIM TRANSCRIPT OF THE PRCEEDINGS IS MADE.**

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This meeting is being held via Zoom and all attendees are muted by default. To join via computer, use the following link on the meeting date and time: <https://zoom.us/j/95701781086> If you do not have speakers or a microphone on your computer or prefer to call, you can dial in for audio. Call (301) 715-8592 or (312) 626- 6799 or (929) 205-6099 and enter Webinar ID: 957 0178 1086# If you would like to speak during the public comment portion of the meeting, you have the following options: Online - select the "raise your hand" icon. Phone - press \*9 to raise your hand, \*6 to unmute to submit verbal comments. Public engagement is important to us, and meeting remotely is still a new process. We appreciate everyone's understanding

**Approval of the Minutes:**

[March](#) 9, 2021 Minutes for approval

**Building Report:**

**R-1 Dwellings Total: 9**

St. George Island - 1

Eastpoint -3

St. Theresa - 2

Alligator Point - 1

Lanark - 2

## **Mobile Homes Total: 2**

Eastpoint - 1

Carrabelle - 1

### **Critical Shoreline Applications:**

- A- Consideration of a request to construct a Single Family Private Dock located at 1545 Alligator Drive, Lot 3, Block R, Peninsular Point, Unit 5, Alligator Point, Franklin County, Florida. The applicant has both State and Federal Permits. The dock will be 229' x 4' with a 6' x 20' terminal platform and a 12' x 20' proposed boatlift. Request submitted by Robert Kirby, applicant. (House Under Construction- #29097)
- B- Consideration of a request to construct a Roof over an existing Boatlift and Redesign of existing Terminus located at 71 Fiesta Drive, Unit 1, Lot 80 Holiday Beach, Alligator Point, Franklin County, Florida. The applicant has State and Federal Permits. The roof will be 29'x14' and the redesigned terminus will be 20'x8'. Request submitted by Better Built Docks, agent for Travis Fink, applicant
- C- Consideration of a request to construct an additional 280 sq foot dock and 312 sq foot covered boat lift to an an existing dock located at 323 East Sawyer Street, Unit 5, Block 81, Lot 9, Eastpoint, Franklin County, Florida. The applicant has State and Federal Permits. Request submitted by Richard DeLarber, applicant.

### **Final Plat Applications:**

- D- Consideration of a request for Final Plat Approval of a 21 acres of land lying in Sections 25 and 35, Township 7 South, Range 5 West, Carrabelle, Franklin County, Florida. The subdivision will be named "St George Bay" and will consist of 16 Lots over 1 acre each. Request submitted by Elaine Boone, agent for Ed Simmons, applicant

### **Special Exception Applications:**

- E- Consideration of a request for Special Exception in the C1 Commcerical Fishing District to construct a 27'x 40' Water Dependent Tourist Commercial Facility (Kayak Rental Facility) located at 444 Highway 98, 150 feet facing Highway 98, Apalachicola, Franklin County, Florida. Request submitted by Barbara Mathis, applicant.

### **Commercial Site Plan Applications:**

- F- Consideration of a request for Commerical Site Plan Review of a 1,500 square feet Convenience Store with a Deli and Drive Through located at 101 West Pine Ave, Unit 1, Block 2 west, Lots 17 and 18, St. George Island, Franklin County, Florida. Request submitted by Jim Waddell, agent for Charles Robert Shiver and Donna Kay Barber, Applicants.
- G- Consideration of a request for Commercial Site Plan Review of a RV & Boat Storage Facility on a 4.02 Acre parcel at 50 North Bayshore Drive, Eastpoint, Franklin County Florida. Request submitted by Abel Raouf Arafa, agent for Render & Pam Ward, applicants.

### **Re-Zoning & Land Use Change Applications:**

- H- Consideration of a request for a Public Hearing to re-zone a triangular prcel with 75 feet on Highway 10 lying in Section 31, Township 8 South, Range 6 West, located at 336 Patton Drive, Franklin County, Florida from C1Commercial Fishing to C3 Commercial Recreation. Request submitted by Marsha Watson, agent for MMSW Holdings, LLC, applicant.
- I- Consideration of a request for a Public Hearing to re-zone a 200' x 300' parcel lying in Section 25, Township 7 South, Range 5 West, located at 31865 Highway 98 West, Carrabelle, Franklin County, Florida from R4 Single Family Home Industry to C4 Mixed Use Residential. Request submitted by Blakey's Beach LLC, applicant.



**Zoning Administrator's Report:**

- J- Does a 100' x 120' Metal Storage Building for Vacation Gear allowable as a Home Industry use in the R-4 District?

**FRANKLIN COUNTY PLANNING AND ZONING COMMISSION REGULAR MEETING**  
**COURTHOUSE ANNEX, COMMISSION MEETING ROOM**  
**MARCH 09, 2021**

**6:30 PM**

**MINUTES**

**PRESENT:**

Alex Skovronsky, chairman. Ben Houston, Board Member. Joey Taranto, Board Member. Cortni Bankston, Zoning Administrator.

**Building Report:**

**February 2021 Building Report**

**R-1 Dwellings: 5 Total**

St. George Island - 1

Eastpoint - 1

St. Theresa - 1

St. James Bay - 1

**Mobile Homes: 2 Total**

Eastpoint – 2

**Motion to approve: Ben Houston, 2<sup>nd</sup> by Joey Taranto. Motion Carries.**

**Critical Shoreline Applications:**

- A- Consideration of a request to construct a Single Family Private Dock located at 1545 Alligator Drive, Lot 3, Block R, Peninsular Point, Unit 5, Alligator Point, Franklin County, Florida. The applicant has both State and Federal Permits. The dock will be 229' x 4' with a 6' x 20' terminal platform and a 12' x 20' proposed boatlift. Request submitted by Robert Kirby, applicant. (House Under Construction- #29097) **Motion to Table (applicant and representative were no-show) Ben Houston, 2<sup>nd</sup> by Joey Taranto. All in Favor. Motion Carries.**
- B- Consideration of a request to construct a Roof over an existing Boatlift and Redesign of existing Terminus located at 71 Fiesta Drive, Unit 1, Lot 80 Holiday Beach, Alligator Point, Franklin County, Florida. The applicant has State and Federal Permits. The roof will be 29'x14' and the redesigned terminus will be 20'x8'. Request submitted by Better Built Docks, agent for Travis Fink, applicant. **Motion to Table (applicant and representative were no-show) Ben Houston, 2<sup>nd</sup> by Joey Taranto. All in Favor. Motion Carries.**
- C- Consideration of a request to construct a Single Family Residential Dock located at 1530 Highway 98, Carrabelle, Franklin County, FL. The proposed dock will be 12' x 4' with a 12' x 24' terminus. Applicant will be contingent upon State and Federal Permits. Request submitted by Garlick Environmental, agent for Charles W. Smith, applicant. **Motion to approve contingent upon state and federal permits, Ben Houston, 2<sup>nd</sup> by Joey Taranto. All in Favor. Motion Carries.**

**During Discussion, Alex Skovronsky asked about the height of the walkway to the terminus & Member Ben Houston asked about the distance of riparian right lines.**

- D- Consideration of a request to construct a Single Family Residential Dock and Boat Lift located at 2023 Turpentine Trail, Lot 12 Bay Cove Village, St. George Island, Franklin County, Florida. The proposed Dock will be 493' x 4' with a 20' x 6' terminus and a 11' x 20' Boat Lift. Applicant will be contingent upon State and Federal Permits. Request submitted by Garlick Environmental, agent for Gina Miller (GKM, LLC), applicant. (House under construction # 29881) **Motion to approve contingent upon State and Federal Permits, Ben Houston. 2<sup>nd</sup> by Joey Taranto. All in Favor. Motion Carries.**

**Sketch Plat Applications:**

- G- Consideration of a request for Sketch Plat Approval of a 21 acres of land lying in Sections 25 and 35, Township 7 South, Range 5 West, Carrabelle, Franklin County, Florida. The subdivision will be named "St George Bay" and will consist of 16 Lots over 1 acre each. Request submitted by Elaine Boone, agent for Ed Simmons, applicant. **Motion to approve by Ben Houston, 2<sup>nd</sup> by Joey Taranto. All in Favor. Motion Carries.**

**During Discussion, Alex questioned difference in Major and Minor Subdivisions. This subdivision would be considered minor due to the number of proposed lots.**

**Zoning Administrator's Report:**

Cortni Bankston brought up a scenario with a homeowner in the R-4 district wanting to know if it was ok to allow U-Haul storage on their property. As determined by the board, allowing this would be a commercial usage of the property which is not allowed in the R-4 District.

**Meeting adjourned 7:03PM**

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**Chairman's Signature / Date**

# Monthly Building Report



**Franklin County**  
Franklin County Planning & Building Department  
24 Forbes Street, Suite 1, Apalachicola, FL 32320

Phone (850) 653-9783 Fax (850) 653-9799

PowerLine  
Building Permit  
Software

**Date range:** 3/1/2021 to 3/31/2021

**Total Number of Permits:** 141

**Total Fees Collected:** \$48789.06

Date	Permit	Property Owner	Development	Location	Street Address	Cost	Fee
03/01/2021	30320	THOMAS BENNET	HVAC Change-out	UNIT 2 HOLIDAY BEACH LOT 37 76/100 137/60 101/551 369/334 405/108 440/200 635/273 637/664 837/578 1082/56	1197 ALLIGATOR DRIVE	\$0.00	\$677.50
03/01/2021	30321	Leto Brian A & Theresa S	SWIMMING POOL	UNIT 3 BL F LOT 15	757 WEST GORRIE DRIVE	\$0.00	\$556.88
03/01/2021	30322	LINDA MCLINTYRE	SWIMMING POOL	LOT 51 1.16 AC 100.05X 115.91X332.67X60X100X392.67 X112.95 SEA PALM VILLAGE	1412 ELM COURT	\$0.00	\$1,235.00
03/01/2021	30323	THE ARK FAMILY TRUST	New Construction	LOT 24 LAS BRISAS SUB	152 LAS BRISAS WAY	\$0.00	\$1,470.03
03/01/2021	30324	Morris Evelyn Sue & Brunner Cheryl Evon	INSTALL EXTERIOR ELEVATOR	LOT 42 TURTLE BEACH 270X161.35X270X161.35	1744 LILAC LANE	\$0.00	\$255.25

03/01/2021	30325	GEORGE BIRD	New Construction	UNIT 4 BL 45 LOT 7 OR 176/471	948 EAST PINE AVENUE	\$0.00	\$2,069.35
03/01/2021	30326	REX AND CYNTHIA WHITEMAN	Re-Roof	BL C LOT 1 OF MAGNOLIA BLUFF	REX AND CYNTHIA WHITEMAN	\$0.00	\$383.00
03/02/2021	30327	Oconee Property Management LLC A Florida Limited Liability CO	METER UPGRADE/ FOR THE RESTAURANT	UNIT 1 BL 1E LOTS 24 25 OR/106/289 196/139 230/590	37 EAST PINE AVENUE	\$0.00	\$100.00
03/02/2021	30328	Oconee Property Management LLC A Florida Limited Liability CO	METER UPGRADE/ FOR THE RESTAURANT	UNIT 1 BL 1E LOTS 24 25 OR/106/289 196/139 230/590	37 EAST PINE AVENUE	\$0.00	\$100.00
03/02/2021	30330	LINDLEY MANAGEMENT, LLC	WIRING UP NEW APPLIANCES	UNIT 1 BL 1W LOTS 7 8 9 OR/124/151 153/206 166/182	28 WEST BAY SHORE DRIVE	\$0.00	\$100.00
03/03/2021	30331	THE BEACH PIT	Re-Roof	UNIT 1 BL 1W LOTS 25,26,27,28	49 WEST PINE AVENUE	\$0.00	\$445.50
03/03/2021	30333	KEITH JONES	Re-Roof	UNIT 4 BL 43 LOTS 2 & 3	816 EAST PINE AVENUE	\$0.00	\$503.70
03/03/2021	30334	RICHARD LAWRIE	Site Prep	UNIT 1 BL 21 E LOT 12	564 EAST PINE AVENUE	\$0.00	\$100.00
03/03/2021	30335	Zeigler David L	METAL ROOF OVER	LOT 12 DEER RUN ESTATES	138 CRAIG STREET	\$0.00	\$131.00
03/03/2021	30336	Gooch Marc Brady	RE ROOF METAL	ALL OF LOT 26 LYING NORTH OF HWY	1602 ALLIGATOR DRIVE	\$0.00	\$299.00

03/03/2021	30337	Ehrhardt Judith A.	Window Replacement	UNIT 1 BL 7 LOT 66 SOUTHERN DUNES	3 TROUT STREET	\$0.00	\$131.00
03/03/2021	30339	ROBERT L. RICKER	Window Replacement	UNIT 1 BL 17W LOT	457 WEST GORRIE DRIVE	\$0.00	\$131.00
03/03/2021	30341	Sam Carnline (Southern Beholdings llc)	Replace windows ,siding, repair decks, flooring , painting	UNIT 1 BL 20W LOT 1	501 West Gorrie	\$62,000.00	\$718.46
03/03/2021	30342	KIMBERLY AND NORMAN AMBROSE	DOUBLE WIDE	A PARCEL IN SECTION 23 06S 04W CONTAINING APPROX 10 AC M/L A.K.A. PART OF TRACT 7	281 HICKORY HAMMOCK ROAD	\$0.00	\$250.00
03/03/2021	30343	Carol Lynn Davies	Site Prep	9	312 Quinn St	\$0.00	\$0.00
03/03/2021	30344	LAWRENCE A. LEFKOFF	Re-Roof	LOT 5 THE BLUFFS PHASE I	1504 CANOPY LANE	\$0.00	\$455.20
03/04/2021	30345	Ryniak James D & Tracy L	BUSH HOG, CLEAR, TRIM TREES, ADD DIRT	LOT 23 & 24 FAIRWAY PARK PB 8/15	2637 OAK STREET	\$0.00	\$100.00
03/04/2021	30346	SUSAN SPEARS	REPAIR EXISTING DUNE WALKOVER, REPAIR WOOD SIDING	LOT 6 DUNES OF ST GEORGE 1.00 AC	1232 EAST GULF BEACH DRIVE	\$0.00	\$257.00
03/04/2021	30347	CHRISTOPHER & MARGARET POPPELL	SERVICE CHANGEOUT FOR EXISTING BOAT DOCK	LOT 14 ALLIG POINT SUB OR 87/302	1577 ALLIGATOR DRIVE	\$0.00	\$100.00
03/04/2021	30348	THOMAS P. REID	METAL RE ROOF	UNIT 2 BL E LOT 4 PERKINS BCH UNIT 2	4266 ST. TERESA AVENUE	\$0.00	\$445.50

03/04/2021	30349	KIM FERNANDEZ	GRADE LOT	UNIT 3 BL I LOT 1 OR/108/377 OR 187/99	1000 WEST GULF BEACH DRIVE	\$0.00	\$100.00
03/04/2021	30350	DAVID W. RICKESON	ROOF OVER SFD WITH TPO	E 50 FT LOT 2 & ALL LOTS 3 & 4 RIO VISTA SUB	209 RIO VISTA DRIVE	\$0.00	\$369.00
03/04/2021	30351	DAVID W. RICKESON	RE ROOF SHED AND PUMP HOUSE WITH SHINGLES	E 50 FT LOT 2 & ALL LOTS 3 & 4 RIO VISTA SUB	209 RIO VISTA DRIVE	\$0.00	\$145.00
03/04/2021	30352	DEBORA HARDY	MOVING HOUSE FROM CARRABELLE TO EASTPOINT	LOT 12 INDIAN MOUNDS SHORES	13 INDIAN MOUNDS	\$0.00	\$500.00
03/05/2021	30353	Mjm Real Estate Inv, LLC	NEW 431'X4' SFD WITH A 10'X20' BOAT LIFT	LOT 5 BAY COVE VILL	2031 SAND DOLLAR TRAIL	\$0.00	\$341.00
03/05/2021	30354	Schneider Bruce & Jamie Smith	198'X4' SINGLE FAMILY PIER WITH 6'X20' TERMINUS AND A 6'X20'	LOT 11 SHELL HARBOUR 547.50X100X573.44X22.25X 50.98X31.43 188/81 224/157 233/391 311/63 732/166 1060/149 1076/518	1721 EAST GULF BEACH DRIVE	\$0.00	\$271.00
03/05/2021	30355	Sims John T & Angela M	SINGLE FAMILY DOCK	LOT 25 INDIAN BAY VILL	2009 SEMINOLE LANE	\$0.00	\$271.00
03/05/2021	30356	White Sands Investment	Swimming Pool	LOT 5 RESORT VILLAGE PB 9/9	1518 GULF VIEW WAY	\$0.00	\$787.25
03/05/2021	30357	White Sands Investment Partner	Swimming Pool	LOT 3 RESORT VILLAGE PB 9/9	1514 GULF VIEW WAY	\$0.00	\$787.25
03/05/2021	30358	JW AND PATRICIA DUKE	Metal Garage	LIGHTHOUSE RIDGE ESTATES LOT 55	1888 BEACON STREET	\$9,600.00	\$467.50
03/05/2021	30359	White Sands Investment Partner	Swimming Pool	LOT 4 RESORT VILLAGE PB 9/9 852/704 1110/522 1146/574 1167/603 1198/399	1516 GULF VIEW WAY	\$0.00	\$787.25

03/05/2021	30360	Blu Sea Glass, LLC	Window Replacement	LOT 35 TURTLE BEACH 100X415X100X415	1716 LILAC LANE	\$0.00	\$464.90
03/05/2021	30361	JARED ORCIANI	SINGLE FAMILY DOCK	LOT 7 INDIAN BAY VILL	1927 INDIAN HARBOR ROAD	\$0.00	\$327.00
03/05/2021	30362	Salt Coast Homes, LLC	CONSTRUCT 30" HOUSE PAD WITH CLEAN COMPACTED SAND TO ENGINEERED SPECIFICATIONS. 50'X60'	LAKES ON THE BLUFF LOT 5 P/B 8/34	134 LAKES ON THE BLUFF DRIVE	\$0.00	\$100.00
03/05/2021	30363	Taylor Randy C & Nilsa Ramos	HVAC Changeout	LOT 21 BRE INC	1460 CYPRESS STREET	\$0.00	\$243.00
03/05/2021	30364	J-Alligator Court, LLC	Re- Roof	UNIT 2 LOT 9 RESUB OF BL J PENN POINT 159/260 576/446 630/321 1079/201 1113/727 1145/405	1441 ALLIGATOR DRIVE	\$0.00	\$187.00
03/05/2021	30365	Harlan Sybille E	REPLACE 4 2'X6' WINDOWS, 1 6' SLIDING DOOR, MINOR DECK REPAIR	THREE HUNDRED OCEAN MILE PHASE II BLDG H LOT 2	1804 H-2 EAST GULF BEACH DR	\$0.00	\$327.00
03/08/2021	30366	ST. GEORGE BLUFF LLC	FINISH EXISTING SWIIMMING POOL	ST GEORGES BLUFF PHASE 1 COMMON AREA PB 9/24 488/253 826/231 851/396 862/430 PP 18-08S-05W-0000-0030-0020	1693 HIGHWAY 98	\$0.00	\$873.40
03/08/2021	30367	Forsthoefel Michael & Jana	HVAC	UNIT 1 BL 18 E LOT 9 ST GEORGE ISLAND	464 EAST GORRIE DRIVE	\$0.00	\$159.00
03/08/2021	30368	Husk Danny Lee & Gloria Jean	Re-Roof	UNIT 1 BL B LOT 16 LANARK BEACH	114 ARIZONA STREET	\$0.00	\$341.00

03/09/2021	30369	SEA AIR RV PARK	CHANGE EXISTING OVERHEAD SERVICE TO UNDERGROUND.	A PARCEL OF LAND 343.09 X 120.01 X 78.65 X 100 X 467.17 X 101.98 X 231.50 X 101.98 BEING A PORTION OF SECTIONS 21 AND 22 -08S-06W	965 HIGHWAY 98 WEST LOT 1A	\$0.00	\$100.00
03/09/2021	30370	SEA AIR RV PARK	CHANGE EXISTING OVERHEAD SERVICE TO UNDERGROUND.	A PARCEL OF LAND 343.09 X 120.01 X 78.65 X 100 X 467.17 X 101.98 X 231.50 X 101.98 BEING A PORTION OF SECTIONS 21 AND 22 -08S-06W	965 HIGHWAY 98 WEST PARK PANEL	\$0.00	\$100.00
03/09/2021	30371	SEA AIR RV PARK	CHANGE EXISTING OVERHEAD SERVICE TO UNDERGROUND.	A PARCEL OF LAND 343.09 X 120.01 X 78.65 X 100 X 467.17 X 101.98 X 231.50 X 101.98 BEING A PORTION OF SECTIONS 21 AND 22 -08S-06W	965 US HIGHWAY 98 LOT 2	\$0.00	\$100.00
03/09/2021	30372	SEA AIR RV PARK	CHANGE EXISTING OVERHEAD SERVICE TO UNDERGROUND.	A PARCEL OF LAND 343.09 X 120.01 X 78.65 X 100 X 467.17 X 101.98 X 231.50 X 101.98 BEING A PORTION OF SECTIONS 21 AND 22 -08S-06W	965 HIGHWAY 98 WEST LOT 2A	\$0.00	\$100.00
03/09/2021	30373	SEA AIR RV PARK	CHANGE EXISTING OVERHEAD SERVICE TO UNDERGROUND.	A PARCEL OF LAND 343.09 X 120.01 X 78.65 X 100 X 467.17 X 101.98 X 231.50 X 101.98 BEING A PORTION OF SECTIONS 21 AND 22 -08S-06W	965 HIGHWAY 98 WEST LOT 3	\$0.00	\$100.00
03/09/2021	30374	SEA AIR RV PARK	CHANGE EXISTING OVERHEAD SERVICE TO UNDERGROUND.	A PARCEL OF LAND 343.09 X 120.01 X 78.65 X 100 X 467.17 X 101.98 X 231.50 X 101.98 BEING A PORTION OF SECTIONS 21 AND 22 -08S-06W	965 HIGHWAY 98 WEST LOT 4	\$0.00	\$100.00



03/09/2021	30375	SEA AIR RV PARK	CHANGE EXISTING OVERHEAD SERVICE TO UNDERGROUND.	A PARCEL OF LAND 343.09 X 120.01 X 78.65 X 100 X 467.17 X 101.98 X 231.50 X 101.98 BEING A PORTION OF SECTIONS 21 AND 22 -08S-06W	965 HIGHWAY 98 WEST LOT 5A	\$0.00	\$100.00
03/09/2021	30376	SEA AIR RV PARK	CHANGE EXISTING OVERHEAD SERVICE TO UNDERGROUND.	A PARCEL OF LAND 343.09 X 120.01 X 78.65 X 100 X 467.17 X 101.98 X 231.50 X 101.98 BEING A PORTION OF SECTIONS 21 AND 22 -08S-06W	965 HIGHWAY 98 WEST LOT 5	\$0.00	\$100.00
03/09/2021	30377	SEA AIR RV PARK	CHANGE EXISTING OVERHEAD SERVICE TO UNDERGROUND.	A PARCEL OF LAND 343.09 X 120.01 X 78.65 X 100 X 467.17 X 101.98 X 231.50 X 101.98 BEING A PORTION OF SECTIONS 21 AND 22 -08S-06W	965 HIGHWAY 98 WEST LOT 6	\$0.00	\$100.00
03/09/2021	30378	SEA AIR RV PARK	CHANGE EXISTING OVERHEAD SERVICE TO UNDERGROUND.	A PARCEL OF LAND 343.09 X 120.01 X 78.65 X 100 X 467.17 X 101.98 X 231.50 X 101.98 BEING A PORTION OF SECTIONS 21 AND 22 -08S-06W	965 HIGHWAY 98 WEST LOT 6A	\$0.00	\$100.00
03/09/2021	30380	SEA AIR RV PARK	CHANGE EXISTING OVERHEAD SERVICE TO UNDERGROUND.	A PARCEL OF LAND 343.09 X 120.01 X 78.65 X 100 X 467.17 X 101.98 X 231.50 X 101.98 BEING A PORTION OF SECTIONS 21 AND 22 -08S-06W	965 HIGHWAY 98 WEST LOT 7	\$0.00	\$100.00
03/09/2021	30381	SEA AIR RV PARK	CHANGE EXISTING OVERHEAD SERVICE TO UNDERGROUND.	A PARCEL OF LAND 343.09 X 120.01 X 78.65 X 100 X 467.17 X 101.98 X 231.50 X 101.98 BEING A PORTION OF SECTIONS 21 AND 22 -08S-06W	965 HIGHWAY 98 WEST LOT 7A	\$0.00	\$100.00

03/09/2021	30382	SEA AIR RV PARK	CHANGE EXISTING OVERHEAD SERVICE TO UNDERGROUND.	A PARCEL OF LAND 343.09 X 120.01 X 78.65 X 100 X 467.17 X 101.98 X 231.50 X 101.98 BEING A PORTION OF SECTIONS 21 AND 22 -08S-06W	965 HIGHWAY 98 LOT 7A	\$0.00	\$100.00
03/09/2021	30383	SEA AIR RV PARK	CHANGE EXISTING OVERHEAD SERVICE TO UNDERGROUND.	A PARCEL OF LAND 343.09 X 120.01 X 78.65 X 100 X 467.17 X 101.98 X 231.50 X 101.98 BEING A PORTION OF SECTIONS 21 AND 22 -08S-06W	965 HIGHWAY 98 WEST LOT 7C	\$0.00	\$100.00
03/09/2021	30384	SEA AIR RV PARK	CHANGE EXISTING OVERHEAD SERVICE TO UNDERGROUND.	A PARCEL OF LAND 343.09 X 120.01 X 78.65 X 100 X 467.17 X 101.98 X 231.50 X 101.98 BEING A PORTION OF SECTIONS 21 AND 22 -08S-06W	965 HIGHWAY 98 WEST LOT 8	\$0.00	\$100.00
03/09/2021	30385	SEA AIR RV PARK	CHANGE EXISTING OVERHEAD SERVICE TO UNDERGROUND.	A PARCEL OF LAND 343.09 X 120.01 X 78.65 X 100 X 467.17 X 101.98 X 231.50 X 101.98 BEING A PORTION OF SECTIONS 21 AND 22 -08S-06W	965 HIGHWAY 98 WEST LOT 9	\$0.00	\$100.00
03/09/2021	30386	SEA AIR RV PARK	CHANGE EXISTING OVERHEAD SERVICE TO UNDERGROUND.	A PARCEL OF LAND 343.09 X 120.01 X 78.65 X 100 X 467.17 X 101.98 X 231.50 X 101.98 BEING A PORTION OF SECTIONS 21 AND 22 -08S-06W	965 HIGHWAY 98 WEST LOT 9A	\$0.00	\$100.00
03/09/2021	30387	SEA AIR RV PARK	CHANGE EXISTING OVERHEAD SERVICE TO UNDERGROUND.	A PARCEL OF LAND 343.09 X 120.01 X 78.65 X 100 X 467.17 X 101.98 X 231.50 X 101.98 BEING A PORTION OF SECTIONS 21 AND 22 -08S-06W	965 HIGHWAY 98 WEST LOT 10	\$0.00	\$100.00

03/09/2021	30388	SEA AIR RV PARK	CHANGE EXISTING OVERHEAD SERVICE TO UNDERGROUND.	A PARCEL OF LAND 343.09 X 120.01 X 78.65 X 100 X 467.17 X 101.98 X 231.50 X 101.98 BEING A PORTION OF SECTIONS 21 AND 22 -08S-06W	965 HIGHWAY 98 WEST LOT 10A	\$0.00	\$100.00
03/09/2021	30389	SEA AIR RV PARK	CHANGE EXISTING OVERHEAD SERVICE TO UNDERGROUND.	A PARCEL OF LAND 343.09 X 120.01 X 78.65 X 100 X 467.17 X 101.98 X 231.50 X 101.98 BEING A PORTION OF SECTIONS 21 AND 22 -08S-06W	965 HIGHWAY 98 WEST LOT 11	\$0.00	\$100.00
03/09/2021	30390	SEA AIR RV PARK	CHANGE EXISTING OVERHEAD SERVICE TO UNDERGROUND.	A PARCEL OF LAND 343.09 X 120.01 X 78.65 X 100 X 467.17 X 101.98 X 231.50 X 101.98 BEING A PORTION OF SECTIONS 21 AND 22 -08S-06W	965 HIGHWAY 98 WEST LOT 11A	\$0.00	\$0.00
03/09/2021	30391	SEA AIR RV PARK	CHANGE EXISTING OVERHEAD SERVICE TO UNDERGROUND.	A PARCEL OF LAND 343.09 X 120.01 X 78.65 X 100 X 467.17 X 101.98 X 231.50 X 101.98 BEING A PORTION OF SECTIONS 21 AND 22 -08S-06W	965 HIGHWAY 98 WEST LOT 12	\$0.00	\$100.00
03/09/2021	30392	SEA AIR RV PARK	CHANGE EXISTING OVERHEAD SERVICE TO UNDERGROUND.	A PARCEL OF LAND 343.09 X 120.01 X 78.65 X 100 X 467.17 X 101.98 X 231.50 X 101.98 BEING A PORTION OF SECTIONS 21 AND 22 -08S-06W	965 HIGHWAY 98 WEST LOT 14	\$0.00	\$100.00
03/09/2021	30393	SEA AIR RV PARK	CHANGE EXISTING OVERHEAD SERVICE TO UNDERGROUND.	A PARCEL OF LAND 343.09 X 120.01 X 78.65 X 100 X 467.17 X 101.98 X 231.50 X 101.98 BEING A PORTION OF SECTIONS 21 AND 22 -08S-06W	965 HIGHWAY 98 WEST LOT 15	\$0.00	\$100.00

03/09/2021	30394	SEA AIR RV PARK	CHANGE EXISTING OVERHEAD SERVICE TO UNDERGROUND.	A PARCEL OF LAND 343.09 X 120.01 X 78.65 X 100 X 467.17 X 101.98 X 231.50 X 101.98 BEING A PORTION OF SECTIONS 21 AND 22 -08S-06W	965 HIGHWAY 98 WEST LOT 16	\$0.00	\$100.00
03/09/2021	30395	SEA AIR RV PARK	CHANGE EXISTING OVERHEAD SERVICE TO UNDERGROUND.	A PARCEL OF LAND 343.09 X 120.01 X 78.65 X 100 X 467.17 X 101.98 X 231.50 X 101.98 BEING A PORTION OF SECTIONS 21 AND 22 -08S-06W	965 HIGHWAY 98 WEST LOT 17	\$0.00	\$100.00
03/09/2021	30396	SEA AIR RV PARK	CHANGE EXISTING OVERHEAD SERVICE TO UNDERGROUND.	A PARCEL OF LAND 343.09 X 120.01 X 78.65 X 100 X 467.17 X 101.98 X 231.50 X 101.98 BEING A PORTION OF SECTIONS 21 AND 22 -08S-06W	965 HIGHWAY 98 WEST LOT 18	\$0.00	\$100.00
03/09/2021	30397	SEA AIR RV PARK	CHANGE EXISTING OVERHEAD SERVICE TO UNDERGROUND.	A PARCEL OF LAND 343.09 X 120.01 X 78.65 X 100 X 467.17 X 101.98 X 231.50 X 101.98 BEING A PORTION OF SECTIONS 21 AND 22 -08S-06W	965 HIGHWAY 98 WEST LOT 19	\$0.00	\$100.00
03/09/2021	30398	SEA AIR RV PARK	CHANGE EXISTING OVERHEAD SERVICE TO UNDERGROUND.	A PARCEL OF LAND 343.09 X 120.01 X 78.65 X 100 X 467.17 X 101.98 X 231.50 X 101.98 BEING A PORTION OF SECTIONS 21 AND 22 -08S-06W	965 HIGHWAY 98 WEST LOT 20	\$0.00	\$100.00
03/09/2021	30401	Deborah Mashburn	RE-ROOF	A PARCEL 125 X 34 X 209 X 146 X 321 X 111	49 Gibson Rd	\$0.00	\$234.00
03/10/2021	30402	CRAIG AND LEE ADAMS	DOUBLE WIDE	A PARCEL LYING WEST OF CROOKED RIVER IN SECTIONS 24 & 25 APPROX 40 AC OR/378/225 1201/444 1230/750	950 HICKORY HAMMOCK ROAD	\$0.00	\$250.00

03/10/2021	30403	Balthrop Mary Alda	SERVICE CHANGE OUT	LOT 12 A.K.A. AS A PARCEL BEING 100 FT IN WIDTH RUNNING IN A SOUTHERLY PROJECTION TO THE MEAN HIGH WATER OF THE GULF OF MEXICO ST TERESA ALSO LOTS 19,20,21, & 22 ST TERESA, ALSO A 60' X 100' BETWEEN LOTS 12 & 19 ALSO; A 40' X 250 ALSO 30' X 340' AND ALSO A PARCEL CONTAINING 5.51 AC IN SECTION 29 06S 02W 137/460 156/226 169/596 178/204 192/226 335/295 358/55 387/303 585/728 585/731 655/60 767/78	4434 ST. TERESA AVENUE	\$0.00	\$100.00
03/10/2021	30404	S2 Yacht LLC	REPLACE 6 WINDOW AND 4 SLIDING GLASS DOORS	A PARCEL KNOWN AS TRACT 9 OR/175/482 475/277 595/22 1265/424	2590 HIGHWAY 98 EAST	\$0.00	\$187.00
03/10/2021	30405	JOSH AND SARAH PORTER	New Single Family Dwelling	UNIT 1 BL F LOTS 7 & 8 LANARK BEACH 1093/480 1288/611 1290/366	2250 KENTUCKY AVENUE	\$0.00	\$1,273.41
03/10/2021	30406	JOSH AND SARAH PORTER	BARN/STORAGE	UNIT 1 BL F LOTS 7 & 8 LANARK BEACH 1093/480	2250 KENTUCKY AVENUE	\$0.00	\$678.13
03/10/2021	30407	ROBERT AND ELISA KERSTING	Propane Tank	COM NE COR SEC1 T9S R7W N 89W 1213 FT TO CEN SR 65 S 50 FT ON S SR 65 POB N 89W ON S SR 110.98 FT CON N 88W 89.02 THENCE S 424.4 TO N OF BAYOU RUN SELY ON N BAYO 276.6 M/L TO POINT 613.2 FT S OF POB THENCE N 613.2 FT TO POB. OR 151/384 2.38 AC OR 170/227 263/90 323/49 419/157 419/161 702/477 882/389 1137/465 1138/141 1287/161	153 SOUTH BAYSHORE DRIVE	\$0.00	\$100.00

03/10/2021	30408	JOAN MATEY	RE ROOF	UNIT 1 BL 3 LOT 40 LANARK VILL OR 450/27 670/76 758/279	18-1 WEST PINE STREET	\$0.00	\$173.00
03/10/2021	30409	Hadley John C Jr & Diane T	METER UPGRADE	SW COR OF LOT 15 EAST END OF ISLAND BEING 1.02 AC 130 X 343 X 65 X 64 X 337	1444 EAST GULF BEACH DRIVE	\$0.00	\$100.00
03/11/2021	30410	DAVID MOORE	ADDITION FOR ELEVATOR SHAFT	LOT 5 PELICAN BCH VILL	2132 TARPON LANE	\$20,000.00	\$408.75
03/11/2021	30411	MARK MOSES	POLE BARN	A PARCEL CONTAINING 1.00 AC M/L IN SEC SECTION 02-09S-08W BEING 203.03 X 209.33 X 206.59 X 216.65	67 GIBSON ROAD	\$13,500.00	\$303.75
03/12/2021	30412	JAMES HUNTER	RE ROOF METAL	UNIT 1 BL 24W ST GEORGE ISL LOT 6	641 WEST GULF BEACH DRICE	\$0.00	\$369.00
03/12/2021	30413	GRAHAM ARMISTEAD	ROOF OVER METAL	UNIT 3 BL C LOT 4	924 WEST GORRIE DRIVE	\$0.00	\$271.00
03/12/2021	30414	Marchka Marylou	POLE BARN	TRACT 2 CONTAINING 1.00 AC M/L	895 CC LAND ROAD	\$0.00	\$128.75
03/15/2021	30415	Rayl Charles & Maria Rayl	ELECTRICAL UPGRADE	UNIT 1 LOT 44 LIGHTHOUSE RIDGE EST	150 BEACON STREET	\$0.00	\$100.00
03/15/2021	30416	linterim,LLC	DEMO PARTIAL STANDING STRUCTURE	BL I E 1/2 LOT 6 & 13 ALSO ALL LOTS 7 & 12	2626 HIGHWAY 98	\$0.00	\$100.00
03/15/2021	30417	HUBERT W CHIPMAN JR	RE ROOF "TEAR OFF EXISTING SHINGLES AND REPLACE WITH METAL"	LOT 15 GULF VIEW AC CONTAINING 2.0 AC M/L	130 HINTON STREET	\$0.00	\$173.00
03/16/2021	30418	JOSEPH AND SARAH HACKNEY	REMODEL AND UPDATE EXSISTING HOME	LOT 7 BRE INC	1456 BAY FRONT DRIVE	\$0.00	\$646.08

03/16/2021	30420	Coastline Rentals LLC	Pole Barn	na	909 US Hwy98	\$0.00	\$100.00
03/16/2021	30421	Maida Michael G	METAL ROOF OVER SHINGLES	LOT 16 DRIFTWOOD PLAT	2746 HIGHWAY 98 EAST	\$0.00	\$327.00
03/16/2021	30422	MINDY PARKER	PV SOLAR, ON ROOF TOP	LOT 22 UNREC PLAT TUCKER	443 BOATWRIGHT STREET	\$0.00	\$373.75
03/16/2021	30425	Erik and Krista Snyder	Site Prep	4	2374 Highway 98	\$0.00	\$0.00
03/17/2021	30426	Walker Dennis Aubrey & Etal	REPLACEMENT OF SAME SIZE WINDOWS	LOT 7 SUNSET BEACH PHASE I	198 SUNSET DRIVE	\$0.00	\$725.04
03/17/2021	30427	RJH PROPERTIES, LLC	Painting exterior of home	LOT 68 1.00 AC	1624 IVY WAY	\$15,000.00	\$257.00
03/17/2021	30428	KATHRYN ROSS	POWER POLE REPLACEMENT	A PARCEL IN SEC 11-09S-08W BEING 100' X 142.33'	35 PINE DRIVE	\$0.00	\$100.00
03/18/2021	30429	PATTI R. PARKER	New Construction	UNIT 1 BL E LOTS 25 26	2199 OAK STREET	\$0.00	\$1,240.90
03/19/2021	30431	Salt Coast Homes, LLC	NEW SINGLE FAMILY CONSTRUCTION	LAKES ON THE BLUFF LOT 5 P/B 8/34	134 LAKES ON THE BLUFF DRIVE	\$0.00	\$1,786.78
03/22/2021	30432	JAMES SWEAT	CONSTRUCTION OF SINGLE FAMILY DOCK	LOT 34 ALLIG POINT SUB	1617 ALLIGATOR DRIVE	\$0.00	\$799.38
03/22/2021	30433	JAMES SWEAT	NEW IN GROUND CONCRETE POOL	LOT 34 ALLIG POINT SUB	1617 ALLIGATOR DRIVE	\$0.00	\$775.13
03/22/2021	30434	DIANNE MACUT	EXTERIOR LIFT	LOT 67 1.00 AC PEBBLE BCH OR 176/173	1620 IVY WAY	\$0.00	\$496.25

03/22/2021	30435	One Beachin Place LLC	NEW IN-GROUND CONCRETE POOL	LOT 33 ALLIGATOR POINT	1615 ALLIGATOR DRIVE	\$0.00	\$775.13
03/22/2021	30436	Gaston Larry & Jacqueline	SWIMMING POOL	UNIT 3 BL N LOT 9	1065 WEST GULF BEACH DRIVE	\$0.00	\$714.50
03/22/2021	30437	Devine Cheryl J	ELECTRICAL UPGRADE	UNIT 1 BL 1 LOTS 21 & 22 LANARK VILLAGE	21-4 COLLINS AVENUE	\$0.00	\$100.00
03/23/2021	30439	David Donaho	Siding	LOT 7 PLANTATION BCH VILL	1840 Sea Oat Dr	\$0.00	\$856.64
03/23/2021	30440	DONALD V. WILSON	REPLACE SIDING	A PARCEL 143 X 125 FT ON BLUFF RD	1077 BLUFF ROAD	\$0.00	\$89.00
03/23/2021	30442	Mjm Carrabelle LLC	New Single Family Dwelling	ST JAMES BAY PHASE II PB 8/23 BLOCK E LOT 2	296 ROYAL TERN WAY	\$303,368.39	\$250.00
03/23/2021	30443	Mjm Carrabelle LLC	NEW SINGLE FAMILY DWELLING	ST JAMES BAY PHASE II PB 8/23 BLOCK E LOT 3 1200/231	298 ROYAL TERN LANE	\$272,576.45	\$250.00
03/23/2021	30446	Brown Terri S & Jacqueline A	CONSTRUCT A SCREEN POOL ENCLOSURE 1920 SQFT	LOT 5 LIGHTHOUSE RIDGE ESTATES UNIT 1 OR 266/246 277/306 389/54 459/75	1856 LIGHTHOUSE ROAD	\$750.00	\$250.00
03/23/2021	30447	WAG PROPERTIES SGI, LLC	METER UPGRADE	LOT 2 TREASURE BCH VILL OR 228/154 232/222 235/50	1920 CORAL REEF ROAD	\$0.00	\$100.00
03/23/2021	30448	BRADLEY R BLACKBURN	METER UPGRADE	BLK 3 LOT 13	136 NORTH BAYSHORE DRIVE	\$0.00	\$100.00
03/23/2021	30449	FRANKLIN COUNTY	METER UPGRADE	NONE AVIALABLE PER PROPERTY APPRAISOR	350 FRANKLIN BLVD	\$0.00	\$100.00
03/24/2021	30450	Hacker Mark A & Jeanette K	TO CONSTRUCT A SWIMMING POOL	UNIT 2 BL L LOT 2	709 EAST GULF BEACH DRIVE	\$25,000.00	\$496.25

03/24/2021	30451	Rayl Charles & Maria Rayl	CONSTRUCT SOLAR PV SYSTEM AND INTERCONNECTIONS	UNIT 1 LOT 44 LIGHTHOUSE RIDGE EST	150 BEACON STREET	\$24,100.00	\$496.25
03/24/2021	30452	CONNIE ROHER	METER BASE UPGRADE	LOTS 30-31 BL 105 100 FT	38 JEFFERSON STREET	\$500.00	\$100.00
03/25/2021	30453	Franklin County	Power Pole	BOU FOR 192.41 FT TH S 33 FT TO PT ON N BOU OF ST RD 65 TH S 60 DEG W 219.85 TH N 126.26 FT TO POB. 151/36-38 198/135 496/32 AND ALSO FRM POB TRVL W PARL W/S ROW BNDRY US HWY 98 15' TO PT TH TRN R TRVL N 48' TO S RO W BNDRY US HWY 98 TH TRN R TRV L E ALNG ROW BNDRY 15' TO POB. FORMING RECT PRCL 15' WIDE ALN GS ROW BNDRY US HWY98 AND 50' LNG BEING 15' M/L 1110/164	346 Highway 98	\$0.00	\$0.00
03/25/2021	30455	CONNIE AND DONNIE THOMAS	CONSTRCT 24'X24' ADDITION TO THE HOUSE	LIGHTHOUSE RIDGE ESTATES LOT 53 UNIT 1	1874 BEACON STREET	\$40,000.00	\$896.95
03/25/2021	30456	CARL MCAPLIN	DOUBLE WIDE	1 AC M/L IN SECTION 29-08S-06W A.K.A. WEST HALF OF LOT 108 UNIT 2 TARPON SHORES	678 WILDERNESS ROAD	\$0.00	\$250.00
03/26/2021	30458	Roxie and Johnny Allen	Electrical Upgrade	unrecorded	558 Oyster Rd	\$1,000.00	\$100.00
03/26/2021	30459	Balzer Peter Herbert Jr & Balzer Amy Lynn As Trustee	SWIMMING POOL PERMIT	BL 35 LOT 31 UNIT 4 ST GEO IS OR 176/471 OR/151/529	609 EAST PINE	\$35,500.00	\$629.63
03/26/2021	30460	Taylor Robert & Barbara	TO CONSTRUCT A SWIMMING POOL	UNIT 5 BL 82 LOT 14 231/166 298/298 395/286 414/319 1118/316 1118/461	201 EAST SAWYER STREET	\$32,000.00	\$1,162.26

03/26/2021	30461	Kowals John S & Kathleen M	NEW SINGLE FAMILY HOME	BLOCK A LOT 1 BALD POINT EST	382 BALD POINT ROAD	\$450,000.00	\$1,793.53
03/29/2021	30462	Smith Charles W Janice Marlene	TO CONSTRUCT A SINGLE FAMILY DOCK, WITH AN ACCESS WALKWAY 4'X12' AND A TERMINUS OF 12'X24'	50 FT FACING HWY 98 319 LESS HWY RIGHT OF WAY	1530 HIGHWAY 98	\$8,500.00	\$173.00
03/29/2021	30463	Lebron Eve M	METER UPGRADE	PARCEL IN SEC 11 T9S R8W OR 125/390	545 OYSTER ROAD	\$0.00	\$100.00
03/29/2021	30464	CHARELS AND DEEDRE GOLDEN	METER UPGRADE	60X164.5 FT IN NW 1/4 OR/57/385	308 HIGHWAY 98	\$0.00	\$100.00
03/30/2021	30465	LACEY MAPLES	SET UP MODULAR HOME	1.38 AC M/L AKA LOT 3 UNREC PLAT	731 HOMEPLACE ROAD	\$67,390.20	\$1,705.90
03/30/2021	30466	JAMES RYNIAC	TO CONSTRUCT A 24'X40'X14' ENCLOSED STEEL BUILDING	LOT 23 & 24 FAIRWAY PARK PB 8/15	2637 OAK STREET	\$20,090.00	\$426.25
03/30/2021	30467	Richardson Craig L & Louise G	TO CONSTRUCT AN EXTERIOR LIFT	UNIT 1 BL 22W LOT 13 OR 213/448	573 WEST PINE AVENUE	\$10,091.00	\$251.25
03/30/2021	30468	Bullard Barry K & Tamara D	TO CONSTRUCT AN EXTERIOR LIFT	UNIT 5 BL 72 LOT 4 ST GEORGE ISLAND	316 WEST 8TH STREET	\$9,662.90	\$233.75
03/30/2021	30469	Randolph Properties Inc, C/O Renn R. Edenfield	TO CONSTRUCT AN EXTERIOR LIFT	UNIT 5 BL 89 LOT 18 ST GEORGE ISLAND OR 146/306	515 WEST SAWYER STREET	\$10,486.80	\$251.25

03/30/2021	30470	Troyan James A	REPLACE WOOD ON FRONT STEPS AND RAILING, REPLACE REAR DECK WOOD AND INSTALL WIRE RAILINGS	LOT 2 BAY COVE VILL OR 228/154 OR 271/298	2019 SAND DOLLAR TRAIL	\$5,600.00	\$131.00
03/31/2021	30471	Hilton Rodney & Robin	GARAGE	A PARCEL IN SEC 36 07S 05W BOTH NORTH AND SOUTH OF HWY CONTAINING 0.75 AC & 0.25 AC LESS AND EXCEPT .02 AC M/L	1899 HIGHWAY 98 WEST	\$9,727.80	\$233.75
03/31/2021	30472	Blackburn Bradley R	CONSTRUCT 24'X28' SCREEN ENCLOSURE WITH A SCREEN ROOF	BLK 3 LOT 13	136 NORTH BAY SHORE DRIVE	\$10,000.00	\$233.75
03/31/2021	30473	Hagerty Daniel	NEW METAL ROOF	554 N OF CENTER 31 T8S R6W TH W 250 ALG RD TO POB CONT W 50 FT TH N 200 TH E 50 TH S 200 TO POB	331 HIGHWAY 98	\$0.00	\$75.00
03/31/2021	30474	Robinson Wann Van & Mary D	REPLACE EXISTING SERVICE WITH NEW 200 AMP METER	Tax Description* LOT 8, BL L, PENN POINT, UNIT 2. ALSO: W 25' OF THE LAND B/T LOT 1, BL I & LOT 8, BL H, PEN POINT, UNIT 2. ALSO: W 25' OF THE LAND B/T LOT 1, OF SUB 9, BL L & LOT 8 OF BL L, PEN PT. UNIT 2, 508/313, 598/233, 598/395, 798/224, 812/756, 812/760, 812/766, 1067/787 CASE NO 10-00002-CA	1482 ALLIGATOR DRIVE	\$0.00	\$100.00
03/31/2021	30475	Thurmond Susan G	REPLACE METER WITH 200 AMP SERVICE	LOT 26 BRE INC	1448 CYPRESS STREET	\$0.00	\$100.00
03/31/2021	30476	Steele Michael Roddy & Kelly Laurel Ann	URPGRADE TO 200 AMP SERVICE	UNIT 2 BL E LOTS 18 & 19 ALLIG HARBOR	1308 PENINSULAR CIRCLE	\$0.00	\$100.00
03/31/2021	30477	Brush Robert & Nancy	INTALL SOLAR PANELS	LOT 1 INDIAN MOUNDS SHORES	833 HIGHWAY 98	\$52,185.00	\$824.00



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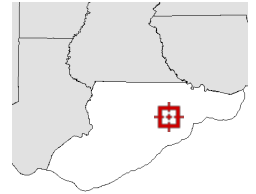
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Franklin County, FL

A-



#### Overview



#### Legend

- Parcels
- Roads
- City Labels

Parcel ID	02-07S-02W-1045-000R-0030	Alternate ID	02W07S021045000R0030	Owner Address	KIRBY ROBERT H
Sec/Twp/Rng	2-7S-2W	Class	SINGLE FAM		2755 MILLSTONE PLANTATION RD
Property Address	1545 ALLIGATOR DR	Acreage	0.568		TALLAHASSEE, FL 32312
District	7				
Brief Tax Description	UNIT 5 BL R LOT 3				

(Note: Not to be used on legal documents)

Date created: 3/3/2021

Last Data Uploaded: 3/3/2021 7:41:34 AM

Developed by  Schneider  
GEOSPATIAL



## GARLICK ENVIRONMENTAL ASSOCIATES, INC.

SPECIALIZING IN: REGULATORY PERMITS • WETLANDS/UPLAND JURISDICTIONAL  
DELINEATIONS • SUBMERGED LAND LEASES • ECOLOGICAL INVENTORY ASSESSMENTS •  
CONSERVATION AND OTHER EASEMENTS • EXPERT WITNESS AND ENVIRONMENTAL  
LITIGATION SERVICES • MITIGATION • CULTURAL RESOURCE ANALYSIS • CREATIVE  
MARINA, DOCK, AND SUBDIVISION DESIGN

June 9, 2020

Ms Amy Kelly  
Franklin County Planning & Zoning  
33 Commerce Street  
Apalachicola, FL 32320

JUN 09 2020

BY: ..... *ak* .....

Re: Dock Approval  
GEA File No. 20-035 / Robert (Rip) Kirby  
FDEP File No. 0369382-001-EG/19

Dear Ms. Kelly:

By this letter, we are requesting you place the referenced project on the next Franklin County Planning and Zoning meeting to be held on July 14, 2020, as well as, the Franklin County Board of County Commissioners meeting to be held on July 21, 2020 for the construction of a Single Family Residential Dock. Attached is a copy of the permit for the referenced project. Please note the FDEP permit also includes approval from the COE.

Also, attached is a request to FDEP/COE for a 40 ft. extension of the proposed permitted dock. We have not as of this date received approval for the extension, however, I have received an email from FDEP stating that she is working on the permit draft for Kirby. Hopefully it will be here by the meeting date.

If you have any questions, please let us know.

Sincerely,

*[Signature]*  
Dan Garlick, President  
Garlick Environmental Associates, Inc.

Attachments

P.O. BOX 385  
APALACHICOLA, FL 32329-0385  
(850) 653-8899 FAX (850) 653-9656  
garlick@garlickenv.com



## **GARLICK ENVIRONMENTAL ASSOCIATES, INC.**

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LITIGATION SERVICES • MITIGATION • CULTURAL RESOURCE ANALYSIS • CREATIVE  
MARINA, DOCK, AND SUBDIVISION DESIGN

### LETTER OF TRANSMITTAL

April 16, 2020

Mr. Wade Dandridge  
FDEP / Pensacola Office  
160 West Government Street  
Suite 308  
Pensacola, FL 32502

RE: Extension of an Existing Dock  
Additional Boat Lift  
Alligator Drive / Franklin County  
GEA File No. 18-113 – Robert Kirby  
FDEP 0369382-001-EG-19, Franklin County

The proposed project is located in Section 2, Township 7 South, Range 2 West, in Franklin County, FL. The waterbody at the project site is Alligator Harbor, Class II, an OFW, and an Aquatic Preserve.

The attached application is for an extension of 40 ft. to the already permitted access walkway of the dock, as well as, an additional boat lift, 11 ft. in width and 25 ft. in length. The extension also includes increasing the size of the already permitted boat lift to 12'x30', as well as, increasing the terminus to 8 ft. by 20 ft. The purpose of extending the access walkway is to allow our client additional room to access his boat lift without encroaching into the existing neighbor's dock. Please see Sheet 3A/4 for further clarification.

The materials to be used to construct the proposed dock and boat lifts will be transported to the site by truck. The piles will be jetted. However, provisions will include maintaining State Water Quality standards for turbidity by installing turbidity curtains. A barge will assist in the construction of the proposed boat lift and dock. The depth of water at the location of the proposed dock and boatlifts is -3.00 feet at Mean Low Water (MLW). The Mean High Water and Mean Low Water Lines are indicated on the attached drawings. No emergent nor submerged vegetation exists within the alignment of the proposed dock, nor the boat lifts.

Evidence of title to the subject riparian upland property is attached in the form of a Warranty Deed. The upland area is presently zoned as residential and no changes are proposed.



If you have any questions or need any additional assistance, please do not hesitate to call us at (805) 653-8899 or email us [dan@garlickenv.com](mailto:dan@garlickenv.com) or [maryann@garlickenv.com](mailto:maryann@garlickenv.com),

Sincerely,

A handwritten signature in blue ink, appearing to read 'Mary Ann Wasmund', with a large, stylized loop at the end.

Mary Ann Wasmund, Permit Specialist  
Garlick Environmental Associates, Inc.

Attachments

cc: Robert Kirby

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

(850) 653-8899

FAX (850) 653-9656

garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: Robert Kirby

WATERBODY/CLASS: Alligator Harbor / ClassII / OFW / AP

PURPOSE: Environmental Permitting

PROJECT LOCATION / USGS: Alligator Point / Franklin County

LATITUDE:

LONGITUDE:

SECTION: 2 TOWNSHIP: 7 South

RANGE: 2 West

JOB: 18-113

DEP:

COE:

OTHER:

DATE: April 15, 2020

SHEET: 1/4





JOB: 18-113  
DEP:  
COE:  
OTHER:  
DATE: April 15, 2020  
SHEET: 2/4





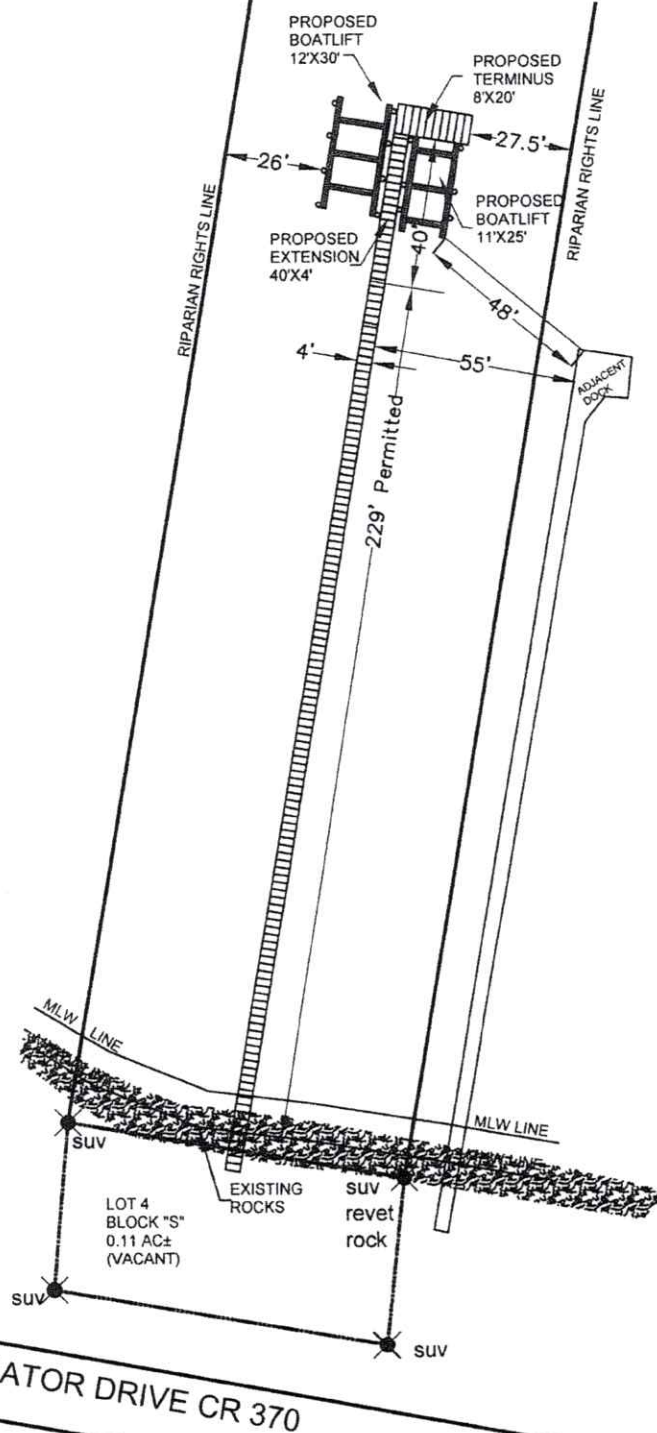
# PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.



APPLICANT/CLIENT: Robert Kirby  
 WATERBODY/CLASS: Alligator Harbor / ClassII / OFW / AP  
 PURPOSE: Environmental Permitting  
 PROJECT LOCATION / USGS: Alligator Point / Franklin County  
 LATITUDE:  
 LONGITUDE:

JOB: 18-113  
 DEP:  
 COE:  
 OTHER:  
 DATE: April 15, 2020  
 SHEET: 3/4

SECTION: 2 TOWNSHIP: 7 South RANG: 2 West



SCALE 1" = 50'

# PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

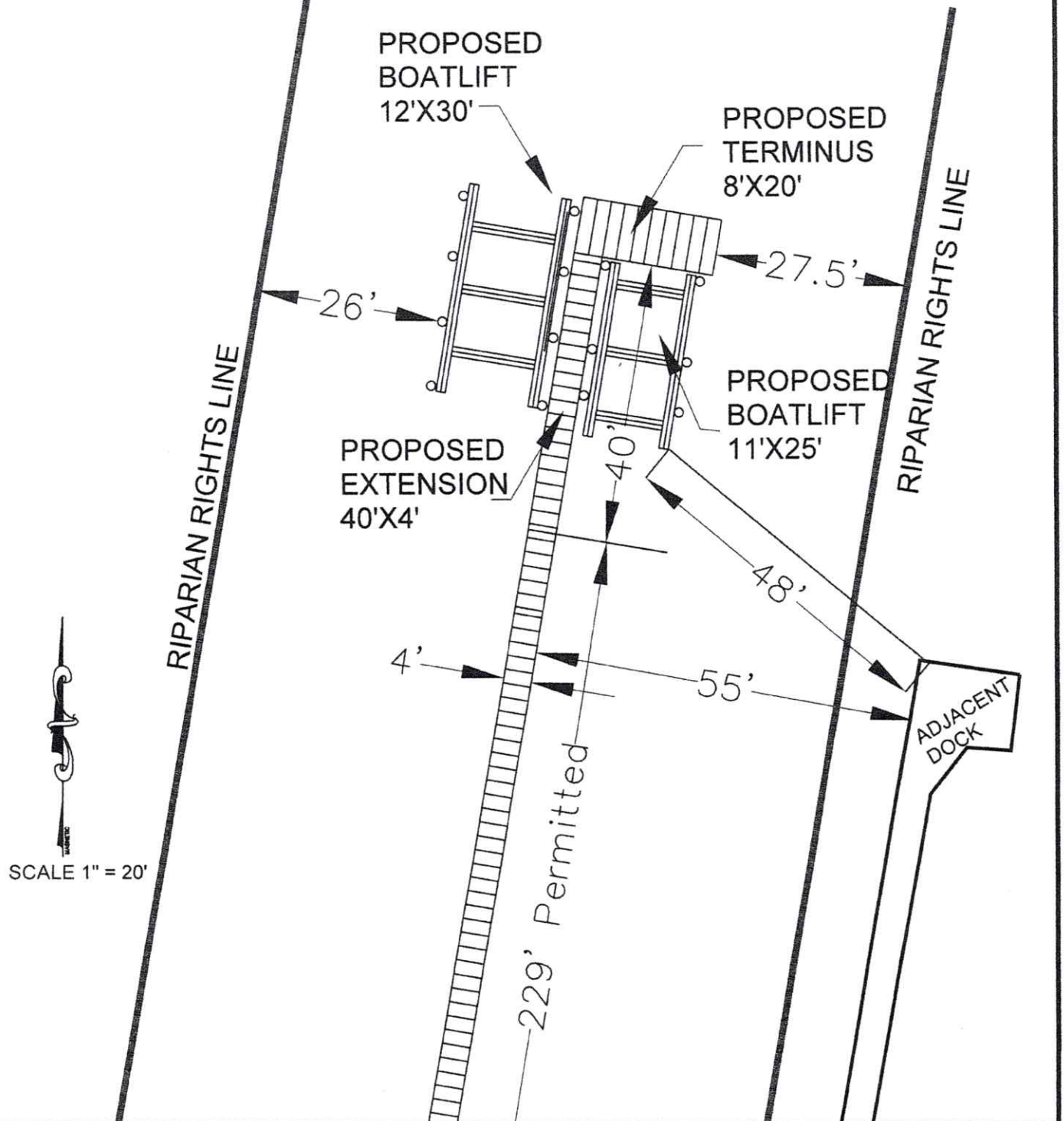
APPLICANT/CLIENT: Robert Kirby  
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 PROJECT LOCATION / USGS: Alligator Point / Franklin County  
 LATITUDE:  
 LONGITUDE:

JOB: 18-113  
 DEP:  
 COE:  
 OTHER:  
 DATE: April 15, 2020  
 SHEET: 3A/4



SECTION: 2 TWSHP: 7 South

RNG: 2 West



# PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

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garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: Robert Kirby

WATERBODY/CLASS: Alligator Harbor / ClassII / OFW / AP

PURPOSE: Environmental Permitting

PROJECT LOCATION / USGS: Alligator Point / Franklin County

LATITUDE:

LONGITUDE:

SECTION: 2 TWSHP: 7 South

RNG: 2 West

JOB: 18-113

DEP:

COE:

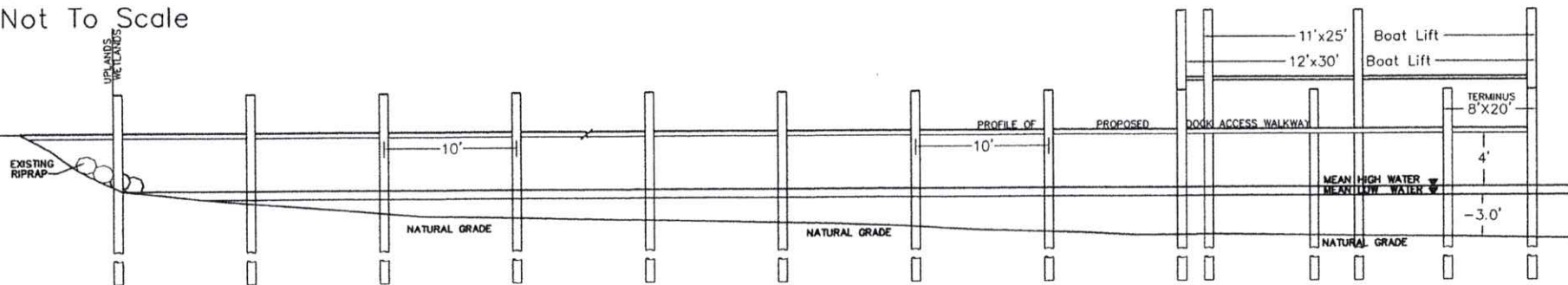
OTHER:

DATE: April 15, 2020

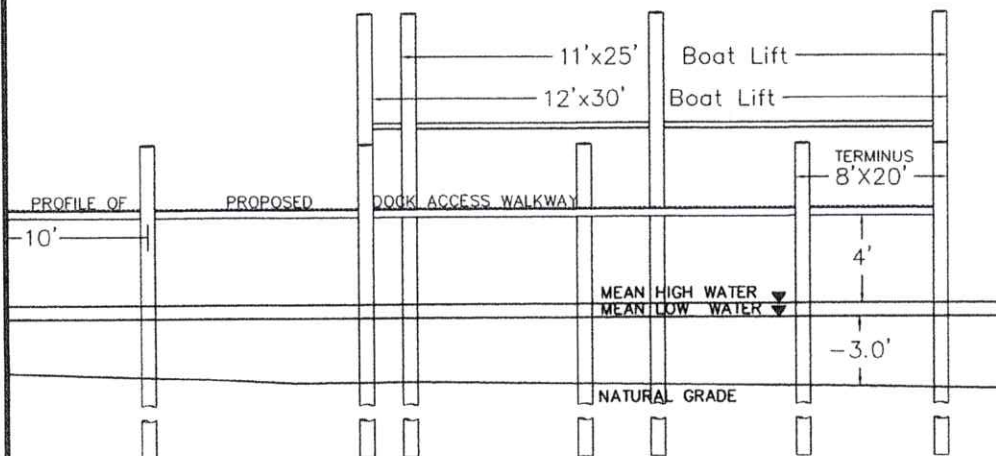
SHEET: 4/4



## CROSS SECTION OF PROPOSED DOCK Not To Scale

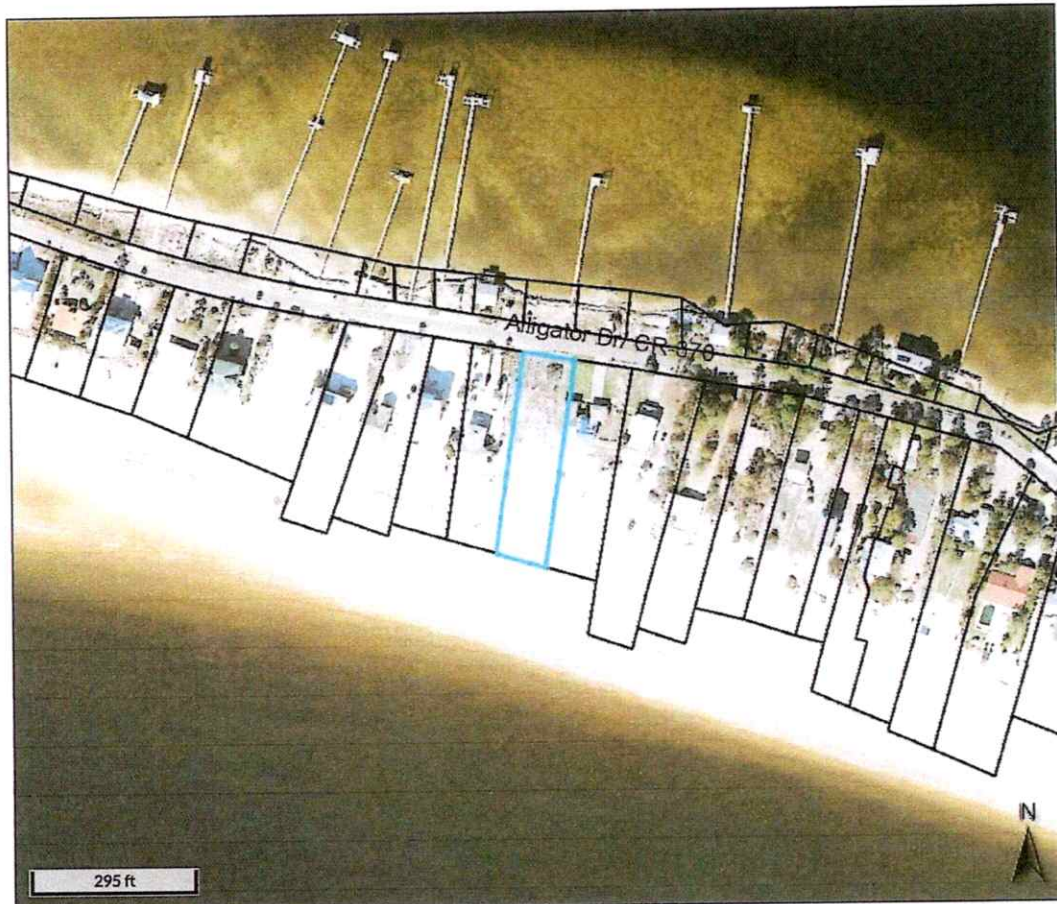


These drawings are for permitting purposes only. Not intended for construction purposes



These drawings are for permitting purposes only. Not intended for construction purposes





## Overview



## Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	02-07S-02W-1045-000R-0030	Alternate ID	02W07S021045000R0030	Owner Address	KIRBY ROBERT H
Sec/Twp/Rng	2-7S-2W	Class	VACANT		2755 MILLSTONE PLANTATION RD
Property Address	1545 ALLIGATOR DR	Acreage	0.568		TALLAHASSEE, FL 32312
District	7				
Brief Tax Description	UNIT 5 BL R LOT 3				
	(Note: Not to be used on legal documents)				

Date created: 4/17/2020

Last Data Uploaded: 4/17/2020 7:38:29 AM

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### Parcel Summary

**Parcel ID** 02-075-02W-1045-000S-0040  
**Location Address** 1544 ALLIGATOR DR  
 32346  
**Brief Tax Description\*** UNIT 5 BL 5 LOT 4 OR 171/62 OR 171/69 PENN POINT 647/477 1179/192  
\*The Description above is not to be used on legal documents.  
**Property Use Code** VACANT (000000)  
**Sec/Twp/Rng** 2-7S-2W  
**Tax District** Alligator Point (District 7)  
**Millage Rate** 13.4617  
**Acreage** 0.000  
**Homestead** N

[View Map](#)

### Owner Information

**Primary Owner**  
Kirby, Robert H  
 2755 Millstone Plantation Rd  
 Tallahassee, FL 32312

### Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
999910	DOCK PERMISSIV	1.00	UT	0	0

### Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	10/20/2016	\$390,000	WD	1179	192	Qualified (Q)	Vacant	THORNBERRY AKA DEEB LONG	KIRBY

### Valuation

	2019 Preliminary Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$35,000	\$35,000	\$25,000	\$15,000	\$15,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$35,000	\$35,000	\$25,000	\$15,000	\$15,000
Assessed Value	\$18,150	\$19,965	\$16,500	\$15,000	\$5,500
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$18,150	\$19,965	\$16,500	\$15,000	\$5,500
Maximum Save Our Homes Portability	\$16,850	\$0	\$8,500	\$0	\$9,500

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

### TRIM Notices

2019 TRIM Notice

No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sketches.

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

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Version 2.3.54

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## Overview



## Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	02-075-02W-1045-000S-0040	Alternate ID	02W075021045000S0040	Owner Address	KIRBY ROBERT H
Sec/Twp/Rng	2-7S-2W	Class	VACANT		2755 MILLSTONE PLANTATION RD
Property Address	1544 ALLIGATOR DR	Acreage	n/a		TALLAHASSEE, FL 32312
District	7				
Brief Tax Description	UNIT 5 BL 5 LOT 4				
	(Note: Not to be used on legal documents)				

Date created: 4/17/2020

Last Data Uploaded: 4/17/2020 7:38:29 AM

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### Parcel Summary

**Parcel ID** 02-07S-02W-1045-000R-0030  
**Location Address** 1545 ALLIGATOR DR  
 32346  
**Brief Tax Description\*** UNIT 5 BL R LOT 3 OR 171/62 PENN POINT 774/579 1179/192  
\*The Description above is not to be used on legal documents.  
**Property Use Code** VACANT (000000)  
**Sec/Twp/Rng** 2-7S-2W  
**Tax District** Alligator Point (District 7)  
**Millage Rate** 13.4617  
**Acreage** 0.568  
**Homestead** N

[View Map](#)

### Owner Information

**Primary Owner**  
[Kirby Robert H](#)  
 2755 Millstone Plantation Rd  
 Tallahassee, FL 32312

### Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000125	GULF FRONT ALLI PT	24,750.00	SF	90	275

### Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	10/20/2016	\$390,000	WD	1179	192	Qualified (Q)	Vacant	THORNBERRY	KIRBY
N	02/02/2004	\$100	WD	774	579	Unqualified (U)	Vacant	LONG	THORNBERRY

### Valuation

	2019 Preliminary Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$371,250	\$371,250	\$297,000	\$228,937	\$228,937
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$371,250	\$371,250	\$297,000	\$228,937	\$228,937
Assessed Value	\$277,014	\$304,715	\$251,831	\$228,937	\$228,937
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$277,014	\$304,715	\$251,831	\$228,937	\$228,937
Maximum Save Our Homes Portability	\$94,236	\$0	\$45,169	\$0	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

### TRIM Notices

[2019 TRIM Notice](#)

No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sketches.

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Last Data Upload: 4/17/2020, 7:38:29 AM

Version 2.3.54

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Inst. Number: 201619005057 Book: 1179 Page: 192 Page 1 of 2 Date: 10/24/2016 Time: 4:00 PM  
 Marcia Johnson Clerk of Courts, Franklin County, Florida Doc Deed: 2,730.00

This Instrument Prepared by & return to:

Name: W. Crit Smith, Esq.  
 Susan S. Thompson, Esq.  
 Frank S. Shaw, III, Esq.

Address: Smith, Thompson & Shaw  
 Fourth Floor, 3520 Thomasville Rd.

20163245ANH  
 Parcel I.D. #: 02-07S-02W-1045-000R-0030  
 02-07S-02W-1045-000S-0040

Inst: 201619005057 Date: 10/24/2016 Time: 4:00PM  
 Page 1 of 2 B: 1179 P: 192, Marcia Johnson, Clerk of Court  
 Franklin, County, By: SM Deputy Clerk  
 Doc Stamp-Deed: 2730.00

SPACES ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

**THIS WARRANTY DEED** Made the 20th day of October, A.D. 2016, by **MARCIA DEEB THORNBERRY**, a/k/a **MARCIA DEEB LONG**, A MARRIED WOMAN, hereinafter called the grantor, to **ROBERT H. KIRBY**, A MARRIED MAN, whose post office address is 2755 MILLSTONE PLANTATION ROAD, TALLAHASSEE, FL 32312, hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument, singular and plural, and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations.)

**Witnesseth:** That the grantor, for and in consideration of the sum of \$10.00 and other valuable consideration, receipt whereof is hereby acknowledged, does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the grantee all that certain land situate in Franklin County, State of Florida, viz:

SEE EXHIBIT "A" ATTACHED HERETO AND BY REFERENCE MADE A PART HEREOF.

The grantor does herein affirm that the above described property is not homestead property.

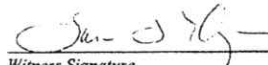
Subject to taxes for the year 2016 and subsequent years, restrictions, reservations, covenants and easements of record, if any.

**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.  
**To Have and to Hold** the same in fee simple forever.


**And** the grantor hereby covenants with said grantee that she is lawfully seized of said land in fee simple; that she has good right and lawful authority to sell and convey said land, and hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2015.

**In Witness Whereof**, the said grantor has signed and sealed these presents, the day and year first above written.

Signed, sealed and delivered in the presence of:

  
 Witness Signature

Susan S. Thompson  
 Printed Name

  
 Witness Signature

Cindy Jordan  
 Printed Name

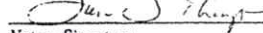
State of Florida  
 County of Leon

I hereby Certify that on this day, before me, an officer duly authorized to administer oaths and take acknowledgements, personally appeared **MARCIA DEEB THORNBERRY**, A MARRIED WOMAN, known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that he/she executed the same, and that I relied upon the following form of identification of the above-named person:

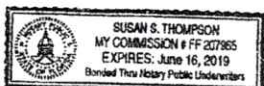
and that an oath was not taken.

Witness my hand and official seal in the County and State last aforesaid this 20th day of October, A.D. 2016.

\_\_\_\_\_  
 Notary Public Rubber Stamp Seal

  
 Notary Signature

Printed Notary Signature



Inst. Number: 201619005057 Book: 1179 Page: 193 Page 2 of 2 Date: 10/24/2016 Time: 4:00 PM  
Marcia Johnson Clerk of Courts, Franklin County, Florida Doc Deed: 2,730.00

EXHIBIT "A"

The land referred to herein below is situated in the County of Franklin, State of Florida,  
and is described as follows:

Parcel 1

Lot 3, Block "R" of PENINSULAR POINT UNIT NO. 5, according to the Plat thereof as  
recorded in Plat Book 1, Page(s) 29, of the Public Records of Franklin County, Florida.

Parcel 2

Lot 4, Block "S" of PENINSULAR POINT UNIT NO. 5, according to the Plat thereof as  
recorded in Plat Book 1, Page(s) 29, of the Public Records of Franklin County, Florida.





## Overview



## Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	02-07S-02W-1045-0005-0050	Alternate ID	02W07S02104500050050	Owner Address	RB ASSET MANAGEMENT,LLC
Sec/Twp/Rng	2-7S-2W	Class	VACANT		1843 COMMERCE BLVD
Property Address	1542 ALLIGATOR DR	Acreage	n/a		MIDWAY, FL 32343
District	7				
Brief Tax Description	UNIT 5 BL S LOT 5 PEN POINT				
	(Note: Not to be used on legal documents)				

Date created: 4/17/2020  
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*This is Mr Deeb's Dock -  
Property Appraiser's drawing indicates  
it's on Mr Kirby's parcel -  
Spoke w/ Wade Dandridge - He said  
it is okay, they deal with this from  
time to time -*

### Parcel Summary

**Parcel ID** 02-07S-02W-1045-000S-0050  
**Location Address** 1542 ALLIGATOR DR  
 32346  
**Brief Tax Description\*** UNIT 5 BL S LOT 5 PEN POINT OR 171/69 647/477 1237/288  
*\*The Description above is not to be used on legal documents.*  
**Property Use Code** VACANT (000000)  
**Sec/Twp/Rng** 2-7S-2W  
**Tax District** Alligator Point (District 7)  
**Millage Rate** 13.4617  
**Acreage** 0.000  
**Homestead** N

[View Map](#)

### Owner Information

**Primary Owner**  
[Rb Asset Management, LLC](#)  
 1843 Commerce Blvd  
 Midway, FL 32343

### Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
999910	DOCK PERMISSIV	1.00	UT	0	0

### Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	03/07/2019	\$50,000	WD	1237	288	Qualified (Q)	Vacant	LONG	RB ASSET MANAGEMENT, LLC

### Valuation

	2019 Preliminary Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$35,000	\$35,000	\$25,000	\$15,000	\$15,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$35,000	\$35,000	\$25,000	\$15,000	\$15,000
Assessed Value	\$7,321	\$8,053	\$6,655	\$6,050	\$5,500
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$7,321	\$8,053	\$6,655	\$6,050	\$5,500
Maximum Save Our Homes Portability	\$27,679	\$0	\$18,345	\$8,950	\$9,500

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

### TRIM Notices

2019 TRIM Notice

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Franklin County, Florida, and its constituent municipalities, counties, and other political subdivisions, are not responsible for the accuracy or completeness of the information provided on this website. The information is provided for informational purposes only. The information is not intended to be used for legal purposes. All data is subject to change without notice.

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## FLORIDA DEPARTMENT OF Environmental Protection

Northwest District  
160 W. Government Street, Suite 308  
Pensacola, Florida 32502

Rick Scott  
Governor

Carlos Lopez-Cantera  
Lt. Governor

Noah Valenstein  
Secretary

November 28, 2018

Robert Kirby  
2755 Millstone Road  
Tallahassee, Florida 32312  
[ripkirby@rhmgmt.us](mailto:ripkirby@rhmgmt.us)

File Name: Kirby Single-Family Dock  
File No.: 0369382-001-EG-19, Franklin County

Dear Mr. Kirby:

On October 5, 2018, we received your notice of intent to use a General Permit (GP) pursuant to Rule 62-330.427, Florida Administrative Code (F.A.C.) to construct a 1,036 square-foot single-family dock consisting of a 229-foot by 4-foot access walkway and a 6-foot by 20-foot terminal platform with a single uncovered boatlift within Alligator Harbor, Class II Outstanding Florida Waters, Alligator Harbor Aquatic Preserve, Prohibited Shellfish Harvesting Area. The project is located at 1544 Alligator Drive, Alligator Point, Florida, 32346, Parcel No. 02-07S-02W-1045-000S-0040, in Section 2, Township 7 South, Range 2 West of Franklin County; at approximately 29°54'5.0" North Latitude, 84°24'4.68" West Longitude.

Your intent to use a general permit has been reviewed by Department staff for three types of authorization: (1) regulatory authorization, (2) proprietary authorization (related to state-owned submerged lands), and (3) federal authorization. The authority for review and the outcomes of the reviews are listed below. Please read each section carefully.

**Your project qualifies for all three authorizations.** However, this letter does not relieve you from the responsibility of obtaining other federal, state, or local authorizations that may be required for the activity.

If you change the project from what you submitted, the authorizations granted may no longer be valid at the time of commencement of the project. Please contact us prior to beginning your project if you wish to make any changes.

### 1. **Regulatory Review – Approved**

Based on the forms, drawings, and documents submitted with your notice, it appears that the project meets the requirements for the General Permit under Rule 62-330.427, F.A.C. Any activities performed under a general permit are subject to general conditions required in Rule 62-330.405, F.A.C. (attached) and the specific conditions of Rule 62-330.427, F.A.C. (attached). Any deviations from these conditions may subject the permittee to enforcement action and possible penalties.

Please be advised that the construction phase of the GP must be completed within five years from the date the notice to use the GP was received by the Department. If you wish to continue this GP beyond the expiration date, you must notify the Department at least 30 days before its expiration.

Authority for review – Part IV of Chapter 373, Florida Statutes (F.S.), Title 62, F.A.C., and in accordance with the operating agreements executed between the Department and the water management districts, as referenced in Chapter 62-113, F.A.C.

## **2. Proprietary Review – Granted**

The Department acts as staff to the Board of Trustees of the Internal Improvement Trust Fund (Board of Trustees) and issues certain authorizations for the use of sovereign submerged lands. The Department has the authority to review activities on sovereign submerged lands under Chapters 253 and 258, F.S. and Chapters 18-20 and 18-21, F.A.C.

The activity appears to be located on sovereign submerged lands owned by the Board of Trustees. The activity is not exempt from the need to obtain the applicable proprietary authorization. As staff to the Board of Trustees, the Department has reviewed the activity described above and has determined that the activity qualifies for a Letter of Consent under Section 253.77, F.S. to construct and use the activity on the specified sovereign submerged lands, as long as the work performed is located within the boundaries as described herein and is consistent with the terms and conditions herein.

During the term of this Letter of Consent you shall maintain satisfactory evidence of sufficient upland interest as required by paragraph 18-21.004(3)(b), F.A.C. If such interest is terminated or the Board of Trustees determines that such interest did not exist on the date of issuance of this Letter of Consent, this Letter of Consent may be terminated by the Board of Trustees at its sole option. If the Board of Trustees terminates this Letter of Consent, you agree not to assert a claim or defense against the Board of Trustees arising out of this Letter of Consent.

Authority for review – Chapters 253 and 258, F.S., Chapters 18-20 and 18-21, F.A.C., and Section 62-330.075, F.A.C., as required.

## **3. Federal Review – SPGP Approved**

Your proposed activity as outlined in your application and attached drawings qualifies for federal authorization pursuant to the State Programmatic General Permit (SPGP) V, and a **SEPARATE permit** or authorization **will not be required** from the U.S. Army Corps of Engineers (Corps). Please note that the federal authorization expires on July 26, 2021. However, your authorization may remain in effect for up to one (1) additional year if provisions of Special Condition B.27 of the SPGP V permit instrument are met. You, as permittee, are required to adhere to all General Conditions and Special Conditions that may apply to your project. Special conditions required for your project are attached. A copy of the SPGP V with all terms and conditions and the General Conditions may be found online in the Jacksonville District Regulatory Division Sourcebook.



Authority for review – an agreement with the Corps entitled “Coordination Agreement Between the U.S. Army Corps of Engineers (Jacksonville District) and the Florida Department of Environmental Protection, or Duly Authorized Designee, State Programmatic General Permit ” Section 10 of the Rivers and Harbor Act of 1899, and Section 404 of the Clean Water Act.

#### **Additional Information**

Please retain this general permit. The activities may be inspected by authorized state personnel in the future to ensure compliance with appropriate statutes and administrative codes. If the activities are not in compliance, you may be subject to penalties under Chapter 373, F.S. and Chapter 18-14, F.A.C.

#### **NOTICE OF RIGHTS**

This action is final and effective on the date filed with the Clerk of the Department unless a petition for an administrative hearing is timely filed under Sections 120.569 and 120.57, F.S. before the deadline for filing a petition. On the filing of a timely and sufficient petition, this action will not be final and effective until further order of the Department. Because the administrative hearing process is designed to formulate final agency action, the hearing process may result in a modification of the agency action or even denial of the application.

#### Petition for Administrative Hearing

A person whose substantial interests are affected by the Department’s action may petition for an administrative proceeding (hearing) under Sections 120.569 and 120.57, F.S. Pursuant to Rules 28-106.201 and 28-106.301, F.A.C., a petition for an administrative hearing must contain the following information:

- (a) The name and address of each agency affected and each agency’s file or identification number, if known;
- (b) The name, address, and telephone number of the petitioner; the name, address, and telephone number of the petitioner’s representative, if any, which shall be the address for service purposes during the course of the proceeding; and an explanation of how the petitioner’s substantial interests are or will be affected by the agency determination;
- (c) A statement of when and how the petitioner received notice of the agency decision;
- (d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate;
- (e) A concise statement of the ultimate facts alleged, including the specific facts that the petitioner contends warrant reversal or modification of the agency’s proposed action;
- (f) A statement of the specific rules or statutes that the petitioner contends require reversal or modification of the agency’s proposed action, including an explanation of how the alleged facts relate to the specific rules or statutes; and
- (g) A statement of the relief sought by the petitioner, stating precisely the action that the petitioner wishes the agency to take with respect to the agency’s proposed action.

The petition must be filed (received by the Clerk) in the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, or via electronic correspondence at [Agency\\_Clerk@dep.state.fl.us](mailto:Agency_Clerk@dep.state.fl.us). Also, a copy of the petition shall be mailed to the applicant at the address indicated above at the time of filing.



### Time Period for Filing a Petition

In accordance with Rule 62-110.106(3), F.A.C., petitions for an administrative hearing by the applicant and persons entitled to written notice under Section 120.60(3), F.S., must be filed within 14 days of receipt of this written notice. Petitions filed by any persons other than the applicant, and other than those entitled to written notice under Section 120.60(3), F.S., must be filed within 14 days of publication of the notice or within 14 days of receipt of the written notice, whichever occurs first. The failure to file a petition within the appropriate time period shall constitute a waiver of that person's right to request an administrative determination (hearing) under Sections 120.569 and 120.57, F.S. or to intervene in this proceeding and participate as a party to it. Any subsequent intervention (in a proceeding initiated by another party) will be only at the discretion of the presiding officer upon the filing of a motion in compliance with Rule 28 106.205, F.A.C.

### Extension of Time

Under Rule 62-110.106(4), F.A.C., a person whose substantial interests are affected by the Department's action may also request an extension of time to file a petition for an administrative hearing. The Department may, for good cause shown, grant the request for an extension of time. Requests for extension of time must be filed with the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, or via electronic correspondence at [Agency\\_Clerk@dep.state.fl.us](mailto:Agency_Clerk@dep.state.fl.us), before the deadline for filing a petition for an administrative hearing. A timely request for extension of time shall toll the running of the time period for filing a petition until the request is acted upon.

### Mediation

Mediation is not available in this proceeding.

### FLAWAC Review

The applicant, or any party within the meaning of Section 373.114(1)(a) or 373.4275, F.S., may also seek appellate review of this order before the Land and Water Adjudicatory Commission under Section 373.114(1) or 373.4275, F.S. Requests for review before the Land and Water Adjudicatory Commission must be filed with the Secretary of the Commission and served on the Department within 20 days from the date when this order is filed with the Clerk of the Department.

### Judicial Review

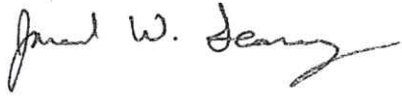
Once this decision becomes final, any party to this action has the right to seek judicial review pursuant to Section 120.68, F.S. by filing a Notice of Appeal pursuant to Florida Rules of Appellate Procedure 9.110 and 9.190 with the Clerk of the Department in the Office of General Counsel (Station #35, 3900 Commonwealth Boulevard, Tallahassee, Florida 32399-3000) and by filing a copy of the Notice of Appeal accompanied by the applicable filing fees with the appropriate district court of appeal. The notice must be filed within 30 days from the date this action is filed with the Clerk of the Department.

If you have any questions regarding this matter, please contact Jared Searcy at the letterhead address or at (850) 245-7625 or via email at [Jared.Searcy@dep.state.fl.us](mailto:Jared.Searcy@dep.state.fl.us).

**EXECUTION AND CLERKING**

Executed in Orlando, Florida.

STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION



Jared Searcy  
Environmental Specialist II  
Submerged Lands and Environmental Resources Program

**Attachments:**

1. Rule 62-330.427, F.A.C., 2 pages
2. General Conditions for All General Permits, Rule 62-330.405, F.A.C., 3 pages
3. General Consent Conditions for Use of Sovereignty Submerged Lands, 2 pages
4. General Conditions for Federal Authorization for SPGP V, 2 pages
5. SPGP V: Special Conditions Related to All Review and Authorizations, 6 pages
6. Department of the Army Permit Transfer for SPGP V, 1 page
7. Project Drawings, 4 pages

**CERTIFICATE OF SERVICE**

The undersigned duly designated deputy clerk hereby certifies that this document and all attachments were sent on the filing date below to the following listed persons:

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**FILING AND ACKNOWLEDGMENT**

FILED, on this date, pursuant to Section 120.52, F.S., with the designated Department Clerk, receipt of which is hereby acknowledged.



November 28, 2018

Clerk

Date



### **62-330.427 General Permit for Docks, Piers and Associated Structures.**

(1) A general permit is granted to any person to construct, extend, or remove a dock or pier and associated structures as described below:

(a) A private, single-family pier or dock with up to two boat lifts that, together with all existing structures on the shoreline of the property, does not exceed a total area of 2,000 square feet over surface waters. Such a structure:

1. Shall not accommodate the mooring of more than two vessels, either in the water or on a boat lift. Solely for purposes of this general permit, up to two personal watercraft as defined in section 327.02(33), F.S., may be moored in lieu of either or both allowable vessels of another type. These limits shall not apply to the mooring, storage or other use of the dock or pier by:

a. Non-motor-powered vessels less than 16 feet in length that are stored on or under the dock or pier, or within an authorized mooring area; or

b. Personal watercraft, dinghies or similar small vessels that are stowed out of the water, upon a larger parent vessel that is moored at the dock in compliance with this general permit.

2. Shall be located such that all areas used for vessel mooring and navigational access already provide a minimum depth of two feet below the mean low water level for tidal waters, or two feet below the expected average low water depth for non-tidal waters as determined based on best available information for the water body at the project location; and

3. May include a roof over the vessel mooring areas, boat lifts, and terminal platform, or any portions thereof, subject to the applicable provisions of chapters 253 and 258, F.S., and the rules adopted thereunder. Portions of such roofs that overhang beyond the edge of decked portions of the pier or dock shall be included in the calculation of the total square footage of over-water structure allowed under paragraph (1)(a), above.

(b) A public fishing pier that does not exceed a total area of 2,000 square feet provided the structure is designed and built to discourage boat mooring by elevating the fishing pier to a minimum height of five feet above mean high water or ordinary high water, surrounding the pier with handrails, and installing and maintaining signs that state "No Boat Mooring Allowed."

(2) This general permit shall be subject to the following specific conditions:

(a) Construction or extension of the boat lift, boat mooring locations, or terminal platform, shall not occur over submerged grassbeds, coral communities or wetlands. However, the access walkway portion of the pier may traverse these resources provided it is elevated a minimum of five feet above mean high water or ordinary high water, contains handrails that are maintained in such a manner as to prevent use of the access walkways for boat mooring or access, and does not exceed a width of six feet, or a width of four feet in Aquatic Preserves;

(b) There shall be no structures enclosed by walls, screens, or doors on any side;

(c) The dock or pier will not facilitate vessel rentals, charters, or serve any other commercial purpose;

(d) There shall be no fish cleaning facilities, boat repair facilities or equipment, or fueling facilities on the structures authorized by this general permit. In addition, no overboard discharges

of trash, human or animal waste, or fuel shall occur from any structures authorized by this general permit;

(e) This general permit shall not authorize the construction or extension of more than one dock or pier per parcel of land or individual lot. For the purposes of this general permit, multi-family living complexes shall be treated as one parcel of property regardless of the legal division of ownership or control of the associated property; and

(f) Notwithstanding any other provisions of this general permit, the design, construction and operation of the dock or pier and associated vessels shall not conflict with any manatee protection plan approved and adopted under section 379.2431(2)(t), F.S.

*Rulemaking Authority 373.026(7), 373.043, 373.118(1), 373.406(5), 373.4131, 373.414(9), 373.418, 403.805(1) FS. Law Implemented 373.118(1), 373.406(5), 373.413, 373.4131, 373.414(9), 373.416, 373.418, 373.426, 403.814(1) FS. History—New 10-3-95, Formerly 62-341.427, Amended 10-1-13, 6-1-18.*



### **62-330.405 General Conditions for All General Permits.**

The following general permit conditions are binding upon the permittee and are enforceable under chapter 373, F.S. These conditions do not apply to the general permit for stormwater management systems under section 403.814(12), F.S.

(1) The general permit is valid only for the specific activity indicated. Any deviation from the specified activity and the conditions for undertaking that activity shall constitute a violation of the permit and may subject the permittee to enforcement action and revocation of the permit under chapter 373, F.S.

(2) The general permit does not eliminate the necessity to obtain any required federal, state, local and special district authorizations prior to the start of any construction, alteration, operation, maintenance, removal or abandonment authorized by this permit; and it does not authorize any violation of any other applicable federal, state, local, or special district laws (including, but not limited to, those governing the "take" of listed species).

(3) The general permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the general permit.

(4) The general permit does not relieve the permittee from liability and penalties when the permitted activity causes harm or injury to: human health or welfare; animal, plant or aquatic life; or property. It does not allow the permittee to cause pollution that violates state water quality standards.

(5) Section 253.77, F.S., provides that a person may not commence any excavation, construction, or other activity involving the use of state-owned or other lands of the state, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required consent, lease, easement, or other form of authorization authorizing the proposed use. Therefore, the permittee is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on state-owned lands.

(6) The authorization to conduct activities under a general permit may be modified, suspended or revoked in accordance with chapter 120, F.S., and section 373.429, F.S.

(7) The general permit is not transferable to a new third party. To be used by a different permittee, a new notice to use a general permit must be submitted in accordance with rule 62-330.402, F.A.C. Activities constructed in accordance with the terms and conditions of a general permit are automatically authorized to be operated and maintained by the permittee and subsequent owners in accordance with subsection 62-330.340(1), F.A.C. Any person holding the general permit, persons working under the general permit, and owners of land while work is conducted under the general permit shall remain liable for any corrective actions that may be required as a result of any permit violations prior to sale, conveyance, or other transfer of ownership or control of the permitted project, activity, or the real property at which the permitted project or activity is located.

(8) Upon reasonable notice to the permittee, Agency staff with proper identification shall have permission to enter, inspect, sample and test the permitted system to ensure conformity with the plans and specifications approved by the general permit.

(9) The permittee shall maintain any permitted project or activity in accordance with the plans submitted to the Agency and authorized in the general permit.

(10) A permittee's right to conduct a specific activity under the general permit is authorized for a duration of five years.



(11) Activities shall be conducted in a manner that does not cause or contribute to violations of state water quality standards. Performance-based erosion and sediment control best management practices shall be implemented and maintained immediately prior to, during, and after construction as needed to stabilize all disturbed areas, including other measures specified in the permit to prevent adverse impacts to the water resources and adjacent lands. Erosion and sediment control measures shall be installed and maintained in accordance with the *State of Florida Erosion and Sediment Control Designer and Reviewer Manual* (Florida Department of Environmental Protection and Florida Department of Transportation, June 2007), available at <https://www.flrules.org/Gateway/reference.asp?No=Ref-04227>, and the *Florida Stormwater Erosion and Sedimentation Control Inspector's Manual* (Florida Department of Environmental Protection, Nonpoint Source Management Section, Tallahassee, Florida, July 2008), available at [http://publicfiles.dep.state.fl.us/DEAR/Stormwater\\_Training\\_Docs/erosion-inspectors-manual.pdf](http://publicfiles.dep.state.fl.us/DEAR/Stormwater_Training_Docs/erosion-inspectors-manual.pdf).

(12) Unless otherwise specified in the general permit, temporary vehicular access within wetlands during construction shall be performed using vehicles generating minimum ground pressure to minimize rutting and other environmental impacts. Within forested wetlands, the permittee shall choose alignments that minimize the destruction of mature wetland trees to the greatest extent practicable. When needed to prevent rutting or soil compaction, access vehicles shall be operated on wooden, composite, metal, or other non-carthen construction mats. In all cases, access in wetlands shall comply with the following:

- (a) Access within forested wetlands shall not include the cutting or clearing of any native wetland tree having a diameter four inches or greater at breast height;
- (b) The maximum width of the construction access area shall be limited to 15 feet;
- (c) All mats shall be removed as soon as practicable after equipment has completed passage through, or work has been completed, at any location along the alignment of the project, but in no case longer than seven days after equipment has completed work or passage through that location; and
- (d) Areas disturbed for access shall be restored to natural grades immediately after the maintenance or repair is completed.

(13) Barges or other work vessels used to conduct in-water activities shall be operated in a manner that prevents unauthorized dredging, water quality violations, and damage to submerged aquatic communities.

(14) The construction, alteration, or use of the authorized project shall not adversely impede navigation or create a navigational hazard in the water body.

(15) Except where specifically authorized in the general permit, activities must not:

- (a) Impound or obstruct existing water flow, cause adverse impacts to existing surface water storage and conveyance capabilities, or otherwise cause adverse water quantity or flooding impacts to receiving water and adjacent lands; or

- (b) Cause an adverse impact to the maintenance of surface or ground water levels or surface water flows established pursuant to section 373.042, F.S., or a Works of the District established pursuant to section 373.086, F.S.

(16) If prehistoric or historic artifacts, such as pottery or ceramics, projectile points, stone tools, dugout canoes, metal implements, historic building materials, or any other physical remains that could be associated with Native American, early European, or American settlement are encountered at any time within the project site area, the permitted project shall cease all activities involving subsurface disturbance in the vicinity of the discovery. The permittee or

other designee shall contact the Florida Department of State, Division of Historical Resources, Compliance Review Section (DHR), at (850)245-6333, as well as the appropriate permitting agency office. Project activities shall not resume without verbal or written authorization from the Division of Historical Resources. If unmarked human remains are encountered, all work shall stop immediately and the proper authorities notified in accordance with section 872.05, F.S.

(17) The activity must be capable, based on generally accepted engineering and scientific principles, of being performed and of functioning as proposed, and must comply with any applicable District special basin and geographic area criteria.

(18) The permittee shall comply with the following when performing work within waters accessible to federally- or state-listed aquatic species, such as manatees, marine turtles, smalltooth sawfish, and Gulf sturgeon:

(a) All vessels associated with the project shall operate at "Idle Speed/No Wake" at all times while in the work area and where the draft of the vessels provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.

(b) All deployed siltation or turbidity barriers shall be properly secured, monitored, and maintained to prevent entanglement or entrapment of listed species.

(c) All in-water activities, including vessel operation, must be shut down if a listed species comes within 50 feet of the work area. Activities shall not resume until the animal(s) has moved beyond a 50-foot radius of the in-water work, or until 30 minutes elapses since the last sighting within 50 feet. Animals must not be herded away or harassed into leaving. All onsite project personnel are responsible for observing water-related activities for the presence of listed species.

(d) Any listed species that is killed or injured by work associated with activities performed shall be reported immediately to the Florida Fish and Wildlife Conservation Commission (FWC) Hotline at 1(888)404-3922 and [ImperiledSpecies@myFWC.com](mailto:ImperiledSpecies@myFWC.com).

(e) Whenever there is a spill or frac-out of drilling fluid into waters accessible to the above species during a directional drilling operation, the FWC shall be notified at [ImperiledSpecies@myfwc.com](mailto:ImperiledSpecies@myfwc.com) with details of the event within 24 hours following detection of the spill or frac-out.

(19) The permittee shall hold and save the Agency harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any activity authorized by the general permit.

(20) The permittee shall immediately notify the Agency in writing of any submitted information that is discovered to be inaccurate.

*Rulemaking Authority 373.026(7), 373.043, 373.118(1), 373.406(5), 373.4131, 373.414(9), 373.4145, 373.418, 403.805(1) FS. Law Implemented 373.044, 373.118(1), 373.129, 373.136, 373.406(5), 373.413, 373.4131, 373.414(9), 373.4145, 373.416, 373.422, 373.423, 373.429, 403.814(1) FS. History—New 10-3-95, Amended 10-1-07, Formerly 62-341.215, Amended 10-1-13, 6-1-18.*



**GENERAL CONSENT CONDITIONS FOR  
USE OF SOVEREIGNTY SUBMERGED LANDS**

Any use of sovereignty submerged lands is subject to the following general conditions are binding upon the applicant and are enforceable under Chapters 253 and 258, F.S.

1. Sovereignty submerged lands may be used only for the specified activity or use. Any unauthorized deviation from the specified activity or use and the conditions for undertaking that activity or use will constitute a violation. Violation of the authorization will result in suspension or revocation of the applicant's use of the sovereignty submerged lands unless cured to the satisfaction of the Board of Trustees.
2. Authorization under Rule 18-21.005, F.A.C., conveys no title to sovereignty submerged lands or water column, nor does it constitute recognition or acknowledgment of any other person's title to such land or water.
3. Authorizations under Rule 18-21.005, F.A.C., may be modified, suspended, or revoked in accordance with its terms or the remedies provided in Sections 253.04, F.S. and Chapter 18-14, F.A.C.
4. Structures or activities will be constructed and used to avoid or minimize adverse impacts to resources.
5. Construction, use, or operation of the structure or activity will not adversely affect any species which is endangered, threatened, or of special concern, as listed in Rules 68A-27.003, 68A-27.004, and 68A-27.005, F.A.C.
6. Structures or activities will not unreasonably interfere with riparian rights. When a court of competent jurisdiction determines that riparian rights have been unlawfully affected, the structure or activity will be modified in accordance with the court's decision.
7. Structures or activities will not create a navigational hazard.
8. Structures will be maintained in a functional condition and will be repaired or removed if they become dilapidated to such an extent that they are no longer functional.
9. Structures or activities will be constructed, operated, and maintained solely for water dependent purposes.
10. The applicant agrees to indemnify, defend and hold harmless the Board of Trustees and the State of Florida from all claims, actions, lawsuits and demands in any form arising out of the authorization to use sovereignty submerged lands or the applicant's use and construction of structures on sovereignty submerged lands. This duty to indemnify and hold harmless will include any and all liabilities that are associated with the structure or activity including special assessments or taxes that are now or in the future assessed against the structure or activity during the period of the authorization.



11. Failure by the Board of Trustees to enforce any violation of a provision of the authorization or waiver by the Board of Trustees of any provision of the authorization will not invalidate the provision not enforced or waived, nor will the failure to enforce or a waiver prevent the Board of Trustees from enforcing the unenforced or waived provision in the event of a violation of that provision.

12. Applicant binds itself and its successors and assigns to abide by the provisions and conditions set forth in the authorization. If the applicant or its successors or assigns fails or refuses to comply with the provisions and conditions of the authorization, the authorization may be terminated by the Board of Trustees after written notice to the applicant or its successors or assigns. Upon receipt of such notice, the applicant or its successors or assigns will have thirty (30) days in which to correct the violations. Failure to correct the violations within this period will result in the automatic revocation of this authorization.

13. All costs incurred by the Board of Trustees in enforcing the terms and conditions of the authorization will be paid by the applicant. Any notice required by law will be made by certified mail at the address shown on page one of the authorization. The applicant will notify the Board of Trustees in writing of any change of address at least ten days before the change becomes effective.

14. This authorization does not allow any activity prohibited in a conservation easement or restrictive covenant that prohibits the activity.

### **General Conditions for Federal Authorization for SPGP V**

1. The time limit for completing the work authorized ends on July 26, 2021.
2. You must maintain the activity authorized by this permit in good condition and in conformance with the terms and conditions of this permit. You are not relieved of this requirement if you abandon the permitted activity, although you may make a good faith transfer to a third party in compliance with General Condition 4 below. Should you wish to cease to maintain the authorized activity or should you desire to abandon it without a good faith transfer, you must obtain a modification of this permit from this office, which may require restoration of the area.
3. If you discover any previously unknown historic or archeological remains while accomplishing the activity authorized by this permit, you must immediately notify this office of what you have found. We will initiate the Federal and State coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.
4. If you sell the property associated with this permit, you must obtain the signature of the new owner on the enclosed form and forward a copy of the permit to this office to validate the transfer of this authorization.
5. If a conditioned water quality certification has been issued for your project, you must comply with the conditions specified in the certification as special conditions to this permit.
6. You must allow representatives from this office to inspect the authorized activity at any time deemed necessary to ensure that it is being or has been accomplished in accordance with the terms and conditions of your permit.

#### **Further Information:**

1. Limits of this authorization.
  - a. This permit does not obviate the need to obtain other Federal, State, or local authorizations required by law.
  - b. This permit does not grant any property rights or exclusive privileges.
  - c. This permit does not authorize any injury to the property or rights of others.
  - d. This permit does not authorize interference with any existing or proposed Federal projects.
2. Limits of Federal Liability. In issuing this permit, the Federal Government does not assume any liability for the following:
  - a. Damages to the permitted project or uses thereof as a result of other permitted or unpermitted activities or from natural causes.
  - b. Damages to the permitted project or uses thereof as a result of current or future activities undertaken by or on behalf of the United States in the public interest.
  - c. Damages to persons, property, or to other permitted or unpermitted activities or

- structures caused by the activity authorized by this permit.
- d. Design or Construction deficiencies associated with the permitted work.
  - e. Damage claims associated with any future modification, suspension, or revocation of this permit.
3. Reliance on Applicant's Data: The determination of this office that issuance of this permit is not contrary to the public interest was made in reliance on the information you provided.
  4. Reevaluation of Permit Decision: This office may reevaluate its decision on this permit at any time the circumstances warrant. Circumstances that could require a reevaluation include, but are not limited to, the following:
    - a. You fail to comply with the terms and conditions of this permit.
    - b. The information provided by you in support of your permit application proves to have been false, incomplete, or inaccurate (see 3 above).
    - c. Significant new information surfaces which this office did not consider in reaching the original public interest decision.
  5. Such a reevaluation may result in a determination that it is appropriate to use the suspension, modification, and revocation procedures contained in 33 CFR 325.7 or enforcement procedures such as those contained in 33 CFR 326.4 and 326.5. The referenced enforcement procedures provide for the issuance of an administrative order requiring you comply with the terms and conditions of your permit and for the initiation of legal action where appropriate. You will be required to pay for any corrective measures ordered by this office, and if you fail to comply with such directive, this office may in certain situations (such as those specified in 33 CER 209.170) accomplish the corrective measures by contract or otherwise and bill you for the cost.
  6. When the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new owner(s) of the property. To validate the transfer of this permit and the associated liabilities associated with compliance with its terms and conditions, have the transferee sign and date the enclosed form.
  7. The Permittee understands and agrees that, if future operations by the United States require the removal, relocation, or other alteration, of the structures or work herein authorized, or if, in the opinion of the Secretary of the Army or his authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the Permittee will be required, upon due notice from the U.S. Army Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal, relocation or alteration.



### **Special Conditions Related to All Review and Authorizations**

In addition to the conditions specified above, the following Special Conditions apply to all projects reviewed and/or authorized under the SPGP V.

1. The District Engineer reserves the right to require that any request for authorization under this SPGP V be evaluated as an Individual Permit. Conformance with the terms and conditions of the SPGP V does not automatically guarantee Federal authorization.
2. On a case-by-case basis the Corps may impose additional Special Conditions which are deemed necessary to minimize adverse environmental impacts.
3. Failure to comply with all conditions of the Federal authorizations under the SPGP V would constitute a violation of the Federal authorization.
4. No structure or work shall adversely affect or disturb properties listed in the National Register of Historic Places or those eligible for inclusion in the National Register. Prior to the start of work, the Applicant/Permittee or other party on the Applicant's/Permittee's behalf, shall conduct a search of known historical properties by contracting a professional archaeologist, and contacting the Florida Master Site File at 850-245-6440 or [SiteFile@dos.state.fl.us](mailto:SiteFile@dos.state.fl.us). The Applicant/Permittee can also research sites in the National Register Information System (NRIS). Information can be found at <http://www.cr.nps.gov/nr/research>.
  - a. If, during the initial ground disturbing activities and construction work, there are archaeological/cultural materials unearthed (which shall include, but not be limited to: pottery, modified shell, flora, fauna, human remains, ceramics, stone tools or metal implements, dugout canoes or any other physical remains that could be associated with Native American cultures or early colonial or American settlement), the Permittee shall immediately stop all work in the vicinity and notify the Compliance and Review staff of the State Historic Preservation Office at 850-245-6333 and the Corps Regulatory Project Manager to assess the significance of the discovery and devise appropriate actions, including salvage operations. Based on the circumstances of the discovery, equity to all parties, and considerations of the public interest, the Corps may modify, suspend or revoke the permit in accordance with 33 CFR Part 325.7.
  - b. In the unlikely event that human remains are identified, they will be treated in accordance with Section 872.05, Florida Statutes; all work in the vicinity shall immediately cease and the local law authority, the State Archaeologist (850-245-6444), and the Corps Regulatory Project Manager shall immediately be notified. Such activity shall not resume unless specifically authorized by the State Archaeologist and the Corps.
5. No work shall be authorized under the SPGP V which proposes the use of prefabricated modules for habitat creation, restoration, or enhancement except as allowed in Special Condition 17 for *Living Shorelines* of the *Shoreline Stabilization* category.
6. The Design and construction of a Project must comply with the following.
  - a. Where aquatic vegetation is present, adverse impacts to aquatic vegetation from construction of piling-supported structures may be avoided/minimized by adherence to, or employing alternative construction techniques that provide a higher level of protection than, the



protective criteria in the joint U.S. Army Corps of Engineers'/National Marine Fisheries Service's "*Construction Guidelines in Florida for Minor Piling-Supported Structures Constructed in or over Submerged Aquatic Vegetation (SAV), Marsh or Mangrove Habitat*," U.S. Army Corps of Engineers/National Marine Fisheries Service August 2001 (updated June 2008). Unless otherwise specifically approved by the National Marine Fisheries Service, where aquatic vegetation is present, piling-supported structures authorized under the SPGP V must comply with, or provide a higher level of protection than, the criteria contained in the referenced construction guidelines. Mangrove impacts are limited to the removal of mangroves along 4 linear feet of shoreline to accommodate a 4-ft-wide access walkway associated with a dock that meets the above guidelines.

b. Additionally, because of concerns about adverse impacts to the endangered Johnson's seagrass (*Halophila johnsonii*) in the lagoon and canal systems on Florida's east coast from Sebastian Inlet (Brevard County) south to and including central Biscayne Bay (Miami-Dade County), the following requirements must be met:

(1) Piling-supported structures must comply with, or provide a higher level of protection than, the criteria contained in the construction guidelines titled "*Key for Construction Conditions for Docks or Other Minor Structures Constructed in or Over Johnson's seagrass (Halophila johnsonii)*," National Marine Fisheries Service/U.S. Army Corps of Engineers – February 2002 (updated October 2002).

(2) Removal of derelict vessels must comply with the practices of Special Condition 19.

(3) All other activities will have no effect on Johnson's seagrass, i.e., no seagrass is present.

c. The presence of seagrass will be determined utilizing the attached "*Submerged Aquatic Vegetation Survey Guidelines*."

7. For projects in waters accessible to sea turtles, Smalltooth sawfish, Gulf sturgeon, or Shortnose sturgeon, the Permittee will utilize the "*Sea Turtle and Smalltooth Sawfish Construction Conditions*" and the following additions:

a. Any collision(s) with and/or injuries to any whale, or sturgeon occurring during the construction of a project, shall be reported immediately to NMFS's Protected Resources Division (PRD) at (727-824-5312).

b. Reports to NMFS's Protected Resources Division (PRD) may be made by email to [takereport.nmfsser@noaa.gov](mailto:takereport.nmfsser@noaa.gov).

c. Sea turtle and marine mammal stranding/rescue organizations' contact information is available by region at <http://www.nmfs.noaa.gov/pr/health/networks.htm>.

d. Smalltooth sawfish encounters shall be reported to <http://www.flmnh.ufl.edu/fish/sharks/sawfish/sawfishencounters.html>.

e. All work must occur during daylight hours.

8. The Permittee is responsible for obtaining any "take" permits required under the U.S. Fish and Wildlife Service's regulations governing compliance with the Migratory Bird Treaty Act or the Bald and Golden Eagle Protection Act. The Permittee should contact the appropriate local office of the U.S. Fish and Wildlife Service to determine if such "take" permits are required for a particular activity.

9. The Permittee is responsible for compliance with 50 CFR 224.103(c) prohibiting approach within 500 yards of a right whale, with limited exceptions.

10. Turbidity control measures shall be used throughout construction to control erosion and siltation to ensure there are no violations of state or federal water quality standards. Turbidity control measures shall be: (1) for the smallest practicable area; (2) monitored daily to ensure listed species are not entangled or trapped in the project area; (3) shall be removed promptly upon project completion and the return of water quality conditions; (4) and shall not block entry to or exit from designated critical habitat. Siltation barriers shall be made of material in which listed species cannot become entangled (i.e., reinforced impermeable polycarbonate vinyl fabric [PVC]).

a. Turbidity curtains are not required where not practical in dynamic systems such as surf zones and could actually do more harm than good if the curtains become detached (e.g., they could entrap pelagic organisms and become entangled around benthic organisms, such as coral).

b. Turbidity barriers are not required if installation of single piling in deep water since is unlikely to adversely affect water quality.

11. In-water rope or chain must meet the following requirements: Industrial grade metal chains or heavy cables that do not readily loop and tangle; All in-water lines (rope and cable) must be thick and taut and cannot have excess line in the water; Lines can be enclosed in a plastic or rubber sleeve/tube to add rigidity.

12. No work shall occur where hard bottom or any hard or coral including ESA-listed coral species are present within the footprint of the project.

13. No work shall occur that results in removal of mangroves (including prop roots), except:

a. as provided by Special Condition 6.a.; or,

b. for removal of mangroves growing at the foot or from an existing seawall whose removal needed to repair the seawall.

14. No work shall occur that results in impacts to seagrass except as provided by Special Condition 6.

15. (For *Docks, Piers, Associated Facilities, and Other Minor Piling-Supported Structures and Boat Ramps and Boat Launch Areas and Structures Associated with Such Ramps or Launch Areas.*)

a. Aids to Navigation and Private Aids to Navigation (e.g., attached to the structures authorized by the SPGP) must be approved by and installed in accordance with U.S. Coast Guard requirements.

b. Temporary structures associated with marine events will be removed and the site restored upon completion of the event.

c. (For *multi-family residential docks (e.g., condos, trailer parks, apartment complexes) designated for fishing or vessel storage, for temporary marine event pile-supported structures involving high speed vessel traffic or fishing, and for commercial or public boat ramps.*) Install educational signs as follows in a visible location to alert boaters of listed species in the area susceptible to vessel strikes or hook-and-line captures. NMFS website



([http://sero.nmfs.noaa.gov/protected\\_resources/section\\_7/protected\\_species\\_educational\\_signs/index.html](http://sero.nmfs.noaa.gov/protected_resources/section_7/protected_species_educational_signs/index.html)) provides sign installation guidance and most current version of the signs.

(1) All commercial and public boat ramps shall install the Save Sea Turtle, Sawfish, and Dolphin sign.

(2) If the Project occurs within the range of Gulf, Atlantic, or Shortnose sturgeon, the Permittee will install and maintain the *Report Sturgeon* sign.

(3) If the Project occurs within 14 miles of North Atlantic Right Whale critical habitat, the Permittee will install and maintain the *Help Protect North Atlantic Right Whales* sign.

d. Project construction will take place from uplands or from floating equipment (e.g., barge); prop or wheel-washing is prohibited.

16. (For *Transient activities*.)

a. Temporary structures shall not block access of species to an area such as preventing movement in or out of a river or channel.

b. (For *scientific sampling, measurement, and monitoring devices*.) No later than 24 months from initial installation, or upon completion of data acquisition, whichever comes first, the measuring device and any other structure or fills associated with that device (e.g., anchors, buoys, lines) must be removed and the site must be restored to pre-construction elevations.

17. (For *Living Shorelines* of the *Shoreline Stabilization* category.)

a. Only native plant species will be planted.

b. Not more than 500 linear feet in length, not more than 35 ft waterward of the high tide line (note that FAC 62-330 limits to 10 feet of the mean high water line) or result in more than 0.5 ac area between the natural shoreline and the structure.

c. No discharge of earthen fill material, other than earthen material associated with vegetative planting, is not authorized.

d. Construction, maintenance, and removal of approved permanent, shore-parallel wave attenuation structures are authorized. Approved permanent wave attenuation materials include oyster breakwaters (described below), clean limestone boulders, and prefabricated structures made of concrete and rebar that are designed in a manner that cannot trap sea turtles, Smalltooth sawfish, or sturgeon. Reef balls that are not open on the bottom, triangle structures with a top opening of at least 3 feet between structures, and reef discs stacked on a pile may be used.

e. (For oyster breakwaters.)

(1) Reef materials shall be placed in a manner to ensure that materials (e.g., bagged oyster shell, oyster mats, loose cultch surrounded and contained by a stabilizing feature, reef balls, and reef cradles) will remain stable and prevent movement of materials to surrounding areas.

(2) Materials must be placed in designated locations (i.e., shall not be indiscriminately/randomly dumped) and shall not be placed outside of the total project limits.

18. (For *Subaqueous Utility Lines* of the *Transient Activities* category.)

a. A Frac-out Contingency Plan similar to the attached plan will be developed, submitted with the application and then followed.

b. All subaqueous transmission lines crossing over, under, or in flood control channels/canals in Federal projects (either federally or locally maintained) which are installed with horizontal direction drilling (HDD) shall comply with the following:

(1) The project shall ensure the top of the HDD boring is a minimum of 10 feet beneath the bottom of the channel including a minimum 25 feet outside the channel edges and the estimated total drilling fluid pressure is less than 10 psi.

(2) Construction of directional boring vaults, junction boxes, and/or pads are not allowed within 25 feet of the top of the bank of any federal project.

(3) Projects not in compliance with these criteria shall not be eligible for authorization under SPGP V.

(4) Any activity within a Federal right-of-way shall require the Permittee to enter into a consent-to-easement with the Real Estate Division, U.S. Army Corps of Engineers, Jacksonville or Mobile District, as appropriate, prior to the commencement of any construction activity.

(5) The Permittee shall, upon completion of work, provide an as-built survey showing the horizontal and vertical location (X-Y-Z coordinates in NAD 83 and NAVD 88) of the object below the channel as it enters and exits the design edges of the authorized width of the channel, plus a minimum of 25 feet outside the channel edges.

c. Where the proposed subaqueous utility or transmission line is to be installed in navigable waters of the United States, at least 2 weeks prior to the start of the authorized work, the permittee must notify the National Oceanic and Atmospheric Administration (NOAA) and the Corps in writing that the work is commencing; and, again, upon completion of the work. The permittee shall notify the District Engineer in writing at the letterhead address, attention Regulatory Division; and, the NOAA, either in mailed correspondence to Nautical Data Branch Office of Coast Survey N/CS26, 1315 East-West Highway, Silver Spring, MD 20910-3282 or by electronic mail correspondence, with scans of the requisite documents attached, through [osc.ndb@noaa.gov](mailto:osc.ndb@noaa.gov) and [spgp@usace.army.mil](mailto:spgp@usace.army.mil). The postconstruction notification will include "as-built plans," signed and sealed by a registered surveyor/engineer licensed in the State of Florida, that certify the project is constructed as authorized; and must include an accurate depiction of the location and configuration of the completed activity in relation to the mean high water of the navigable water.

19. (For *Removal of Derelict Vessels* of the *Transient Activities* category.)

a. Removal of marine debris shall require visual confirmation (e.g., divers, swimmers, camera) that the item can be removed without causing further damage to aquatic resources.

b. If an item cannot be removed without causing harm to surrounding coral, the item will be disassembled as much as practicable so that it no longer can accidentally harm or trap species.

c. Monofilament debris will be carefully cut loose from coral so as not to cause further harm. Under no circumstance will line be pulled through coral since this could cause breakage of coral.

d. Marine debris shall be lifted straight up and not be dragged through seagrass beds, coral, or hard bottom habitats. Debris shall be properly disposed of in appropriate facilities in accordance with applicable federal and state requirements.

20. For concrete piles installed by impact hammer:

a. The piles will be less than or equal to than 24 inches in diameter; and

b. Not more than 10 piles will be installed per day if in open water; or,

c. Not more than 5 piles will be installed per day in a *confined space*. A *confined space* is defined as any area that has a solid object (e.g., shoreline, seawall, jetty) or structure within



150 feet of the pile installation site that would effectively serve as a barrier or otherwise prevent animals from moving past it to exit the area. This does not include objects such as docks or other pile-supported structures that would not stop animal movement or significantly reflect noise.

21. Metal piles will NOT be installed by impact hammer.

22. Projects within the boundary of the NOAA Florida Keys National Marine Sanctuary require prior approval from the Sanctuary.

23. The Permittee shall use only clean fill material. The fill material shall be upland sources and be free of items such as trash, debris, automotive parts, asphalt, construction materials, concrete block with exposed reinforcement bars, and soils contaminated with any toxic substance, in toxic amounts in accordance with Section 307 of the Clean Water Act.

24. No blasting is authorized.

25. For Projects authorized under this SPGP V in navigable waters of the U.S., the Permittee understands and agrees that, if future operations by the United States require the removal, relocation, or other alteration, of the structures or work herein authorized, or if, in the opinion of the Secretary of the Army or his authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the Permittee will be required, upon due notice from the Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal or alteration.

26. The SPGP V will be valid for five (5) years from the date of issuance unless suspended or revoked by issuance of a public notice by the District Engineer. The Corps, in conjunction with the Federal resource agencies, will conduct periodic reviews to ensure that continuation of the permit during the five-year authorization period is not contrary to the public interest. If revocation occurs, all future applications for activities covered by the SPGP V will be evaluated by the Corps.

27. If the SPGP V expires or is revoked prior to completion of the authorized work, authorization of activities which have commenced or are under contract to commence in reliance upon the SPGP V will remain in effect provided the activity is completed within twelve (12) months of the date the SPGP V expired or was revoked.

28. The General Conditions attached hereto are made a part of this SPGP V and must be attached to all authorizations processed under this SPGP V.

Department of the Army Permit Transfer for SPGP V

PERMITEE: \_\_\_\_\_

PERMIT NUMBER: \_\_\_\_\_ DATE: \_\_\_\_\_

ADDRESS/LOCATION OF PROJECT:

\_\_\_\_\_

\_\_\_\_\_  
(Subdivision) (Lot) (Block)

When the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new owner(s) of the property. Although the construction period for works authorized by Department of the Army permits is finite, the permit itself, with its limitations, does not expire.

To validate the transfer of this permit and the associated responsibilities associated with compliance with its terms and conditions, have the transferee sign and date below and mail to the U.S. Army Corps of Engineers, Enforcement Branch, Post Office Box 4970, Jacksonville, FL 32232-0019.

\_\_\_\_\_  
(Transferee Signature) (Date)

\_\_\_\_\_  
(Name Printed)

\_\_\_\_\_  
(Street address)

\_\_\_\_\_  
(Mailing address)

\_\_\_\_\_  
(City, State, Zip Code)





A-

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

PO BOX 385, APALACHICOLA FLORIDA 32329-0385

(850) 653-8899

FAX (850) 653-9656

garlick@garlickenv.com

7415

APPLICANT/CLIENT: Robert Kirby

WATERBODY/CLASS: Alligator Harbor / ClassII / OFW / AP

PURPOSE: Environmental Permitting

PROJECT LOCATION / USGS: Alligator Point / Franklin County

LATITUDE:

LONGITUDE:

SECTION: 2 TWSHP: 7 South

RNG: 2 West

JOB: 18-113

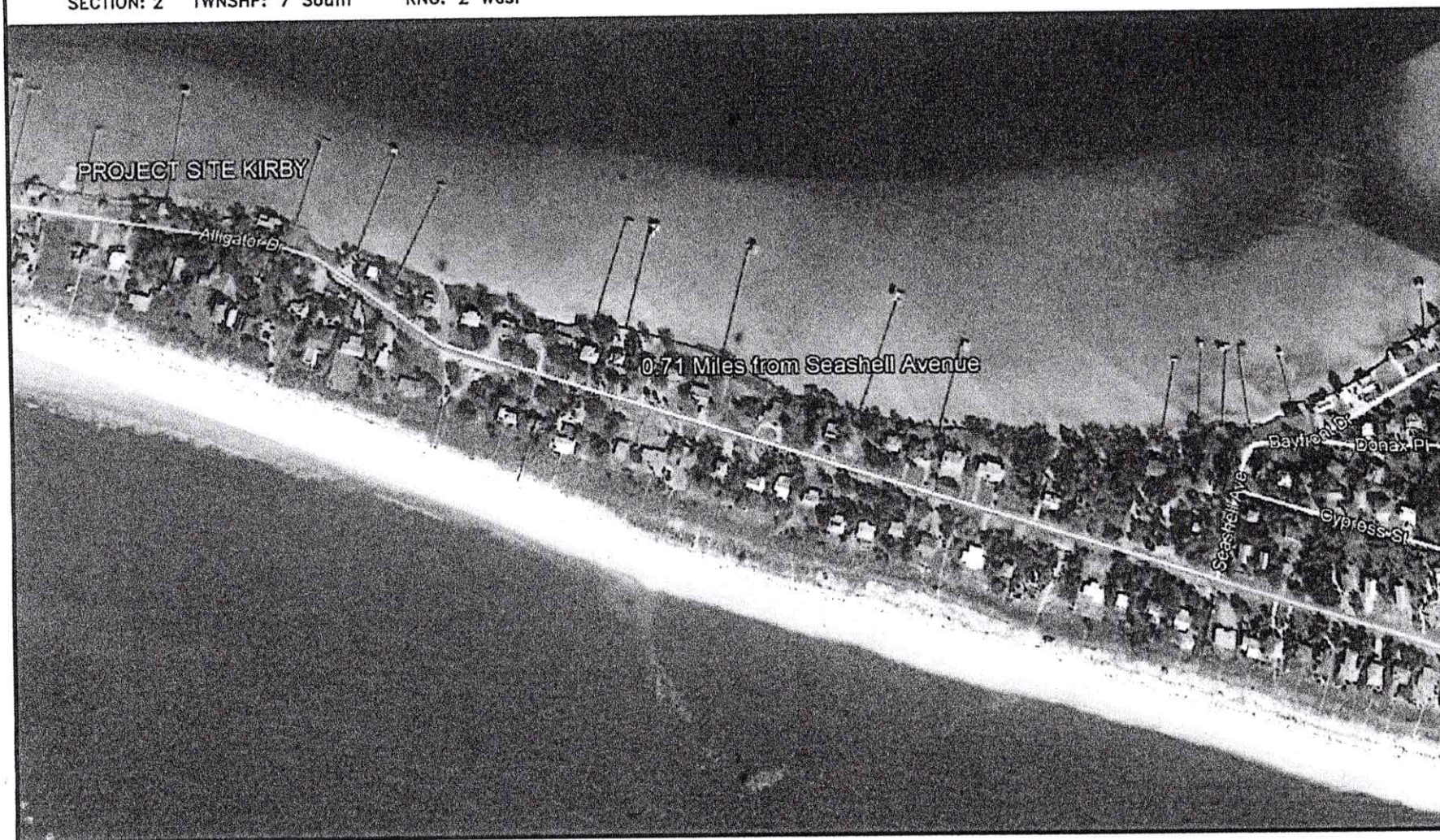
DEP:

COE:

OTHER:

DATE: October 2, 2018

SHEET: 1/4





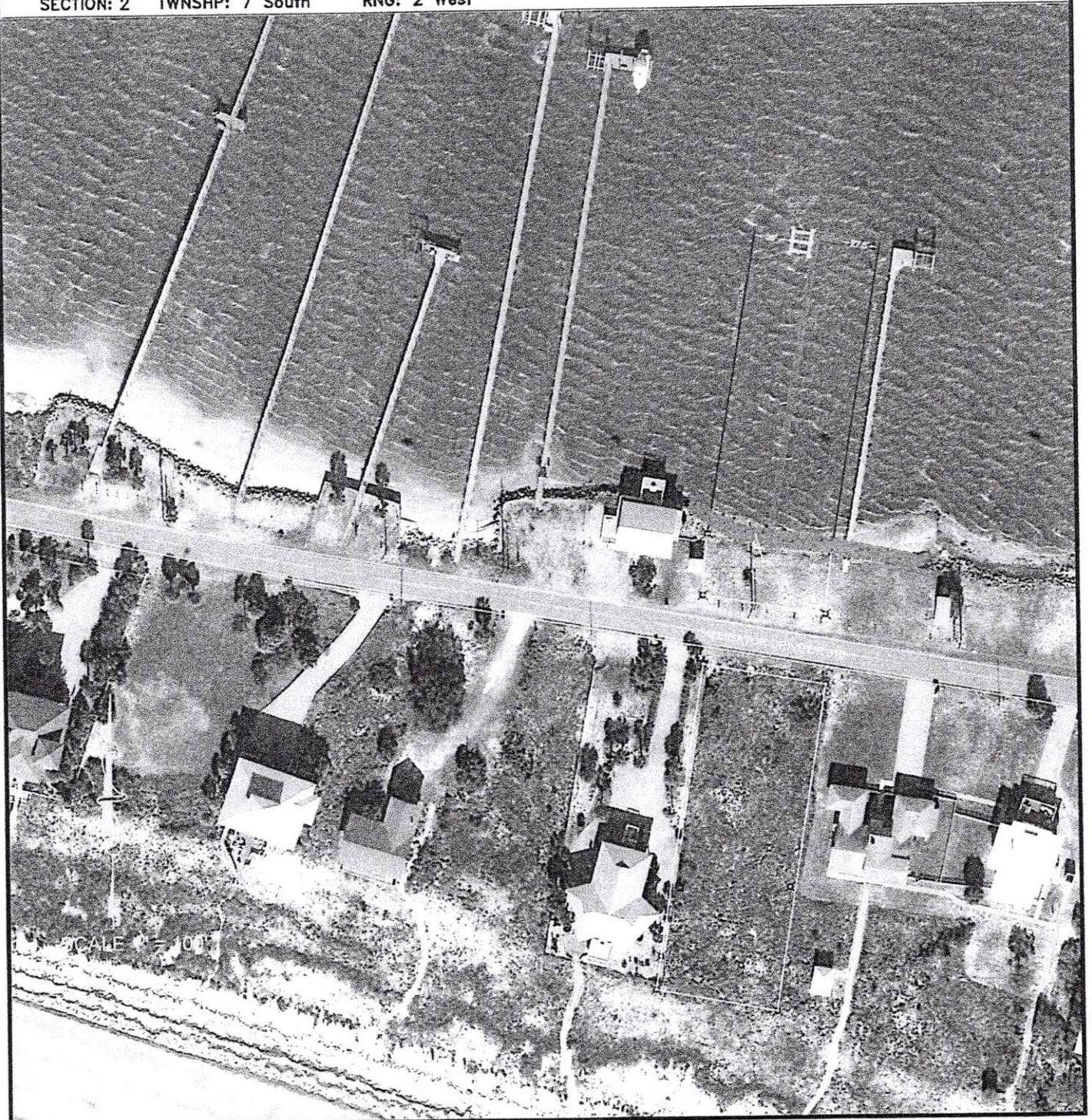


## PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

APPLICANT/CLIENT: Robert Kirby  
WATERBODY/CLASS: Alligator Harbor / ClassII / OFW / AP  
PURPOSE: Environmental Permitting  
PROJECT LOCATION / USGS: Alligator Point / Franklin County  
LATITUDE:  
LONGITUDE:

JOB: 18-113  
DEP:  
COE:  
OTHER:  
DATE: October 2, 2018  
SHEET: 2/4

SECTION: 2 TOWNSHIP: 7 South RANG: 2 West





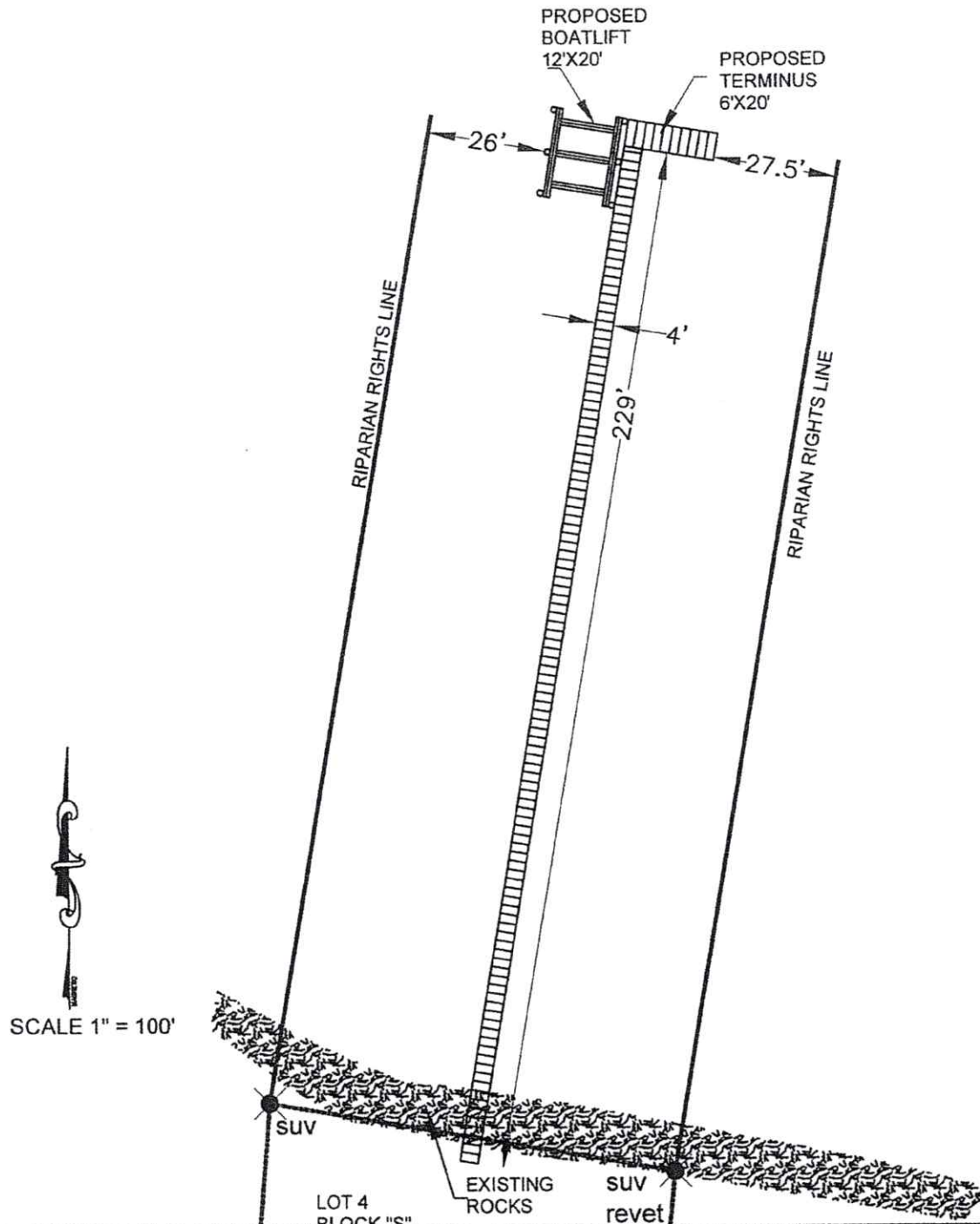


PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

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 LATITUDE:  
 LONGITUDE:

JOB: 18-113  
 DEP:  
 COE:  
 OTHER:  
 DATE: October 2, 2018  
 SHEET: 3/4

SECTION: 2 TWSHP: 7 South RNG: 2 West





A-

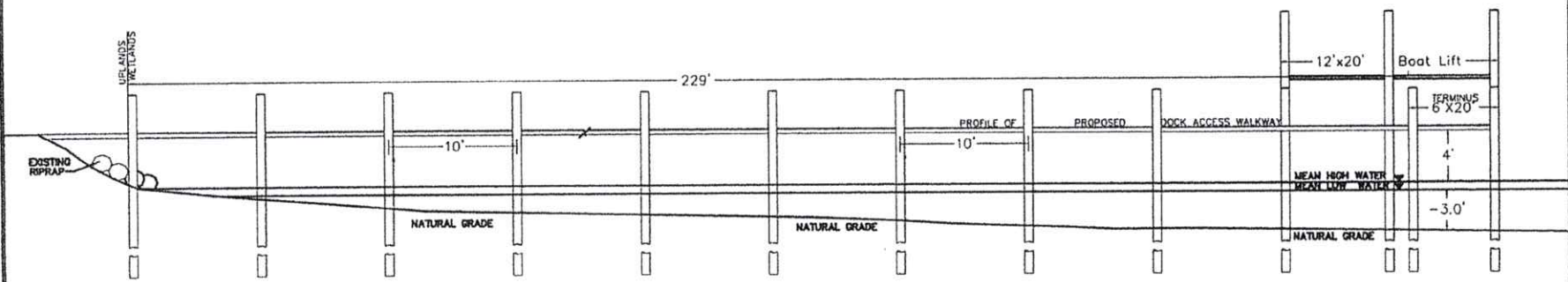
PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.  
BOX 385, APALACHICOLA FLORIDA 32329-0385 (850) 653-8899 FAX (850) 653-9656 garlick@garlickenv.com



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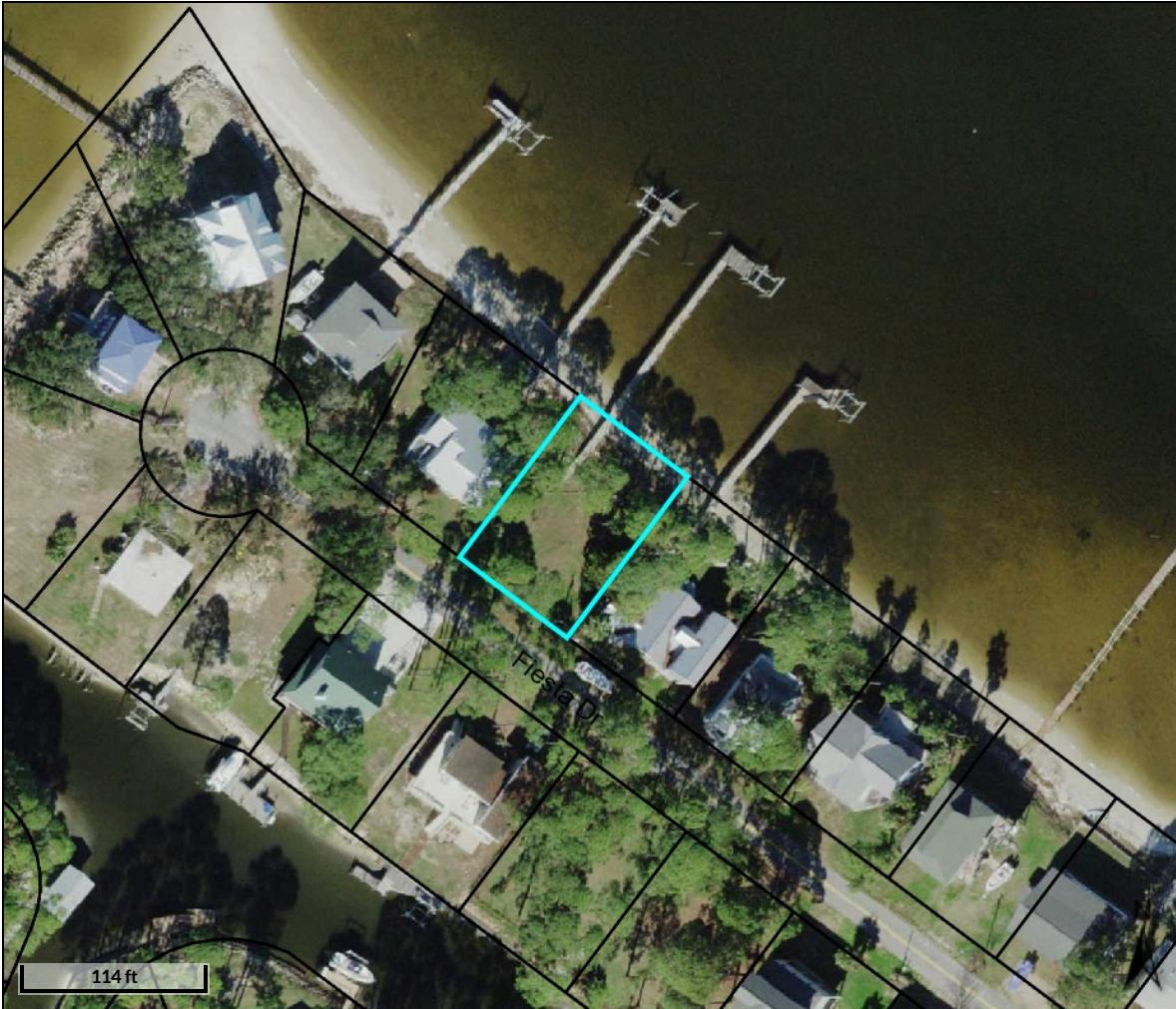
JOB: 18-113  
DEP:  
COE:  
OTHER:  
DATE: October 2, 2018  
SHEET: 4/4

CROSS SECTION  
OF PROPOSED DOCK  
Not To Scale

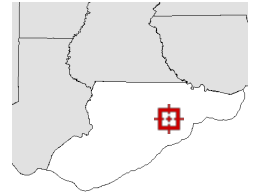


These drawings





Overview



Legend

- Parcels
- Roads
- City Labels

Parcel ID	01-07S-02W-1031-0000-0800	Alternate ID	02W07S01103100000800	Owner Address	TCB VENTURES,FL,LLC
Sec/Twp/Rng	1-7S-2W	Class	VACANT		14945 FISHER ROAD
Property Address	71 FIESTA DR	Acreage	0.268		FAYETTEVILLE, AR 72701
District	7				
Brief Tax Description	UNIT 1 LOT 80 HOLIDAY BCH				
	(Note: Not to be used on legal documents)				

Date created: 3/3/2021  
Last Data Uploaded: 3/3/2021 7:41:34 AM

Developed by Schneider  
GEOSPATIAL

**DOCK PERMIT APPLICATION****FRANKLIN COUNTY BUILDING DEPARTMENT**

34 Forbes Street, Suite 1, Apalachicola, Florida 32320

Phone: 850-653-9783 Fax: 850-653-9799

[http://www.franklincountvflorida.com/planning\\_building.aspx](http://www.franklincountvflorida.com/planning_building.aspx)

PERMIT # \_\_\_\_\_

FEE: \$ \_\_\_\_\_

C.S.I : \$ \_\_\_\_\_

TOTAL: \$ \_\_\_\_\_

**NOTE TO APPLICANTS AND PERMIT HOLDERS:**

**VIOLATIONS OF THE TERMS AND CONDITIONS OF THIS PERMIT MAY WARRANT A STOP WORK ORDER OR REVOCATION OF THIS PERMIT. THIS PERMIT IS VALID FOR ONE YEAR FROM THE DATE OF ISSUANCE. CONSTRUCTION MUST COMMENCE WITHIN SIX MONTHS OF THIS DATE:**

ISSUANCE DATE: \_\_\_\_\_ EXPIRES: \_\_\_\_\_

**EXISTING HOUSE:** ☐ Yes ☐ No**DEP PERMIT:** ☐ Yes ☐ No**ARMY COE PERMIT:** ☐ Yes ☐ No**APPROVED:** ☐ Yes ☐ No**APPLICATION MUST BE COMPLETE:**Property Owner/s: TCB VENTURES, FL LLC (Travis Fink)

Contact Information: Home #: \_\_\_\_\_ Cell #: \_\_\_\_\_

Mailing Address: 14945 Fisher Rd City/State/Zip: Fayetteville, AR 72701

EMAIL Address: \_\_\_\_\_ @ \_\_\_\_\_

Contractor Name: Reid Hicks Business Name: Better Built DocksContact Information: Office #: 850.519.7396 Cell #: 850.899.5313State License #: \_\_\_\_\_ County Registration #: 1429Mailing Address: 1208 NW 3rd ST City/State/Zip: Carrabelle, FLEMAIL Address: betterbuilt docks @ aol.com**PROPERTY DESCRIPTION:** 911 Address: 71 FIESTA DRLot/s: 80 Block: \_\_\_\_\_ Subdivision: Holiday Beach Unit: 1Parcel Identification #: 01.075.02W.1031.0000.0800**JURISDICTION:** ☐ Franklin County ☐ City of Carrabelle  
☐ Apalachicola ☐ Eastpoint ☐ St. George Island ☐ Carrabelle ☐ Dog Island ☐ Lanark/ St. James ☐ St. Teresa ☒ Alligator Point☐ SINGLE FAMILY DOCK/PIER ☐ MULTI-FAMILY DOCK/PIER ☐ COMMERCIAL**DESCRIPTION:** CONSTRUCT ROOF OVER EXISTING  
BOATLIFT. REDESIGN EXISTING TERMINUSZONING DISTRICT: \_\_\_\_\_ CONTRACT COST: \$ 7,500.00

TOTAL SQUARE FOOT: \_\_\_\_\_ FOUNDATION TYPE: \_\_\_\_\_

ROOF MATERIAL: \_\_\_\_\_

**APPROVED BY:** ☐ Planning & Zoning Date: \_\_\_\_\_ ☐ County Commissioners Date: \_\_\_\_\_

WATER BODY: \_\_\_\_\_

CRITICAL SHORELINE DISTRICT ☐ YES OR ☐ NO CRITICAL HABITAT ZONE ☐ YES OR ☐ NO

BUILDING OFFICIAL \_\_\_\_\_ Date \_\_\_\_\_

OWNER (Required) \_\_\_\_\_ Date \_\_\_\_\_

CONTRACTOR (Required) Reid Hicks Date \_\_\_\_\_**RECEIVED**  
FEB 08 2020

BY: \_\_\_\_\_



# NOTICE OF COMMENCEMENT

Space Reserved For Recording:

B-

Inst: 202119000664 Date: 02/08/2021 Time: 11:15AM  
Page 1 of 1 B: 1289 P: 200. Michele Maxwell,  
Clerk of Court Franklin County, By: SM  
Deputy Clerk

PERMIT #

PARCEL ID #

01-075-02W-1031-0000-0800

STATE OF FLORIDA, COUNTY OF FRANKLIN

The **UNDERSIGNED** hereby gives notice that improvements will be made to certain real property, an in accordance with Chapter 713, Florida Statutes, the following information is provided in the Notice of Commencement.

**LEGAL DESCRIPTION OF PROPERTY:** (Include Street Address)

71 FIESTA DR ALLIGATOR POINT, FL.  
UNIT 1 LOT 80 Holiday Beach

**General Description of Improvements:**

**Owner Information or Lessee Information Contracted For The Improvements:**

Name: TCB VENTURES, LLC

Phone Number:

Address: 14945 Fisher Rd Fayetteville, AR 72701

**Owner's Interest In Site Of The Improvement:**

Name & Address Of Fee Simple Titleholder:

(If Different From Owner Listed Above):

BETTER BUILT DOCKS

Contractor's Name: Reid Hicks

Phone Number:

850-899-5313

Address: 1208 NW 3RD ST CARRABELLE, FL 32322

**Surety: (If Applicable, A Copy Of The Payment Bond Is Attached):**

Name & Address:

Amount: \$

**Lender Name:**

Phone Number:

Address:

**PERSONS WITH IN THE STATE OF FLORIDA DESIGNATED BY THE OWNER UPON WHOM NOTICES OR OTHER DOCUMENTS MAY BE SERVED AS PROVIDED FOR BY FLORIDA STATUTE 713.13(1) (A) 7.**

NAME:

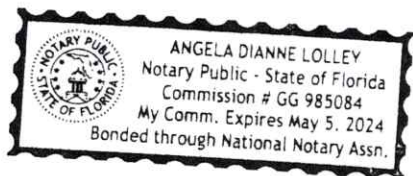
ADDRESS:

**IN ADDITION TO HIMSELF OR HERSELF, OWNER DESIGNATES THE FOLLOWING PERSON(S) TO RECEIVE A COPY OF THE LEINOR'S NOTICE AS PROVIDED IN SECTION 713.13 (1)(B) FLORIDA STATUTES:**

**EXPIRATION DATE OF NOTICE OF COMMENCEMENT (THE EXPIRATION DATE IS ONE (1) YEAR FROM THE DAT OF RECORDING UNLESS A DIFFERENT DATE IS SPECIFIED.)**

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOBSITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

**NOTARY SEAL:**



**Owner/Agent Signature:**

**Printed Name:**

Michele Hill  
MICHELLE HICKS

**Sworn to me this**

8

**day of**

Feb

**In the year of 20**

21

**Notary Signature:**

**Printed Name:**

Angela D. Lolley  
Angela D. Lolley



B-



qPublic.net™

Franklin County, FL

Parcel ID 01-07S-02W-1031-0000-0800  
 Location Address 71 FIESTA DR  
 32346  
 Brief Tax Description\* **UNIT 1 LOT 80 HOLIDAY BCH** OR 273/225 615/216 644/463 644/463 760/312 765/253 799/363 1168/126 1168/128 1216/518  
 \*The Description above is not to be used on legal documents.  
 Property Use Code VACANT (000000)  
 Sec/Twp/Rng 1-7S-2W  
 Tax District Alligator Point (District 7)  
 Millage Rate 13.022  
 Acreage 0.268  
 Homestead N

[View Map](#)

Primary Owner  
 Tcb Ventures,FL,LLC  
 14945 Fisher Road  
 Fayetteville, AR 72701

### Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000121	BAY FRONT	11,700.00	SF	90	130

### Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
	BOAT LIFT	1	0 x 0 x 0	1	UT	2003
	TERMINUS	1	0 x 0 x 0	200	SF	2003
	DOCK W/ROPE RAILS	1	0 x 0 x 0	616	SF	2000
	WD WALK	1	0 x 0 x 0	36	SF	2000

### Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	04/06/2018	\$165,000	WD	1216	518	Qualified (Q)	Improved	BROOKS	TCB VENTURES,FL LLC
N	04/28/2016	\$100	QC	1168	128	Unqualified (U)	Vacant	BROOKS/DELEON	BROOKS
N	04/28/2016	\$100	PR	1168	126	Unqualified (U)	Vacant	BROOKS	BROOKS/DELEON
N	07/07/2004	\$525,000	WD	799	363	Qualified (Q)	Vacant	WILEY	BROOKS
N	11/24/2003	\$100	WD	765	253	Unqualified (U)	Vacant	PRINCETON	WILEY
N	10/16/2003	\$100	WD	760	312	Unqualified (U)	Vacant	EDWARDS	PRINCETON
N	07/27/2000	\$100,000	WD	644	463	Unqualified (U)	Vacant	RASMUSSEN	EDWARDS
N	04/08/1999	\$62,500	WD	615	216	Unqualified (U)	Vacant	MOONEY PAUL F & PALMLEAF	RASMUSSEN JAY & LORRIE
N	05/04/1988	\$19,550	WD	273	225	Qualified (Q)	Vacant	SABOURIN	MOONEY

### Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$22,218	\$22,218	\$7,047	\$7,047	\$7,047
Land Value	\$93,600	\$117,000	\$76,800	\$76,800	\$67,200
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$115,818	\$139,218	\$83,847	\$83,847	\$74,247
Assessed Value	\$115,818	\$139,218	\$82,851	\$75,319	\$68,472
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$115,818	\$139,218	\$82,851	\$75,319	\$68,472
Maximum Save Our Homes Portability	\$0	\$0	\$996	\$8,528	\$5,775

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

### TRIM Notice 2020

[2020 TRIM Notice \(PDF\)](#)

### TRIM Notice 2019

[2019 TRIM Notice \(PDF\)](#)



B-

DEPARTMENT OF THE ARMY  
CORPS OF ENGINEERS JACKSONVILLE DISTRICT,  
415 RICHARD JACKSON BOULEVARD, SUITE 411  
PANAMA CITY BEACH, FLORIDA 32407

August 19, 2020

Regulatory Division  
North Permit Branch  
Panama City Permits Section  
SAJ-2020-02955(GP-LSL)

Mr. Travis Fink  
1431 Alligator Drive  
Alligator Point, Florida 32346

Dear Mr. Fink:

The U.S. Army Corps of Engineers (Corps) assigned your application for a Department of the Army permit, which the Corps received on July 23, 2020, the file number SAJ-2020-02955. A review of the information and drawings provided indicates that the proposed work will result in the after-the-fact authorization for a 676 square foot single family dock. The dock structure includes a 4' by 129' access walk, 8' by 20' terminal platform, and 12' by 27' covered boat lift. The activities subject to this permit are authorized pursuant to authorities under Section 10 of the Rivers and Harbors Act of 1899 (33 U.S.C. § 403). The project is located at 71 Fiesta Drive, Alligator Point, Franklin County, Florida.

Your project, as depicted on the enclosed drawings, is authorized by Regional General Permit (GP) SAJ-20. This authorization is valid until **March 27, 2023**. Please access the Corps' Jacksonville District Regulatory Division Internet page to view the special and general conditions for SAJ-20, which apply specifically to this authorization. The Internet URL address is:

<http://www.saj.usace.army.mil/Missions/Regulatory.aspx>

Please be aware this Internet address is case sensitive; and, you will need to enter it exactly as it appears above. Once there you will need to click on "Source Book"; and, then click on "General Permits." Then you will need to click on the specific SAJ permit noted above. You must comply with all of the special and general conditions of the permit; and, any project-specific conditions noted below, or you may be subject to enforcement action. The following project-specific conditions are included with this authorization:

**1. Reporting Address:** The Permittee shall submit all reports, notifications, documentation and correspondence required by the general and special conditions of this permit to either (not both) of the following addresses:



**4. Assurance of Navigation and Maintenance:** The Permittee understands and agrees that, if future operations by the United States require the removal, relocation, or other alteration, of the structures or work herein authorized, or if in the opinion of the Secretary of the Army or his authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the Permittee will be required, upon due notice from the Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal or alteration.

**5. Cultural Resources/Historic Properties:**

a. No structure or work shall adversely affect impact or disturb properties listed in the *National Register of Historic Places* (NRHP) or those eligible for inclusion in the NRHP.

b. If during the ground disturbing activities and construction work within the permit area, there are archaeological/cultural materials encountered which were not the subject of a previous cultural resources assessment survey (and which shall include, but not be limited to: pottery, modified shell, flora, fauna, human remains, ceramics, stone tools or metal implements, dugout canoes, evidence of structures or any other physical remains that could be associated with Native American cultures or early colonial or American settlement), the Permittee shall immediately stop all work and ground-disturbing activities within a 100-meter diameter of the discovery and notify the Corps within the same business day (8 hours). The Corps shall then notify the Florida State Historic Preservation Officer (SHPO) and the appropriate Tribal Historic Preservation Officer(s) (THPO(s)) to assess the significance of the discovery and devise appropriate actions.

c. Additional cultural resources assessments may be required of the permit area in the case of unanticipated discoveries as referenced in accordance with the above Special Condition ; and if deemed necessary by the SHPO, THPO(s), or Corps, in accordance with 36 CFR 800 or 33 CFR 325, Appendix C (5). Based, on the circumstances of the discovery, equity to all parties, and considerations of the public interest, the Corps may modify, suspend or revoke the permit in accordance with 33 CFR Part 325.7. Such activity shall not resume on non-federal lands without written authorization from the SHPO for finds under his or her jurisdiction, and from the Corps.

d. In the unlikely event that unmarked human remains are identified on non-federal lands, they will be treated in accordance with Section 872.05 Florida Statutes. All work and ground disturbing activities within a 100-meter diameter of the unmarked human remains shall immediately cease and the Permittee shall immediately notify the medical



GENERAL CONDITIONS  
33 CFR PART 320-330

1. The time limit for completing the work authorized ends on the **dates identified in the letter.**
2. You must maintain the activity authorized by this permit in good condition and in conformance with the terms and conditions of this permit. You are not relieved of this requirement if you abandon the permitted activity, although you may make a good faith transfer to a third party in compliance with General Condition 4 below. Should you wish to cease to maintain the authorized activity or should you desire to abandon it without a good faith transfer, you must obtain a modification of this permit from this office, which may require restoration of the area.
3. If you discover any previously unknown historic or archeological remains while accomplishing the activity authorized by this permit, you must immediately notify this office of what you have found. We will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.
4. If you sell the property associated with this permit you must obtain the signature of the new owner in the space provided and forward a copy of the permit to this office to validate the transfer of this authorization.
5. If a conditioned water quality certification has been issued for your project, you must comply with the conditions specified in the certification as special conditions to this permit. For your convenience, a copy of the certification is attached if it contains such conditions.
6. You must allow a representative from this office to inspect the authorized activity at any time deemed necessary to ensure that it is being or has been accomplished in accordance with the terms and conditions of your permit.

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

(850) 653-8899

FAX (850) 653-9656

garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: Travis Fink

WATERBODY/CLASS: Alligator Harbor / ClassII / OFW / AP

PURPOSE: DFA - EP Boat Roof

PROJECT LOCATION / USGS: Franklin County / Alligator Point

LATITUDE: 29.900258

LONGITUDE: 84.386275

JOB: 20-071

DEP:

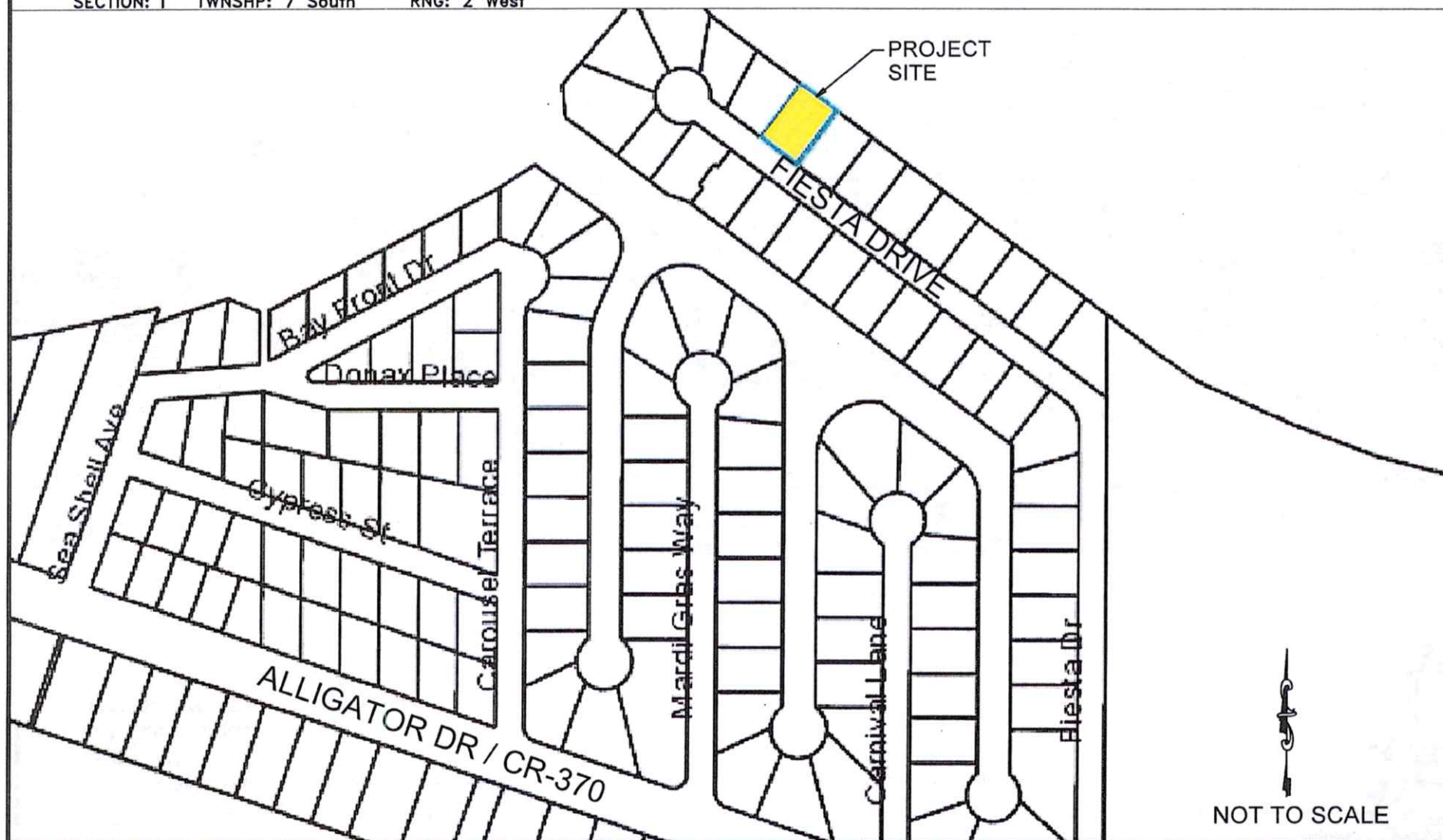
COE:

OTHER:

DATE: July 22, 2020

SHEET: 1/4

SECTION: 1 TOWNSHIP: 7 South RANG: 2 West



# PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

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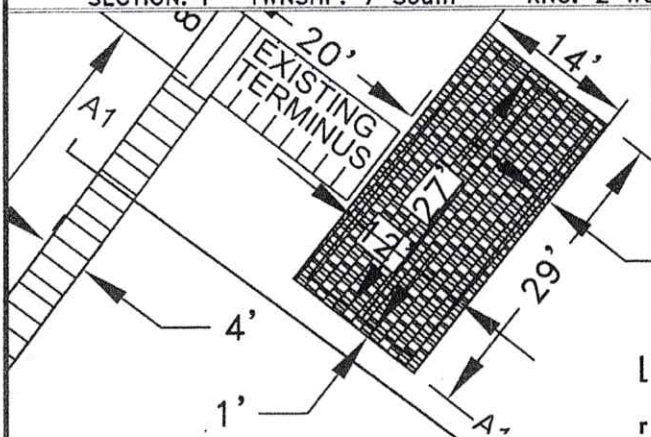
OTHER:

DATE: July 22, 2020

SHEET: 3/4



SECTION: 1 TOWNSHIP: 7 South RANG: 2 West



CLOSEUP OF PROPOSED ROOF NTS

NOTE:  
THERE ARE NO SAV WITHIN THE DOCK OR BOAT ROOF ALIGNMENT  
SAV STUDY COMPLETED 7-7-20

## ALLIGATOR HARBOR

### LEGEND:

PROPOSED ROOF ----- 411 Sq Ft

EXISTING AREA OF DOCK ----- 676 Sq Ft

TOTAL ----- 1087 Sq Ft COMBINED

SIZE OF PROPOSED BOAT WILL BE 27' LENGTH/12' WIDTH

SCALE 1" = 50'



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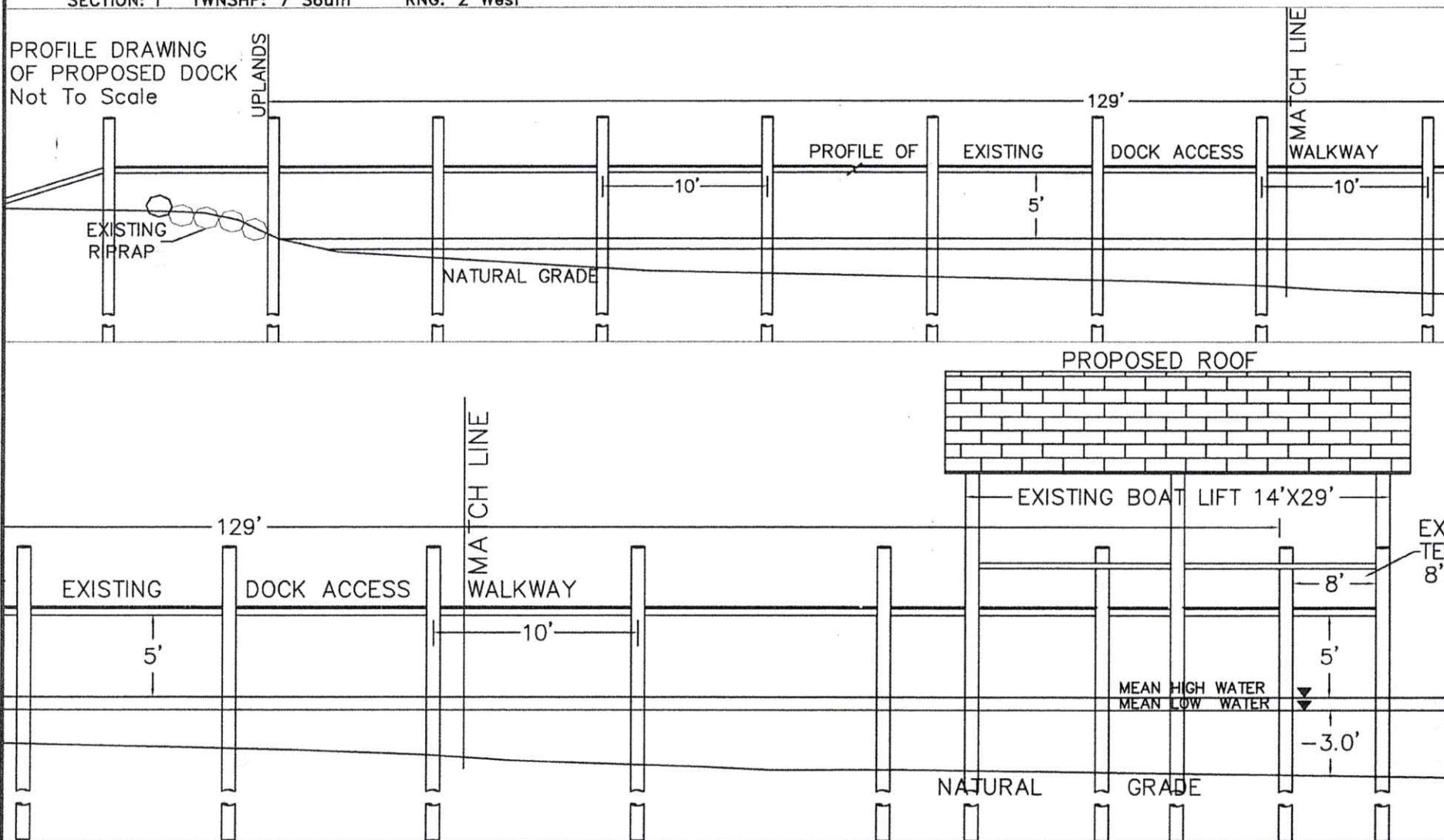
DATE: July 22, 2020

SHEET: 4A/4



SECTION: 1 TWSHP: 7 South RNG: 2 West

PROFILE DRAWING  
OF PROPOSED DOCK  
Not To Scale



Date Work Started: \_\_\_\_\_ Date Work Completed: \_\_\_\_\_

Identify any deviations from the approved permit drawings and/or special conditions (attach additional pages if necessary):

[illegible]



B-

# FLORIDA DEPARTMENT OF Environmental Protection

Northwest District  
160 W. Government Street, Suite 308  
Pensacola, FL 32502

**Ron DeSantis**  
Governor

**Jeanette Nuñez**  
Lt. Governor

**Noah Valenstein**  
Secretary

Tuesday, July 21, 2020

TCB Ventures FL, LLC.  
c/o Travis Fink  
1431 Alligator Dr.  
Alligator Point, Florida 32346  
[travis@nationalcrimesearch.com](mailto:travis@nationalcrimesearch.com)

File No.: 0390091-001-EG/19, Franklin County

Dear Mr. Fink:

On July 14, 2020, we received your notice of intent to use a General Permit (GP) pursuant to Rule 62-330.427, Florida Administrative Code (F.A.C.) to construct a roof over an existing boatlift and redesign an existing terminal platform within Alligator Harbor Aquatic Preserve, Class II Outstanding Florida Waters, Prohibited Shellfish Harvesting Area. The project is located at 71 Fiesta Dr., Alligator Point, Florida 32346, Parcel No. 01-07S-02W-1031-0000-0800, in Section 01, Township 07 South, Range 02 West of Franklin County; at approximately 29°54'01" North Latitude, 84°23'10" West Longitude.

Your intent to use a general permit has been reviewed by Department staff for three types of authorization: (1) regulatory authorization, (2) proprietary authorization (related to state-owned submerged lands), and (3) federal authorization. The authority for review and the outcomes of the reviews are listed below. Please read each section carefully.

**Your project did not qualify for the federal authorization, therefore additional authorization must be obtained prior to commencement of the proposed activity.** This letter does not relieve you from the responsibility of obtaining other federal, state, or local authorizations that may be required for the activity. Please refer to the specific section(s) dealing with that portion of the review below for advice on how to proceed.

If you change the project from what you submitted, the authorization(s) granted may no longer be valid at the time of commencement of the project. Please contact us prior to beginning your project if you wish to make any changes.

### **1. Regulatory Review – Approved**

Based on the forms, drawings, and documents submitted with your notice, it appears that the project meets the requirements for the General Permit under Rule 62-330.427, F.A.C. Any activities performed under a general permit are subject to general conditions required in Rule 62-330.405, F.A.C. (attached) and the specific conditions of Rule 62-330.427, F.A.C. (attached). Any deviations from these conditions may subject the permittee to enforcement action and possible penalties.



permitting may be found online in the Jacksonville District Regulatory Division Source Book at: <https://www.saj.usace.army.mil/Missions/Regulatory/Source-Book>.

Authority for review - an agreement with the USACOE entitled "Coordination Agreement Between the U.S. Army Corps of Engineers (Jacksonville District) and the Florida Department of Environmental Protection (or Duly Authorized Designee), State Programmatic General Permit", Section 10 of the Rivers and Harbor Act of 1899, and Section 404 of the Clean Water Act.

### **Additional Information**

Please retain this general permit. The activities may be inspected by authorized state personnel in the future to ensure compliance with appropriate statutes and administrative codes. If the activities are not in compliance, you may be subject to penalties under Chapter 373, F.S. and Chapter 18-14, F.A.C.

### **NOTICE OF RIGHTS**

This action is final and effective on the date filed with the Clerk of the Department unless a petition for an administrative hearing is timely filed under Sections 120.569 and 120.57, F.S., before the deadline for filing a petition. On the filing of a timely and sufficient petition, this action will not be final and effective until a subsequent order of the Department. Because the administrative hearing process is designed to formulate final agency action, the subsequent order may modify or take a different position than this action.

### Petition for Administrative Hearing

A person whose substantial interests are affected by the Department's action may petition for an administrative proceeding (hearing) under Sections 120.569 and 120.57, F.S. Pursuant to Rules 28-106.201 and 28-106.301, F.A.C., a petition for an administrative hearing must contain the following information:

- (a) The name and address of each agency affected and each agency's file or identification number, if known;
- (b) The name, address, and telephone number of the petitioner; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding; and an explanation of how the petitioner's substantial interests are or will be affected by the agency determination;
- (c) A statement of when and how the petitioner received notice of the agency decision;
- (d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate;
- (e) A concise statement of the ultimate facts alleged, including the specific facts that the petitioner contends warrant reversal or modification of the agency's proposed action;
- (f) A statement of the specific rules or statutes that the petitioner contends require reversal or modification of the agency's proposed action, including an explanation of how the alleged facts relate to the specific rules or statutes; and
- (g) A statement of the relief sought by the petitioner, stating precisely the action that the petitioner wishes the agency to take with respect to the agency's proposed action.

Judicial Review

Once this decision becomes final, any party to this action has the right to seek judicial review pursuant to Section 120.68, F.S. by filing a Notice of Appeal pursuant to Florida Rules of Appellate Procedure 9.110 and 9.190 with the Clerk of the Department in the Office of General Counsel (Station #35, 3900 Commonwealth Boulevard, Tallahassee, Florida 32399-3000) and by filing a copy of the Notice of Appeal accompanied by the applicable filing fees with the appropriate district court of appeal. The notice must be filed within 30 days from the date this action is filed with the Clerk of the Department.



### **62-330.427 General Permit for Docks, Piers and Associated Structures.**

(1) A general permit is granted to any person to construct, extend, or remove a dock or pier and associated structures as described below:

(a) A private, single-family pier or dock with up to two boat lifts that, together with all existing structures on the shoreline of the property, does not exceed a total area of 2,000 square feet over surface waters. Such a structure:

1. Shall not accommodate the mooring of more than two vessels, either in the water or on a boat lift. Solely for purposes of this general permit, up to two personal watercraft as defined in section 327.02(33), F.S., may be moored in lieu of either or both allowable vessels of another type.

These limits shall not apply to the mooring, storage or other use of the dock or pier by:

a. Non-motor-powered vessels less than 16 feet in length that are stored on or under the dock or pier, or within an authorized mooring area; or

b. Personal watercraft, dinghies or similar small vessels that are stowed out of the water, upon a larger parent vessel that is moored at the dock in compliance with this general permit.

2. Shall be located such that all areas used for vessel mooring and navigational access already provide a minimum depth of two feet below the mean low water level for tidal waters, or two feet below the expected average low water depth for non-tidal waters as determined based on best available information for the water body at the project location; and

3. May include a roof over the vessel mooring areas, boat lifts, and terminal platform, or any portions thereof, subject to the applicable provisions of chapters 253 and 258, F.S., and the rules adopted thereunder. Portions of such roofs that overhang beyond the edge of decked portions of the pier or dock shall be included in the calculation of the total square footage of over-water structure allowed under paragraph (1)(a), above.

(b) A public fishing pier that does not exceed a total area of 2,000 square feet provided the structure is designed and built to discourage boat mooring by elevating the fishing pier to a minimum height of five feet above mean high water or ordinary high water, surrounding the pier with handrails, and installing and maintaining signs that state "No Boat Mooring Allowed."

(2) This general permit shall be subject to the following specific conditions:

(a) Construction or extension of the boat lift, boat mooring locations, or terminal platform, shall not occur over submerged grassbeds, coral communities or wetlands. However, the access walkway portion of the pier may traverse these resources provided it is elevated a minimum of five feet above mean high water or ordinary high water, contains handrails that are maintained in such a manner as to prevent use of the access walkways for boat mooring or access, and does not exceed a width of six feet, or a width of four feet in Aquatic Preserves;

(b) There shall be no structures enclosed by walls, screens, or doors on any side;

(c) The dock or pier will not facilitate vessel rentals, charters, or serve any other commercial purpose;

(d) There shall be no fish cleaning facilities, boat repair facilities or equipment, or fueling facilities on the structures authorized by this general permit. In addition, no overboard discharges of trash, human or animal waste, or fuel shall occur from any structures authorized by this general permit;

(e) This general permit shall not authorize the construction or extension of more than one dock or pier per parcel of land or individual lot. For the purposes of this general permit, multi-family living complexes shall be treated as one parcel of property regardless of the legal division of ownership or control of the associated property; and



### **62-330.405 General Conditions for All General Permits.**

The following general permit conditions are binding upon the permittee and are enforceable under chapter 373, F.S. These conditions do not apply to the general permit for stormwater management systems under section 403.814(12), F.S.

- (1) The general permit is valid only for the specific activity indicated. Any deviation from the specified activity and the conditions for undertaking that activity shall constitute a violation of the permit and may subject the permittee to enforcement action and revocation of the permit under chapter 373, F.S.
- (2) The general permit does not eliminate the necessity to obtain any required federal, state, local and special district authorizations prior to the start of any construction, alteration, operation, maintenance, removal or abandonment authorized by this permit; and it does not authorize any violation of any other applicable federal, state, local, or special district laws (including, but not limited to, those governing the "take" of listed species).
- (3) The general permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the general permit.
- (4) The general permit does not relieve the permittee from liability and penalties when the permitted activity causes harm or injury to: human health or welfare; animal, plant or aquatic life; or property. It does not allow the permittee to cause pollution that violates state water quality standards.
- (5) Section 253.77, F.S., provides that a person may not commence any excavation, construction, or other activity involving the use of state-owned or other lands of the state, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required consent, lease, easement, or other form of authorization authorizing the proposed use. Therefore, the permittee is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on state-owned lands.
- (6) The authorization to conduct activities under a general permit may be modified, suspended or revoked in accordance with chapter 120, F.S., and section 373.429, F.S.
- (7) The general permit is not transferable to a new third party. To be used by a different permittee, a new notice to use a general permit must be submitted in accordance with rule 62-330.402, F.A.C. Activities constructed in accordance with the terms and conditions of a general permit are automatically authorized to be operated and maintained by the permittee and subsequent owners in accordance with subsection 62-330.340(1), F.A.C. Any person holding the general permit, persons working under the general permit, and owners of land while work is conducted under the general permit shall remain liable for any corrective actions that may be required as a result of any permit violations prior to sale, conveyance, or other transfer of ownership or control of the permitted project, activity, or the real property at which the permitted project or activity is located.
- (8) Upon reasonable notice to the permittee, Agency staff with proper identification shall have permission to enter, inspect, sample and test the permitted system to ensure conformity with the plans and specifications approved by the general permit.
- (9) The permittee shall maintain any permitted project or activity in accordance with the plans submitted to the Agency and authorized in the general permit.
- (10) A permittee's right to conduct a specific activity under the general permit is authorized for a duration of five years.

shall contact the Florida Department of State, Division of Historical Resources, Compliance Review Section (DHR), at (850)245-6333, as well as the appropriate permitting agency office. Project activities shall not resume without verbal or written authorization from the Division of Historical Resources. If unmarked human remains are encountered, all work shall stop immediately and the proper authorities notified in accordance with section 872.05, F.S.

(17) The activity must be capable, based on generally accepted engineering and scientific principles, of being performed and of functioning as proposed, and must comply with any applicable District special basin and geographic area criteria.

(18) The permittee shall comply with the following when performing work within waters accessible to federally- or state-listed aquatic species, such as manatees, marine turtles, smalltooth sawfish, and Gulf sturgeon:

(a) All vessels associated with the project shall operate at “Idle Speed/No Wake” at all times while in the work area and where the draft of the vessels provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.

(b) All deployed siltation or turbidity barriers shall be properly secured, monitored, and maintained to prevent entanglement or entrapment of listed species.

(c) All in-water activities, including vessel operation, must be shut down if a listed species comes within 50 feet of the work area. Activities shall not resume until the animal(s) has moved beyond a 50-foot radius of the in-water work, or until 30 minutes elapses since the last sighting within 50 feet. Animals must not be herded away or harassed into leaving. All onsite project personnel are responsible for observing water-related activities for the presence of listed species.

(d) Any listed species that is killed or injured by work associated with activities performed shall be reported immediately to the Florida Fish and Wildlife Conservation Commission (FWC) Hotline at 1(888)404-3922 and [ImperiledSpecies@myFWC.com](mailto:ImperiledSpecies@myFWC.com).

(e) Whenever there is a spill or frac-out of drilling fluid into waters accessible to the above species during a directional drilling operation, the FWC shall be notified at [ImperiledSpecies@myfwc.com](mailto:ImperiledSpecies@myfwc.com) with details of the event within 24 hours following detection of the spill or frac-out.

(19) The permittee shall hold and save the Agency harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any activity authorized by the general permit.

(20) The permittee shall immediately notify the Agency in writing of any submitted information that is discovered to be inaccurate.

*Rulemaking Authority 373.026(7), 373.043, 373.118(1), 373.406(5), 373.4131, 373.414(9), 373.4145, 373.418, 403.805(1) FS. Law Implemented 373.044, 373.118(1), 373.129, 373.136, 373.406(5), 373.413, 373.4131, 373.414(9), 373.4145, 373.416, 373.422, 373.423, 373.429, 403.814(1) FS. History—New 10-3-95, Amended 10-1-07, Formerly 62-341.215, Amended 10-1-13, 6-1-18.*



**General Conditions for Authorizations for Activities on State-Owned Submerged Lands:**

All authorizations granted by rule or in writing under rule 18-21.005, F.A.C., except those for geophysical testing, shall be subject to the general conditions as set forth in paragraphs (a) through (j) below. The general conditions shall be part of all authorizations under this chapter, shall be binding upon the grantee, and shall be enforceable under chapter 253 or 258, part II, F.S.

(a) Authorizations are valid only for the specified activity or use. Any unauthorized deviation from the specified activity or use and the conditions for undertaking that activity or use shall constitute a violation. Violation of the authorization shall result in suspension or revocation of the grantee's use of the sovereignty submerged land unless cured to the satisfaction of the Board.

(b) Authorizations convey no title to sovereignty submerged land or water column, nor do they constitute recognition or acknowledgment of any other person's title to such land or water.

(c) Authorizations may be modified, suspended or revoked in accordance with their terms or the remedies provided in sections 253.04 and 258.46, F.S., or chapter 18-14, F.A.C.

(d) Structures or activities shall be constructed and used to avoid or minimize adverse impacts to sovereignty submerged lands and resources.

(e) Construction, use, or operation of the structure or activity shall not adversely affect any species which is endangered, threatened or of special concern, as listed in rules 68A-27.003, 68A-27.004 and 68A-27.005, F.A.C.

(f) Structures or activities shall not unreasonably interfere with riparian rights. When a court of competent jurisdiction determines that riparian rights have been unlawfully affected, the structure or activity shall be modified in accordance with the court's decision.

(g) Structures or activities shall not create a navigational hazard.

(h) Activities shall not interfere with the public easement for traditional uses of the sandy beaches provided in section 161.141, F.S.

(i) Structures shall be maintained in a functional condition and shall be repaired or removed if they become dilapidated to such an extent that they are no longer functional. This shall not be construed to prohibit the repair or replacement subject to the provisions of rule 18-21.005, F.A.C., within one year, of a structure damaged in a discrete event such as a storm, flood, accident, or fire.

(j) Structures or activities shall be constructed, operated, and maintained solely for water dependent purposes, or for non-water dependent activities authorized under paragraph 18-21.004(1)(g), F.A.C., or any other applicable law.

*Rulemaking Authority 253.03(7), 253.73 FS. Law Implemented 253.001, 253.03, 253.141, 253.0347, 253.665, 253.71, 253.68, 253.72, 253.74, 253.75, 253.77 FS. History—New 3-27-82,*



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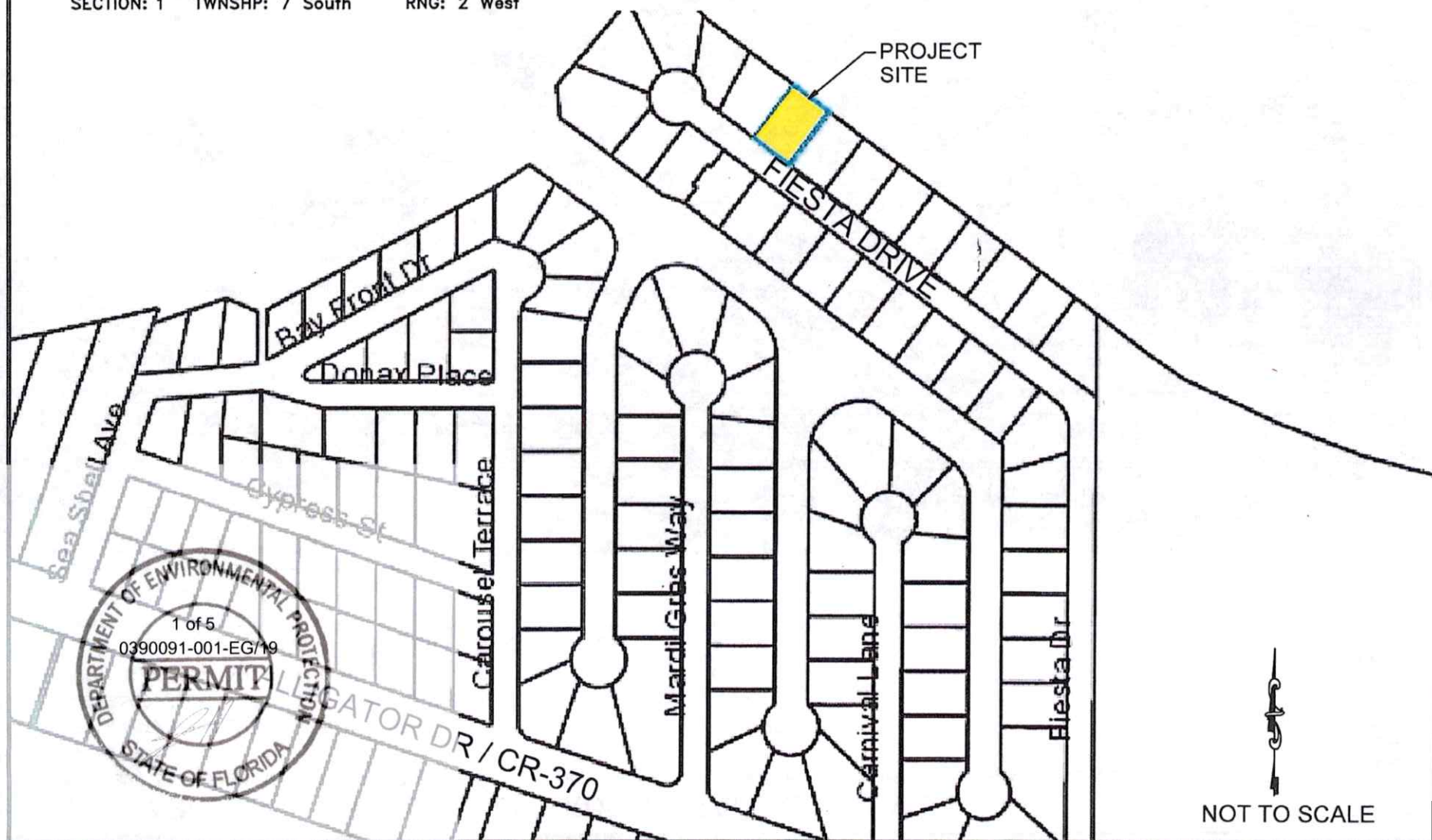
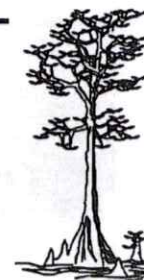
DEP:

COE:

OTHER:

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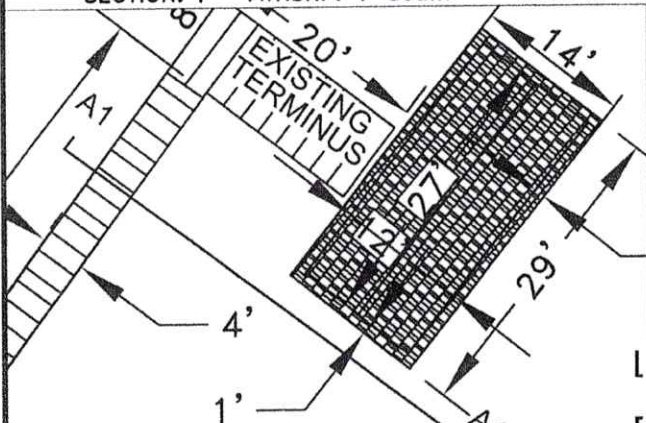
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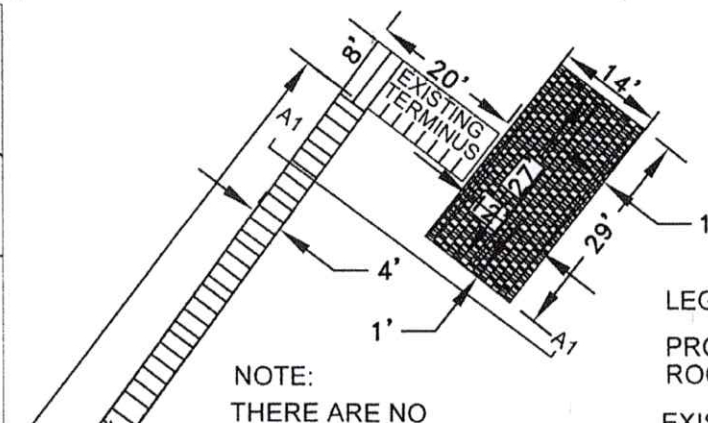
OTHER:

DATE: July 13, 2020

SHEET: 3/4



CLOSEUP OF PROPOSED ROOF  
NTS



NOTE:  
THERE ARE NO  
SAV WITHIN THE  
DOCK OR BOAT  
ROOF ALIGNMENT  
SAV STUDY  
COMPLETED 7-7-20

## ALLIGATOR HARBOR

### LEGEND:

PROPOSED  
ROOF ----- 411 Sq Ft

EXISTING AREA  
OF DOCK ----- 676 Sq Ft  
716 SQ FT

TOTAL ----- 1087 Sq Ft  
COMBINED

SIZE OF PROPOSED BOAT  
WILL BE 27' LENGTH/12' WIDTH



SCALE 1" = 50'



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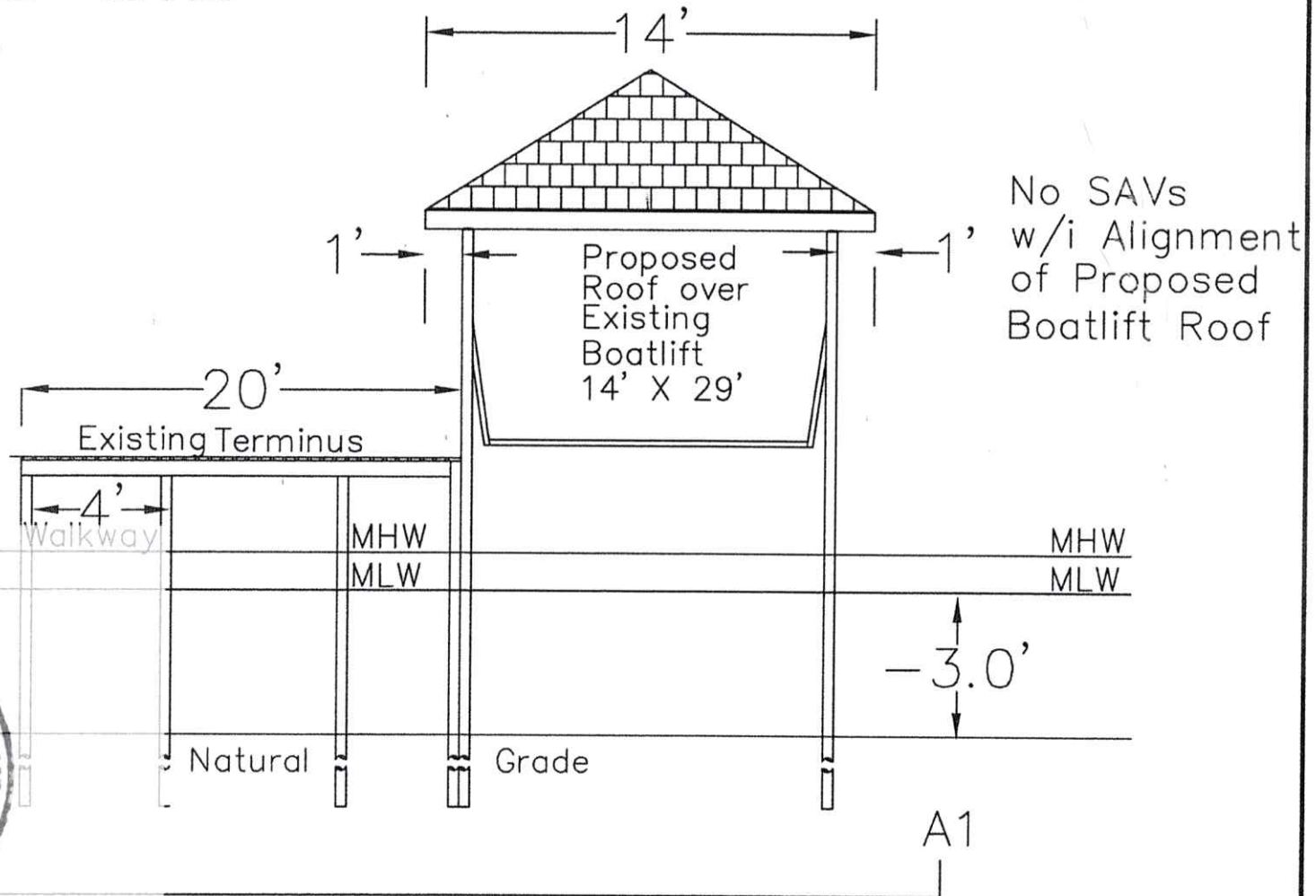
OTHER:

DATE: July 13, 2020

SHEET: 4/4



CROSS SECTION A-A  
PROPOSED COVERED  
BOATLIFT  
NOT TO SCALE







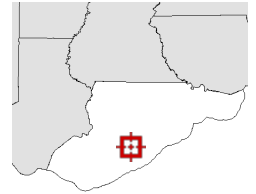
qPublic.net™

Franklin County, FL

C-



#### Overview



#### Legend

- Parcels
- Roads
- City Labels

Parcel ID	29-09S-06W-7315-0081-0090	Alternate ID	06W09S29731500810090	Owner Address	DELARBER RICHARD M & JANE D
Sec/Twp/Rng	29-9S-6W	Class	SINGLE FAM		323 E SAWYER ST
Property Address	323 E SAWYER ST	Acreage	n/a		EASTPOINT, FL 32328
District	1				
Brief Tax Description	UNIT 5 BL 81 LOTS 9				

(Note: Not to be used on legal documents)

Date created: 4/8/2021

Last Data Uploaded: 4/8/2021 7:46:41 AM

Developed by  Schneider  
GEOSPATIAL



## DOCK PERMIT APPLICATION

### FRANKLIN COUNTY BUILDING DEPARTMENT

34 Forbes Street, Suite 1, Apalachicola, Florida 32320

Phone: 850-653-9783 Fax: 850-653-9799

[http://www.franklincountyflorida.com/planning\\_building.aspx](http://www.franklincountyflorida.com/planning_building.aspx)

PERMIT # \_\_\_\_\_

FEE: \$ \_\_\_\_\_

C.S.I. : \$ \_\_\_\_\_

TOTAL: \$ \_\_\_\_\_

#### NOTE TO APPLICANTS AND PERMIT HOLDERS:

VIOLATIONS OF THE TERMS AND CONDITIONS OF THIS PERMIT MAY WARRANT A STOP WORK ORDER OR REVOCATION OF THIS PERMIT. THIS PERMIT IS VALID FOR ONE YEAR FROM THE DATE OF ISSUANCE.

CONSTRUCTION MUST COMMENCE WITHIN SIX MONTHS OF THIS DATE:

ISSUANCE DATE: \_\_\_\_\_ EXPIRES: \_\_\_\_\_

EXISTING HOUSE: ☐ Yes ☐ No

DEP PERMIT: ☐ Yes ☐ No

ARMY COE PERMIT: ☐ Yes ☐ No

APPROVED: ☐ Yes ☐ No

#### APPLICATION MUST BE COMPLETE:

Property Owner/s: Richard Delarber

Contact Information: Home #: None Cell #: (229) 289-7407

Mailing Address: 323 E. Sawyer St. City/State/Zip: Eastpoint, FL, 32328

EMAIL Address: richarddelarber @ AOL.com

Contractor Name: Pending Business Name: \_\_\_\_\_

Contact Information: Office #: \_\_\_\_\_ Cell #: \_\_\_\_\_

State License #: \_\_\_\_\_ County Registration #: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ City/State/Zip: \_\_\_\_\_

EMAIL Address: \_\_\_\_\_ @ \_\_\_\_\_

PROPERTY DESCRIPTION: 911 Address: 323 E Sawyer St

Lot/s: 9 Block: 81 Subdivision: \_\_\_\_\_ Unit: \_\_\_\_\_

Parcel Identification #: 29-095-06W-7315-0081-0090

JURISDICTION: ☒ Franklin County ☐ City of Carrabelle

☐ Apalachicola ☐ Eastpoint ☒ St. George Island ☐ Carrabelle ☐ Dog Island ☐ Lanark/ St. James ☐ St. Teresa ☐ Alligator Point

☒ SINGLE FAMILY DOCK/PIER ☐ MULTI-FAMILY DOCK/PIER ☐ COMMERCIAL

DESCRIPTION: To construct an additional 280 SQ FT dock and 312 SQ FT covered boat lift to an existing dock for a combined area of less than 1,000 SQ FT

ZONING DISTRICT: R-1 CONTRACT COST: TBD

TOTAL SQUARE FOOT: Less than 1,000 FOUNDATION TYPE: Pilings

ROOF MATERIAL: Metal

APPROVED BY: ☐ Planning & Zoning Date: \_\_\_\_\_ ☐ County Commissioners Date: \_\_\_\_\_

WATER BODY: Off Apalachicola Bay on Man made Canal

CRITICAL SHORELINE DISTRICT: ☐ YES ☐ NO CRITICAL HABITAT ZONE: ☐ YES ☐ NO

BUILDING OFFICIAL \_\_\_\_\_ Date \_\_\_\_\_ OWNER (Required) \_\_\_\_\_ Date \_\_\_\_\_ CONTRACTOR (Required) \_\_\_\_\_ Date \_\_\_\_\_

RECEIVED  
MAR 25 2021

BY: \_\_\_\_\_





# F.D.E.P. DREDGE AND FILL PERMIT DRAWINGS

SECTION	29	TOWNSHIP	9S	RANGE	6W
---------	----	----------	----	-------	----

## DELARBER RESIDENCE DOCK

FOR

RICHARD DELARBER

FRANKLIN COUNTY PARCEL NO.

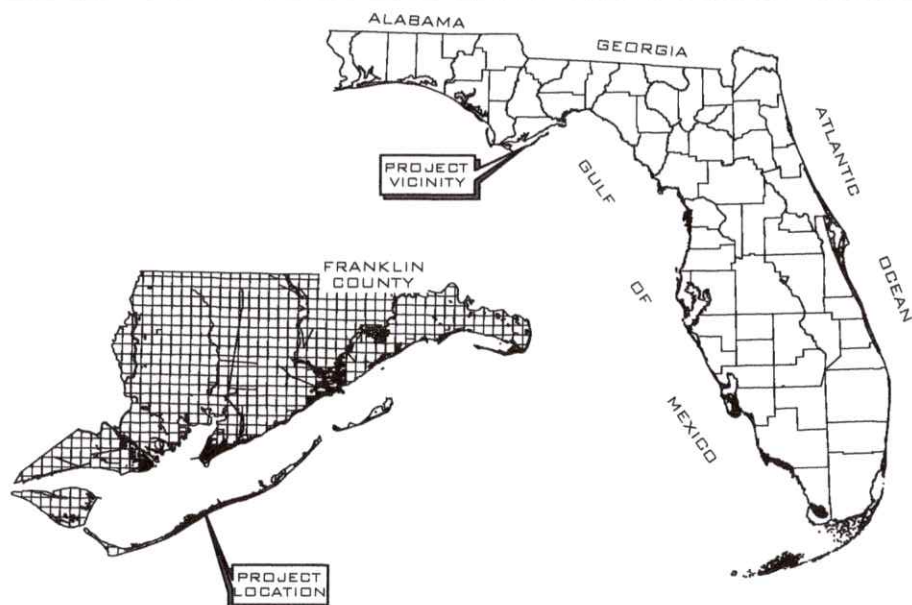
29-09S-06W-7315-0081-0090

323 E SAWYER STREET, ST. GEORGE ISLAND, FL

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Date: 2019.04.05 15:10:46 -05'00'

APRIL 5, 2019

### PROJECT VICINITY



### INDEX OF SHEETS

SHEET	SHEET NAME
CVR	COVER SHEET
G1	PROJECT LOCATION
G2	GENERAL NOTES
G3	EROSION CONTROL NOTES & DETAILS
G4	EROSION CONTROL DETAILS
G5	EROSION CONTROL DETAILS
C1	AERIAL OF EXISTING SITE CONDITIONS
C2	SITE PLAN
C3	DREDGE & FILL VOLUME
C4	EROSION CONTROL PLAN
C5	PROPOSED WATERWAY NAVIGATION
S1	TERMINAL PLATFORM PILE LAYOUT
S2	TERMINAL PLATFORM FRAMING PLAN
S3	DOCK FRAMING DETAILS
S4	DOCK ROOF FRAMING PLAN
S5	DOCK ROOF FRAMING SECTION



**SOUTHEASTERN**  
CONSULTING ENGINEERS, INC.  
P.O. BOX 141  
WEWAHITCHKA, FLORIDA 32465  
850.639.3860

SHEET TITLE

COVER SHEET

JOB NO.

19-717-01

CLIENT

DELARBER RESIDENCE DOCK DESIGN


SHEET NO.

CVR

80





 <p><b>SCE</b> SOUTHEASTERN CONSULTING ENGINEERS, INC. P.O. BOX 141 WEWAHITCHKA, FLORIDA 32465 850.639.3860</p>	<p>SHEET TITLE</p> <p>PROJECT LOCATION</p>	<p>JOB NO.</p> <p>19-717-01</p>
	<p>CLIENT</p> <p>DELARBER RESIDENCE DOCK DESIGN</p>	<p>SHEET NO.</p> <p>G1</p> <div data-bbox="1996 1490 2064 1555">81</div>

# GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE TO INSURE THAT ALL NEW WORK WILL FIT IN THE MANNER INTENDED ON THE PLANS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND LOCAL MUNICIPALITY OF SUCH DIFFERENCES IMMEDIATELY AND PRIOR TO PROCEEDING WITH THE WORK.
2. THE CONTRACTOR SHALL COMPLY WITH ALL CONDITIONS AS SET FORTH BY THE NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT AND FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
3. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION SITE IN A SECURE MANNER. ALL OPEN TRENCHES AND EXCAVATED AREAS SHALL BE PROTECTED FROM ACCESS BY THE GENERAL PUBLIC.
4. ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHOULD NOTIFY THE ENGINEER.
5. THE CONTRACTOR SHALL IMPLEMENT ALL COMPONENTS OF THE EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO ANY EARTH DISTURBING ACTIVITIES. ALL COMPONENTS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL ALL VEGETATION IS ESTABLISHED, THE ENTIRE PROJECT AREA IS STABILIZED AND THE OWNER HAS ACCEPTED OPERATION AND MAINTENANCE.
6. ALL DISTURBED AREAS NOT SODDED SHALL BE SEEDED WITH A MIXTURE OF LONG-TERM VEGETATION AND QUICK GROWING SHORT-TERM VEGETATION FOR THE FOLLOWING CONDITIONS. FOR THE MONTHS FROM SEPTEMBER THROUGH MARCH, THE MIX SHALL CONSIST OF 70 POUNDS PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF WINTER RYE. FOR THE MONTHS OF APRIL THROUGH AUGUST, THE MIX SHALL CONSIST OF 70 POUNDS PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF MILLET.
7. THE LOCATION OF THE UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR DURING CONSTRUCTION. CONTRACTOR SHALL PROTECT ALL UTILITIES WITHIN THE PROJECT AREAS.
8. ALL UTILITY CONSTRUCTION SHALL MEET THE WATER AND WASTEWATER UTILITY STANDARDS OF THE UTILITY SERVICE PROVIDER IN THE PROJECT AREA.
9. THE CONTRACTOR SHALL ENSURE ALL EXCESS EARTH REMAINS ON SITE AND IS GRADED AS REQUIRED IN FIELD AND/OR AS DIRECTED BY THE ENGINEER.
10. ALL SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL GOVERNING BODY'S LAND DEVELOPMENT REGULATIONS.
11. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS WITHIN PROJECT AREA.
12. THE CONTRACTOR SHALL NOTIFY THE LOCAL GOVERNING BODY AT LEAST 48 HOURS IN ADVANCE PRIOR TO BEGINNING OF CONSTRUCTION.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION COMMENCEMENT NOTICE AND NOTIFYING THE ENGINEER OF THE CONSTRUCTION SCHEDULE.
14. NO GEOTECHNICAL REPORT WAS AVAILABLE AT THE TIME OF THE DESIGN.

C-



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SHEET TITLE

GENERAL NOTES

CLIENT

DELARBER RESIDENCE DOCK DESIGN

JOB NO.

19-717-01

SHEET NO.

G2

82



# EROSION CONTROL NOTES

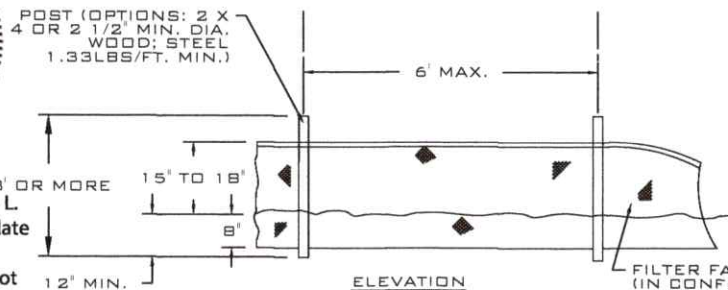
- THIS EROSION AND SEDIMENTATION CONTROL PLAN COMPLIES WITH THE REQUIREMENTS OF THE "FLORIDA DEVELOPMENT MANUAL" AND THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL".
- THE CONTRACTOR SHALL ADHERE TO LOCAL MUNICIPALITY, NWFWD, AND OTHER GOVERNING AUTHORITIES FOR EROSION AND SEDIMENT CONTROL REGULATIONS. IF THE CONTRACTOR NEEDS TO CHANGE THIS PLAN TO MORE EFFECTIVELY CONTROL EROSION AND SEDIMENTATION, THE CONTRACTOR SHALL USE BMP'S FROM THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL".
- THE CONTRACTOR SHALL ADJUST AND REVISE THIS PLAN TO MEET ACTUAL FIELD CONDITIONS. ANY REVISIONS SHALL BE APPROVED BY THE REVIEWING AGENCIES.
- SEDIMENT AND EROSION CONTROL FACILITIES, STORM DRAINAGE FACILITIES AND DETENTION BASINS SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
- EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL AND REPLACED AS NECESSARY.
- SEDIMENT AND EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION IS COMPLETE AND UNTIL A PERMANENT GROUND COVER HAS BEEN ESTABLISHED.
- ALL OPEN DRAINAGE SWALES SHALL BE GRASSED AND RIPRAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
- SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT AND EROSION FROM LEAVING PROJECT LIMITS.
- CONTRACTOR SHALL PLACE A DOUBLE ROW OF SILT FENCE IN AREAS WHERE RUNOFF FROM DISTURBED AREAS MAY ENTER WETLANDS.
- DURING CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETE, ALL STRUCTURES SHALL BE CLEANED OF ALL DEBRIS AND EXCESS SEDIMENT.
- ALL GRADED AREAS SHALL BE STABILIZED IMMEDIATELY WITH A TEMPORARY FAST-GROWING COVER AND/OR MULCH.
- A PAD OF RUBBLE RIP RAP SHALL BE PLACED AT THE BOTTOM OF ALL COLLECTION FLUMES AND COLLECTION PIPE OUTLETS. GRANITE OR LIMESTONE RIPRAP IS REQUIRED, NO BROKEN CONCRETE WILL BE ACCEPTED.
- ALL SIDE SLOPES STEEPER THAN 3:1 SHALL BE ADEQUATELY PROTECTED FROM EROSION THROUGH THE USE OF HAY BALES OR SODDING.
- ALL STABILIZATION PRACTICES SHALL BE INITIATED AS SOON AS PRACTICABLE IN AREAS OF THE JOB WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY STOPPED, BUT IN NO CASE SHALL THE DISTURBED AREA BE LEFT UNPROTECTED FOR MORE THAN SEVEN DAYS.
- ALL WASTE GENERATED ON THE PROJECT SHALL REMAIN ON-SITE AND BE PLACED IN AREAS PROVIDED BY CONTRACTOR.
- LOADED HAUL TRUCKS SHALL BE COVERED WITH TARPS.
- EXCESS DIRT SHALL BE REMOVED DAILY.
- THIS PROJECT SHALL COMPLY WITH ALL WATER QUALITY STANDARDS.
- QUALIFIED PERSONNEL SHALL INSPECT THE AREA USED FOR STORAGE OF STOCKPILES, THE SILT FENCE AND STRAW BALES, THE LOCATION WHERE VEHICLES ENTER OR EXIT THE SITE, AND THE DISTURBED AREAS THAT HAVE NOT BEEN FINALLY STABILIZED, AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM OF 0.50 INCHES OR GREATER.
- SITES THAT HAVE BEEN FINALLY STABILIZED WITH SOD OR GRASSING SHALL BE INSPECTED AT LEAST ONCE EVERY WEEK.

C-

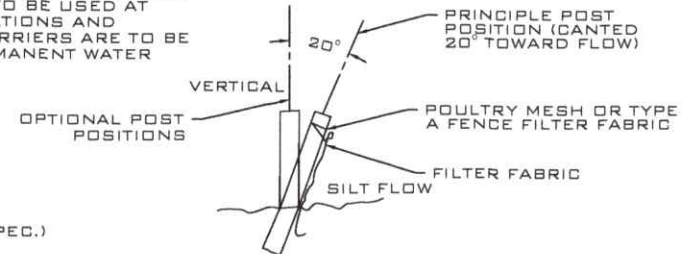


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NOTE:  
DO NOT INSTALL SILT FENCE IN A MANNER AS TO BLOCK WATER FLOW ALONG PERMANENT FLOWING WATER COURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBIDITY BARRIERS ARE TO BE USED AT PERMANENT WATER BODIES



1 TYPE III SILT FENCE  
G3 N.T.S.

SECTION



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SHEET TITLE

EROSION CONTROL NOTES & DETAILS

CLIENT

DELARBER RESIDENCE DOCK DESIGN

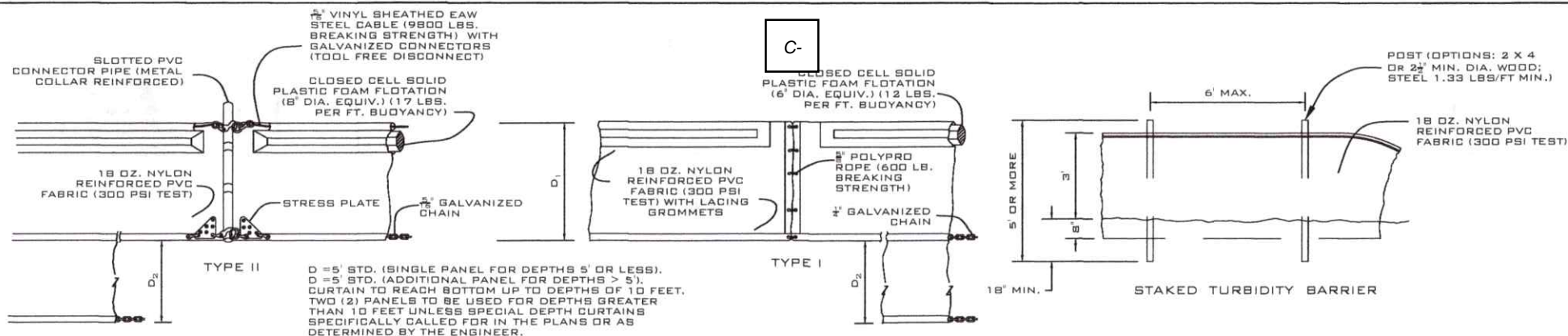
JOB NO.

19-717-01

SHEET NO.

G3

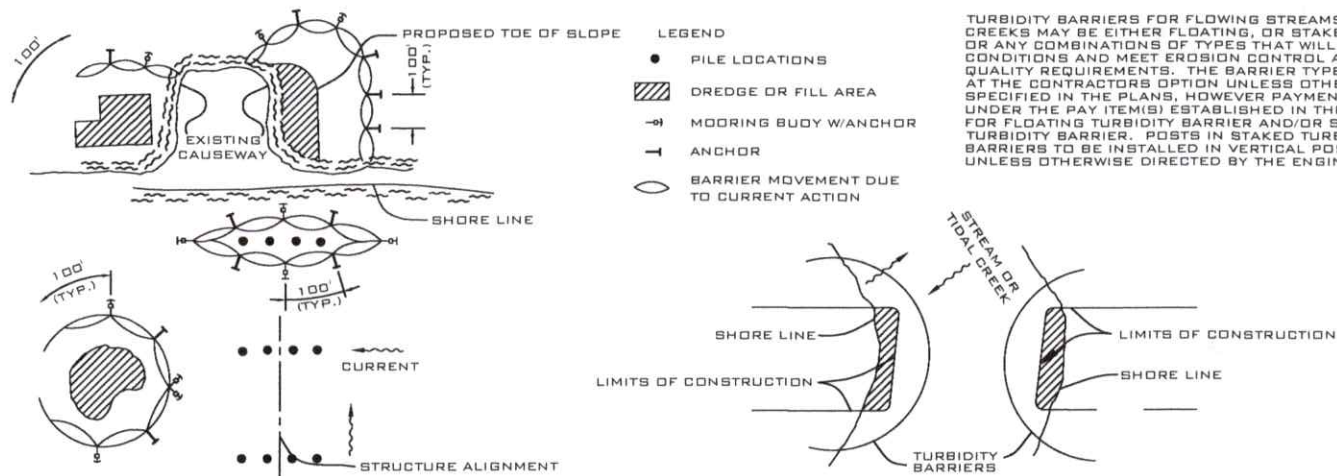
83



COMPONENTS OF TYPES I AND II MAY BE SIMILAR OR IDENTICAL TO PROPRIETARY DESIGNS. ANY INFRINGEMENT ON THE PROPRIETARY RIGHTS OF THE DESIGNER SHALL BE THE SOLE RESPONSIBILITY OF THE USER. SUBSTITUTIONS FOR TYPES I AND II SHALL BE AS APPROVED BY THE ENGINEER.

NOTE: STAKED TURBIDITY BARRIERS ARE RECOMMENDED FOR THIS PROJECT

#### FLOATING TURBIDITY BARRIERS



TURBIDITY BARRIERS FOR FLOWING STREAMS AND TIDAL CREEKS MAY BE EITHER FLOATING, OR STAKED TYPES OR ANY COMBINATIONS OF TYPES THAT WILL SUIT SITE CONDITIONS AND MEET EROSION CONTROL AND WATER QUALITY REQUIREMENTS. THE BARRIER TYPE(S) WILL BE AT THE CONTRACTORS OPTION UNLESS OTHERWISE SPECIFIED IN THE PLANS, HOWEVER PAYMENT WILL BE UNDER THE PAY ITEM(S) ESTABLISHED IN THE PLANS FOR FLOATING TURBIDITY BARRIER AND/OR STAKED TURBIDITY BARRIER. POSTS IN STAKED TURBIDITY BARRIERS TO BE INSTALLED IN VERTICAL POSITION UNLESS OTHERWISE DIRECTED BY THE ENGINEER.

- NOTES:**
1. TURBIDITY BARRIERS ARE TO BE USED IN ALL PERMANENT BODIES OF WATER REGARDLESS OF WATER DEPTH.
  2. NUMBER AND SPACING OF ANCHORS DEPENDENT ON CURRENT VELOCITIES.
  3. DEPLOYMENT OF BARRIER AROUND PILE LOCATIONS MAY VARY TO ACCOMMODATE CONSTRUCTION OPERATIONS.
  4. NAVIGATION MAY REQUIRE SEGMENTING BARRIER DURING CONSTRUCTION OPERATIONS.
  5. FOR ADDITIONAL INFORMATION SEE SECTION 104 OF THE STANDARD SPECIFICATIONS.

1  
G4  
**TURBIDITY BARRIER DETAIL**  
**N.T.S.**



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SHEET TITLE

**EROSION CONTROL DETAILS**

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**DELABER RESIDENCE DOCK DESIGN**

JOB NO.

**19-717-01**

SHEET NO.

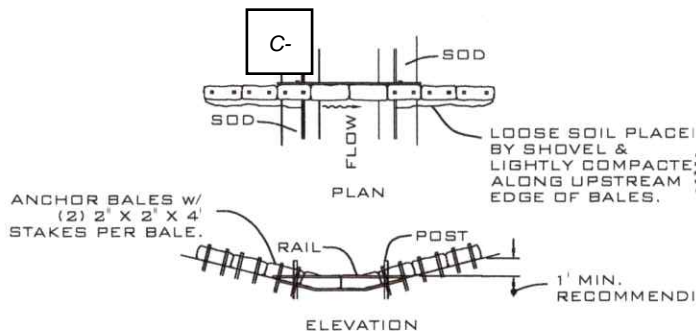
**G4**

**84**

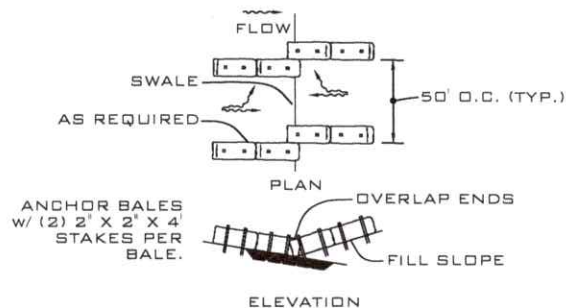


### III HAY BALES

- A. BASE OF SLOPE
- B. DITCH BOTTOM
- C. WITH FENCE (AS NECESSARY)



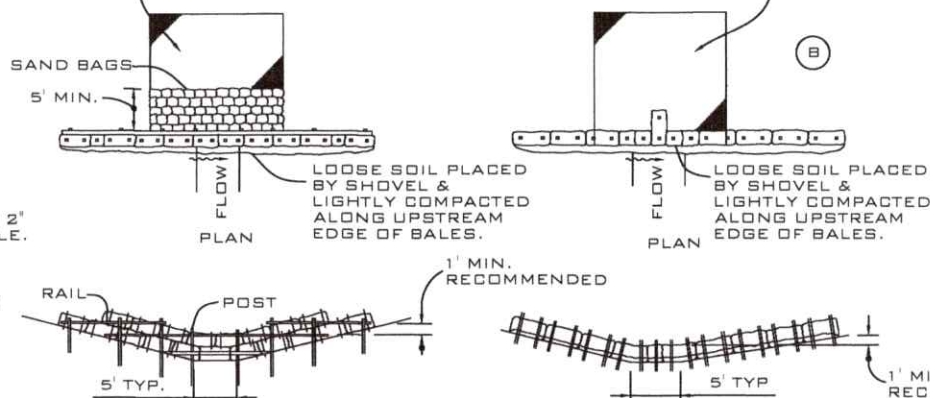
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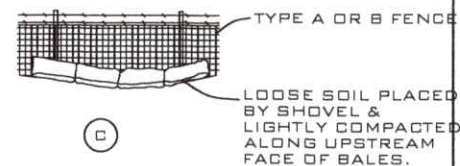
NOTE: BALE BARRIERS FOR PAVED DITCHES SHOULD BE SPACED IN ACCORDANCE WITH CHART 1, SHEET 1 OF 3, INDEX NO. 102

#### BARRIER FOR PAVED DITCH

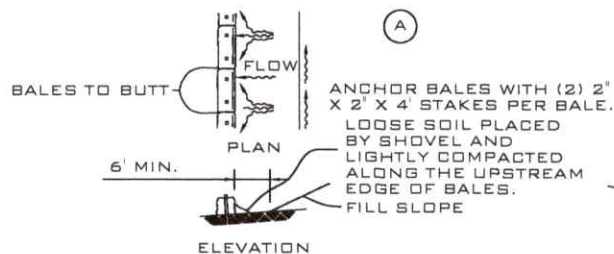
WOVEN FILTER FABRIC IN ABSENCE OF ESTABLISHED GRASS (APPROX. 12" X 12"). SECURE EDGES BY ENTRENCHING AND EXTEND UNDER BAGS AND BALES. FABRIC SHALL MEET THE REQUIREMENTS OF SECTION 985 OF THE STANDARD SPECIFICATIONS. CONST. OF FABRIC TO BE INCLUDED IN THE CONTRACT UNIT PRICE FOR BALED HAY OR STRAW, TN.



NOTE: BALES TO BE STAKED AT THE DIRECTION OF THE ENGINEER.



#### BALES BACKED BY FENCE



#### BARRIERS FOR FILL SLOPES

1. ANCHOR LOWER BALES W/ (2) 2" X 2" X 4" STAKES PER BALE.
2. ANCHOR TOP BALES TO LOWER BALES W/ (2) 2" X 2" X 4" STAKES PER BALE.

#### ELEVATION

APPLICATION AND SPACING: THE USE OF TYPES I & II BALE BARRIERS SHOULD BE LIMITED TO THE CONDITIONS OUTLINED IN CHART 1, SHEET 1 OF 3, INDEX NO. 102

#### TYPE II

#### ELEVATION

#### TYPE I

#### BARRIER FOR UNPAVED DITCHES

1 HAY BALE BARRIER DETAIL  
G5 N.T.S.



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SHEET TITLE

EROSION CONTROL DETAILS

CLIENT

DELARBER RESIDENCE DOCK DESIGN

JOB NO.

19-717-01

SHEET NO.

G5

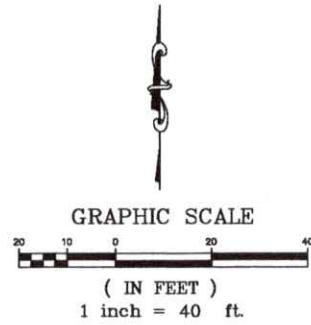
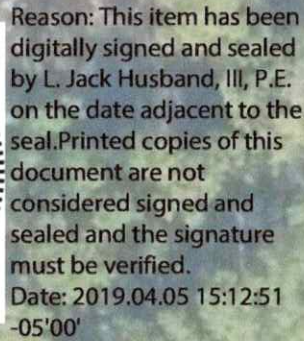
85



C-



MAN MADE  
CANAL (TYP.)



## AERIAL OF EXISTING SITE CONDITIONS

## DELARBER RESIDENCE DOCK DESIGN

19-717-01

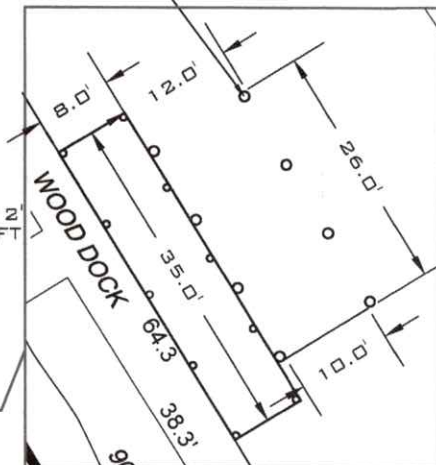
C 1



DOCK TABLE	
AREA OF EXISTING DOCK OVER WATER	404.13 SF
AREA OF PROPOSED DOCK ADDITION	280.00 SF
AREA OF PROPOSED COVERED BOAT LIFT	312.00 SF
TOTAL DOCK ADDITION AREA	996.13 SF

C-

PROPOSED 26' X 12' COVERED BOAT LIFT



PROPOSED 35' X 8' DOCK ADDITION

PROPOSED 26' X 12' COVERED BOAT LIFT

DOCK ADDITION DETAILS

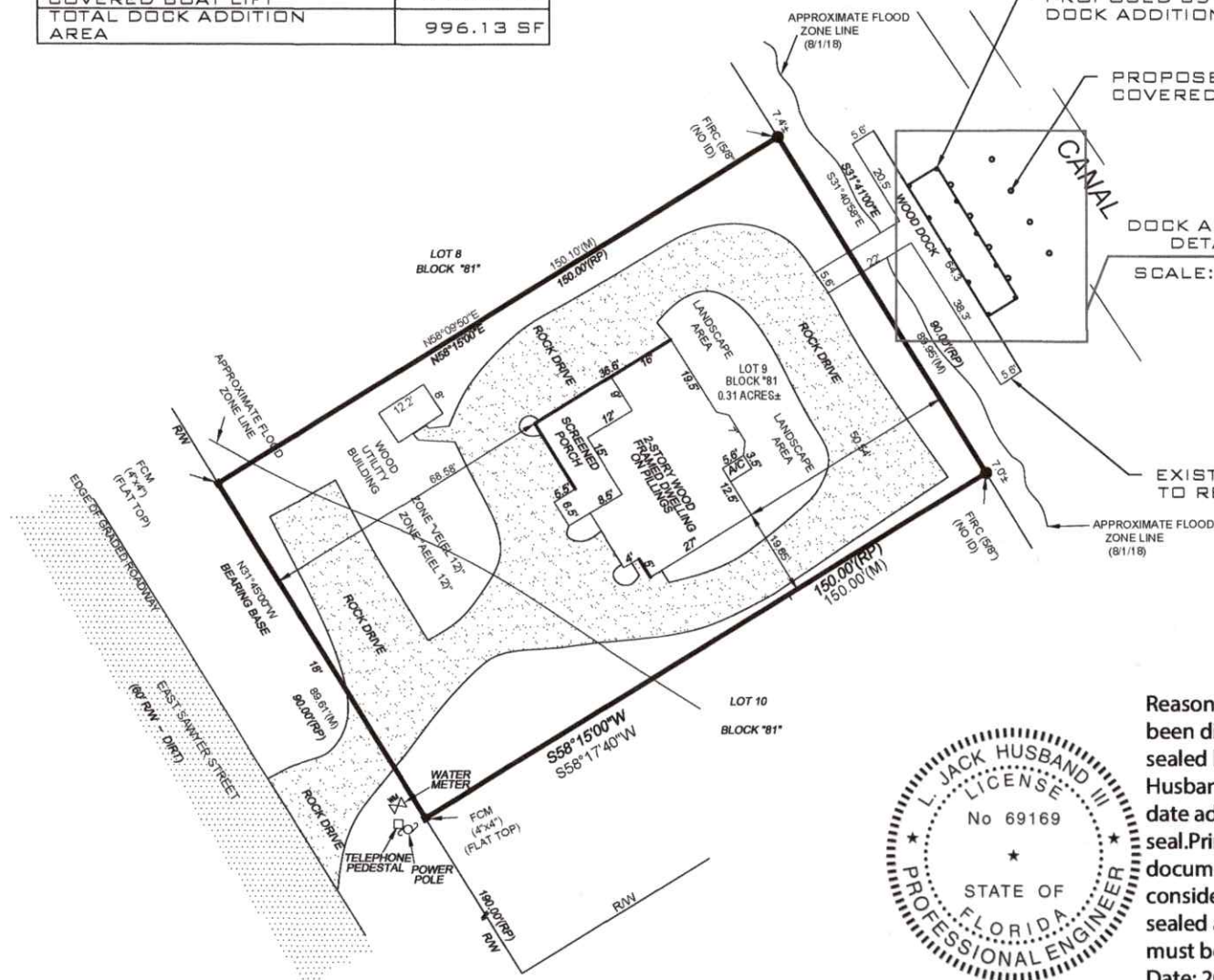
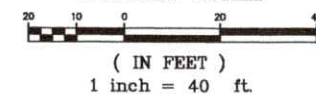
SCALE: 1"=20'

EXISTING DOCK TO REMAIN

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GRAPHIC SCALE



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SHEET TITLE

SITE PLAN

CLIENT

DELARBER RESIDENCE DOCK DESIGN

JOB NO.

19-717-01

SHEET NO.

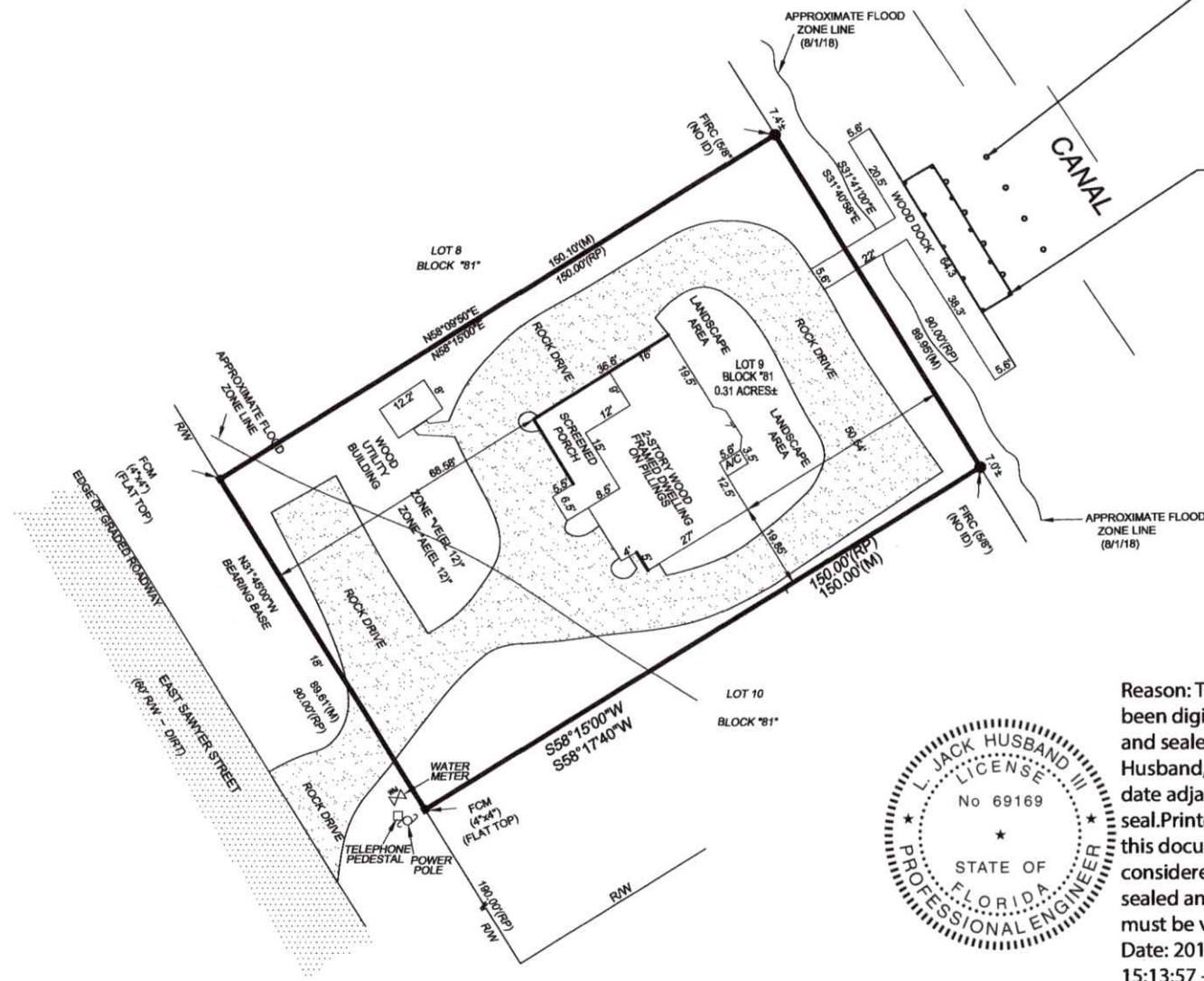
C2

87

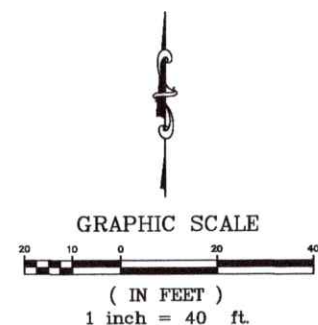
C-

PROPOSED 10" TIP (12" BUTT) P.T. #2 S.P. PILES W/ 14'-0" EMBEDMENT (TYP. OF 8 @ BOAT LIFT LOCATION) (APPROX. 2.74 CU. YDS. OF DREDGE MATERIAL)

PROPOSED 6" TIP (8" BUTT) P.T. #2 S.P. PILES W/ 10'-0" EMBEDMENT (TYP. OF 10 @ DOCK LOCATION) (APPROX. 0.99 CU. YDS. OF DREDGE MATERIAL)



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SHEET TITLE	DREDGE & FILL VOLUME
CLIENT	DELARBER RESIDENCE DOCK DESIGN

JOB NO.	19-717-01
SHEET NO.	C3



C-



GRAPHIC SCALE

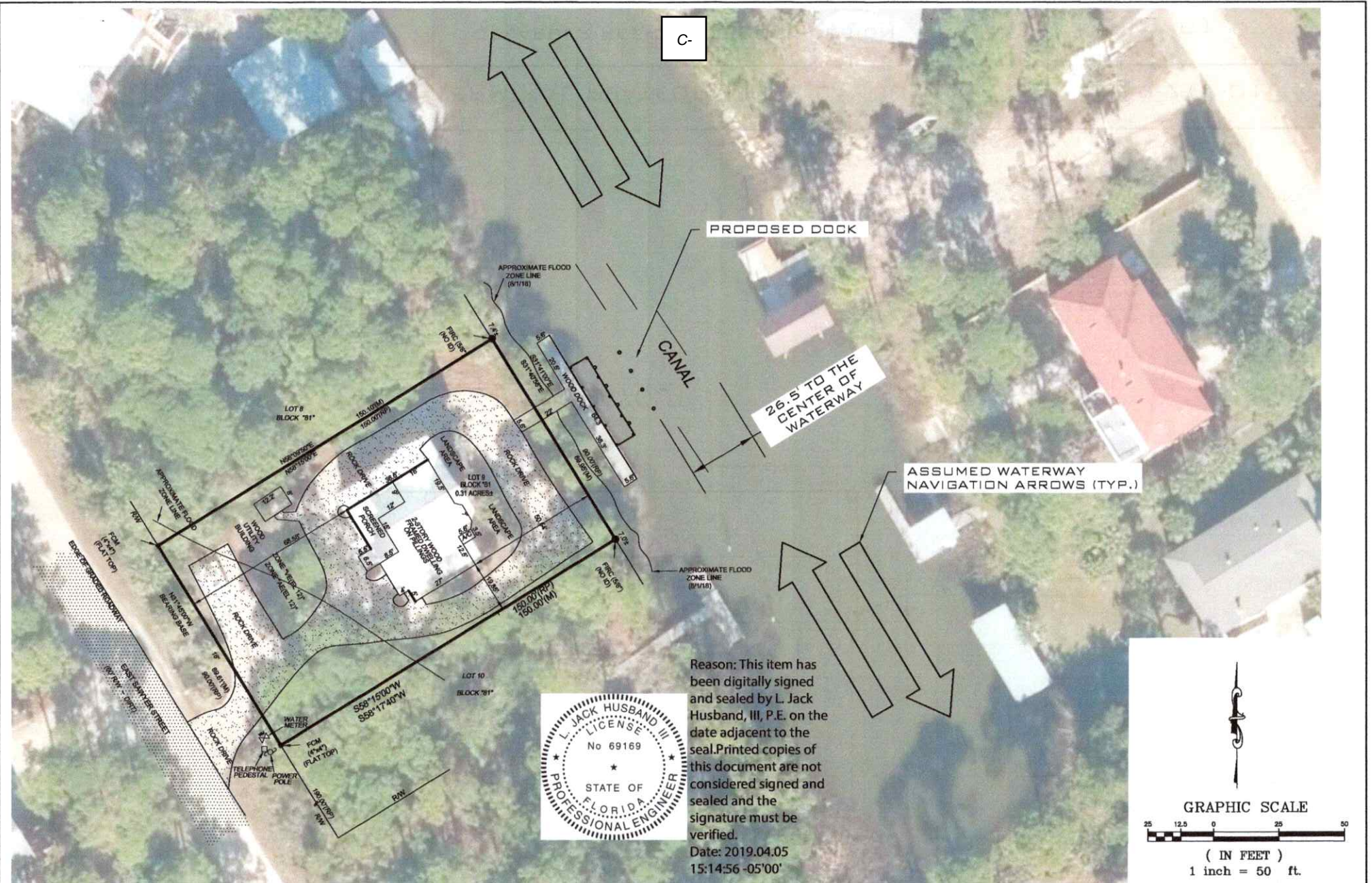
( IN FEET )

1 inch = 40 ft.



89





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SHEET TITLE

PROPOSED WATERWAY NAVIGATION

CLIENT

DELARBER RESIDENCE DOCK DESIGN

JOB NO.

19-717-01

SHEET NO.

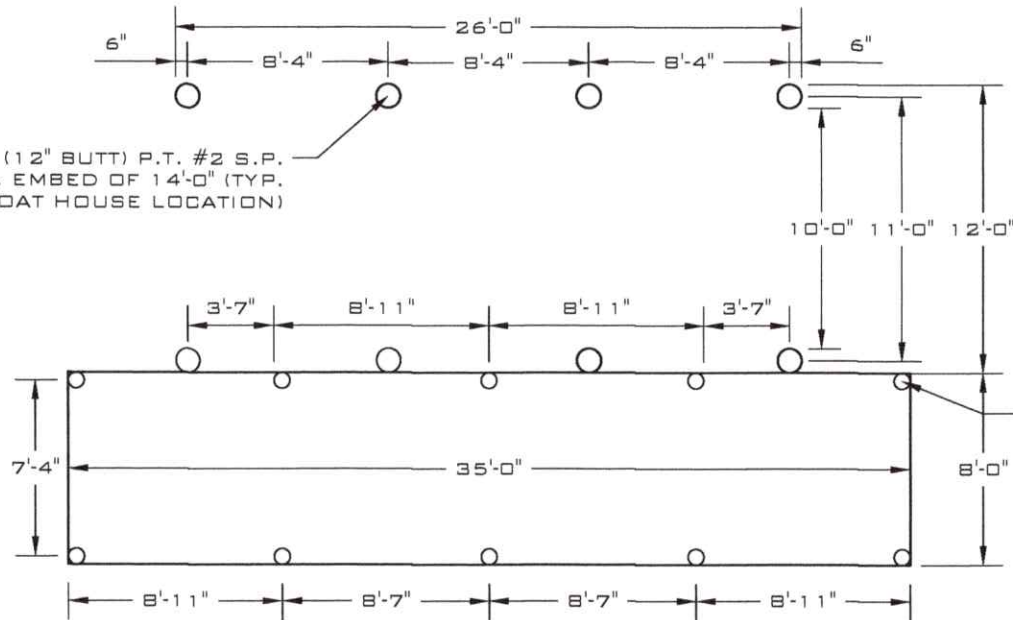
C5

90



C-

10" TIP (12" BUTT) P.T. #2 S.P.  
PILES MIN. EMBED OF 14'-0" (TYP.  
OF 8 @ BOAT HOUSE LOCATION)



1  
S1

## PIILING LAYOUT

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### NOTES:

1. ALL TIMBER PILES SHALL BE 2.3 CCA TREATMENT OR BETTER.
2. ALL FRAMING MATERIALS SHALL BE CRITICAL STRUCTURE MCA TREATMENT OR BETTER.
3. ALL DECK BOARDS SHALL BE 0.15 MCA TREATMENT OR BETTER.
4. ALL HARDWARE SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZE, STAINLESS STEEL IS RECOMMENDED.
5. ALL TIMBER SHALL BE #2 SOUTHERN PINE (MIN.)



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SHEET TITLE

TERMINAL PLATFORM PILE LAYOUT

CLIENT

DELARBER RESIDENCE DOCK DESIGN

JOB NO.

19-717-01

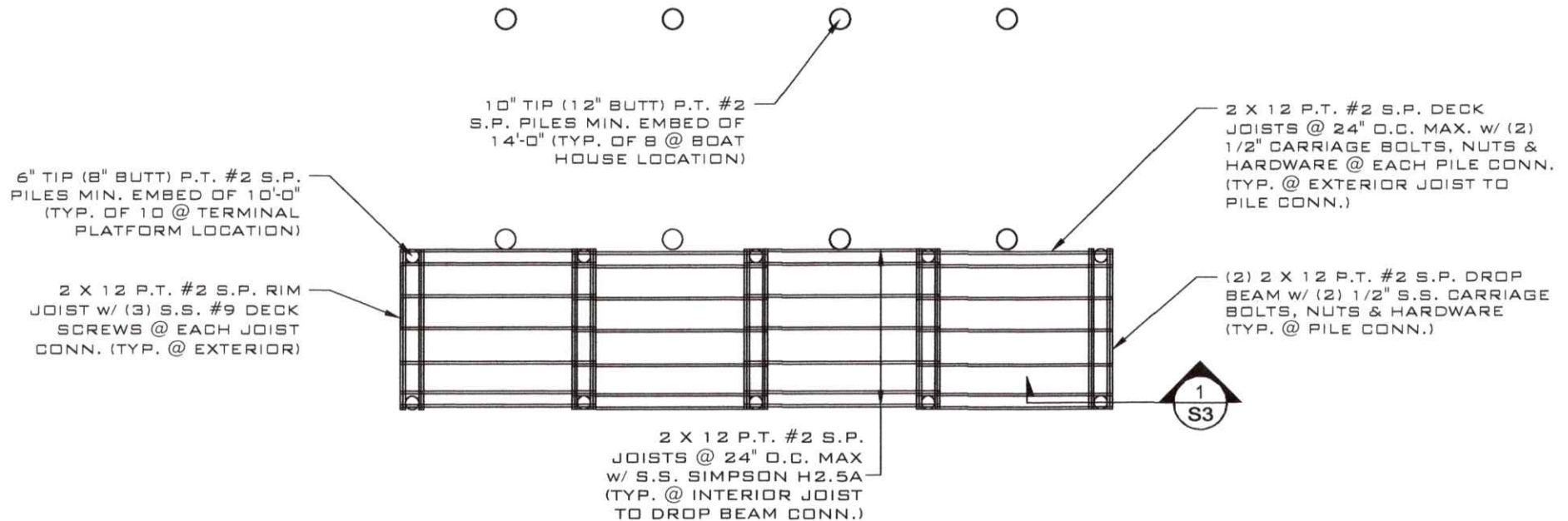
SHEET NO.

S1

91



C-



# 1 DOCK FRAMING PLAN

S2 SCALE: N.T.S.



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## NOTES:

1. ALL TIMBER PILES SHALL BE 2.3 CCA TREATMENT OR BETTER.
2. ALL FRAMING MATERIALS SHALL BE CRITICAL STRUCTURE MCA TREATMENT OR BETTER.
3. ALL DECK BOARDS SHALL BE 0.15 MCA TREATMENT OR BETTER.
4. ALL HARDWARE SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZE, STAINLESS STEEL IS RECOMMENDED.
5. ALL TIMBER SHALL BE #2 SOUTHERN PINE (MIN.)



**SCE**  
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SHEET TITLE

TERMINAL PLATFORM FRAMING PLAN

CLIENT

DELARBER RESIDENCE DOCK DESIGN

JOB NO.

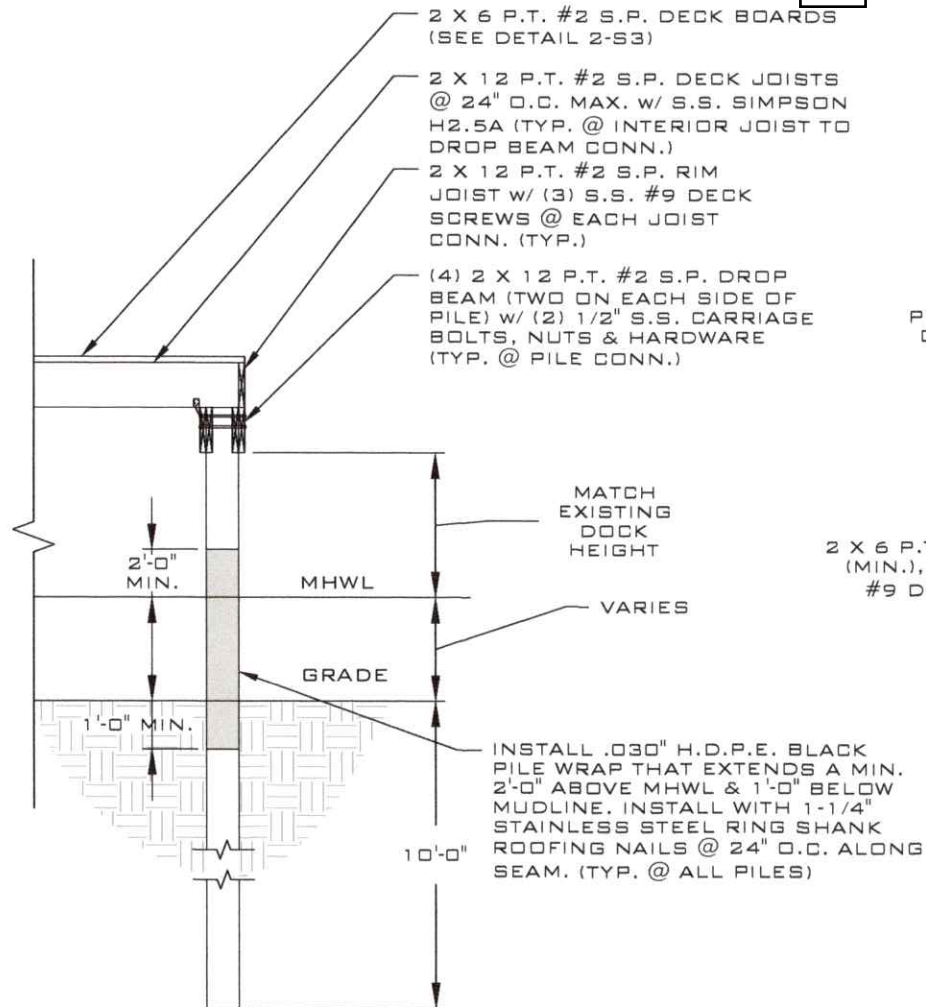
19-717-01

SHEET NO.

S2

92

C-



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the date adjacent to the  
seal. Printed copies of this  
document are not considered  
signed and sealed and the  
signature must be verified.  
Date: 2019.04.05 15:16:20  
-05'00'

PILE SIZE VARIES, SEE  
DOCK FRAMING PLAN.

2 X 6 P.T. S.P. DECK BOARDS  
(MIN.), ATTACH W/ (2) 3" S.S.  
#9 DECK SCREWS @ EACH  
JOIST CONN. (TYP.)

1/2" SPACING  
BETWEEN DECK  
BOARDS (TYP.)

## 2 DECK BOARD DETAIL

SCALE: 1/4" = 1'

### NOTE:

1. ALL TIMBER PILES SHALL BE 2.3 CCA TREATMENT OR BETTER.
2. ALL FRAMING MATERIALS SHALL BE CRITICAL STRUCTURE MCA TREATMENT OR BETTER.
3. ALL DECK BOARDS SHALL BE 0.15 MCA TREATMENT OR BETTER.
4. ALL HARDWARE SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZE, STAINLESS STEEL IS RECOMMENDED.
5. ALL TIMBER SHALL BE #2 SOUTHERN PINE (MIN.)

## 1 TYP. TERMINAL PLATFORM SECTION

SCALE: N.T.S.



SOUTHEASTERN  
CONSULTING ENGINEERS, INC.  
P.O. BOX 141  
WEWAHITCHKA, FLORIDA 32465  
850.639.3860

SHEET TITLE

DOCK FRAMING DETAILS

CLIENT

DELARBER RESIDENCE DOCK DESIGN

JOB NO.

19-717-01

SHEET NO.

S3

93



C-

(2) 2 X 12 P.T. #2 S.P.  
HEADER ATTACH TO PILE  
W/ (2) 1/2" S.S. CARRIAGE  
BOLTS & HARDWARE (TYP.)

10" TIP (12" BUTT)  
P.T. #2 S.P. PILES  
(TYP. OF 8 BELOW)

(2) 2 X 12 P.T. #2  
S.P. RIDGE BEAM  
(TYP.)

2 X 8 P.T. S.Y.P. RAFTERS @ 16" O.C.

(2) 2 X 12 P.T. #2 S.P. HEADER  
ATTACH TO PILE W/ (2) 1/2" S.S.  
CARRIAGE BOLTS, NUTS &  
HARDWARE (TYP.)

DOCK ADDITION  
OUTLINE BELOW (TYP.)



Reason: This item has  
been digitally signed  
and sealed by L. Jack  
Husband, III, P.E. on the  
date adjacent to the  
seal. Printed copies of  
this document are not  
considered signed and  
sealed and the  
signature must be  
verified.

Date: 2019.04.05  
15:16:51 -05'00'

1  
S4

## DOCK ROOF FRAMING PLAN

SCALE: N.T.S.

### NOTE:

1. ALL TIMBER PILES SHALL BE 2.3 CCA TREATMENT OR BETTER.
2. ALL FRAMING MATERIALS SHALL BE CRITICAL STRUCTURE MCA TREATMENT OR BETTER.
3. ALL DECK BOARDS SHALL BE 0.15 MCA TREATMENT OR BETTER.
4. ALL HARDWARE SHALL BE STAINLESS STEEL OR HOT DIPPED GALVANIZE, STAINLESS STEEL IS RECOMMENDED.
5. ALL TIMBER SHALL BE #2 SOUTHERN PINE (MIN.)



SOUTHEASTERN  
CONSULTING ENGINEERS, INC.  
P.O. BOX 141  
WEWAHITCHKA, FLORIDA 32465  
850.639.3860

SHEET TITLE

DOCK ROOF FRAMING PLAN

CLIENT

DELARBER RESIDENCE DOCK DESIGN

JOB NO.

19-717-01

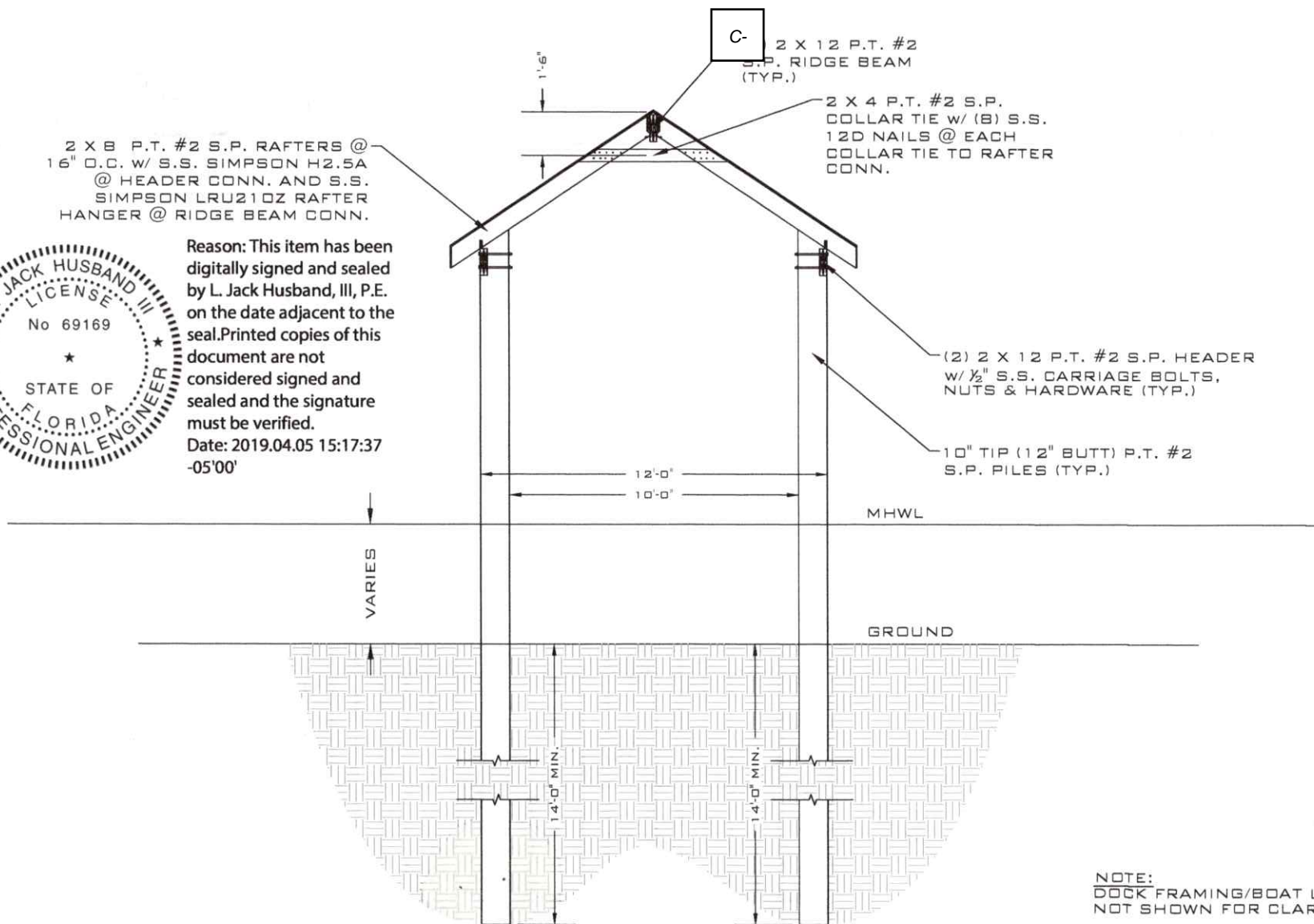
SHEET NO.

S4

94



Reason: This item has been digitally signed and sealed by L. Jack Husband, III, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified.  
Date: 2019.04.05 15:17:37 -05'00'



NOTE:  
DOCK FRAMING/BOAT LIFT  
NOT SHOWN FOR CLARITY



## DOCK ROOF FRAMING SECTION

SCALE: N.T.S.

SHEET TITLE

DOCK ROOF FRAMING SECTION

CLIENT

DELARBER RESIDENCE DOCK DESIGN

JOB NO.

19-717-01

SHEET NO.

S5





# FLORIDA DEPARTMENT OF Environmental Protection

Northwest District  
160 W. Government Street, Suite 308  
Pensacola, FL 32502

Ron DeSantis  
Governor

Jeanette Nuñez  
Lt. Governor

Noah Valenstein  
Secretary

April 9, 2019

Richard Delarber  
323 E Sawyer St  
Eastpoint, Florida 32328  
[richarddelarber@aol.com](mailto:richarddelarber@aol.com)

File No.: 0175211-002-EE/19, Franklin County

Dear Mr. Delarber:

On March 29, 2019, we received your request for verification of exemption to perform the following activities:

To construct an additional 280 square foot dock and 312 square foot covered boat lift to an existing dock for a combined area of less than 1,000 square feet within a man-made canal adjacent and connected to the Apalachicola Bay Aquatic Preserve, Class II Outstanding Florida Waters, Approved Shellfish Harvesting Area June through August. The project is located at 323 East Sawyer Street, Eastpoint, Florida 32328, Parcel No. 29-09S-06W-7315-0081-0090, in Section 36, Township 9 South, Range 7 West in Franklin County; 29°39'17.91" North Latitude, 84°53'29.53" West Longitude.

Your request has been reviewed to determine whether it qualifies for (1) regulatory exemption, (2) proprietary authorization (related to state-owned submerged lands), and (3) federal approval that may be necessary for work in wetlands or waters of the United States.

**Your project qualifies for all three.** However, this letter does not relieve you from the responsibility of obtaining other federal, state, or local authorizations that may be required for the activity.

If you change the project from what you submitted, the authorization(s) granted may no longer be valid at the time of commencement of the project. Please contact us prior to beginning your project if you wish to make any changes.

## 1. Regulatory Review – Verified

Based on the information submitted, the Department has verified that the activity as proposed is exempt, under Rule 62-330.051(5)(c), Florida Administrative Code (F.A.C.) and under Section

403.813(1)(i), Florida Statutes (F.S.) from the need to obtain a regulatory permit under Part IV of Chapter 373 of the Florida Statutes.

This exemption verification is based on the information you provided the Department and the statutes and rules in effect when the information was submitted. This verification may not be valid if site conditions materially change, the project design is modified, or the statutes or rules governing the exempt activity are amended. In the event you need to re-verify the exempt status for the activity, a new request and verification fee will be required. Any substantial modifications to the project design should be submitted to the Department for review, as changes may result in a permit being required.

## **2. Proprietary Review –Not Required**

The activity does not appear to be located on sovereign submerged lands, and does not require further authorization under Chapters 253 or 258, F.S. or Chapters 18-20 or 18-21, F.A.C.

## **3. Federal Review – SPGP Approved**

Your proposed activity as outlined in your application and attached drawings qualifies for Federal authorization pursuant to the State Programmatic General Permit V-R1, and a **SEPARATE permit or authorization will not be required** from the Corps. Please note that the Federal authorization expires on July 26, 2021. However, your authorization may remain in effect for up to 1 additional year, if provisions of Special Condition 19 of the SPGP V-R1 permit instrument are met. You, as permittee, are required to adhere to all General Conditions and Special Conditions that may apply to your project. Special conditions required for your project are attached. A copy of the SPGP V-R1 with all terms and conditions and the General Conditions may be found at <https://www.saj.usace.army.mil/Missions/Regulatory/Source-Book>.

Authority for review - an agreement with the USACOE entitled “Coordination Agreement Between the U. S. Army Corps of Engineers (Jacksonville District) and the Florida Department of Environmental Protection (or Duly Authorized Designee), State Programmatic General Permit”, Section 10 of the Rivers and Harbor Act of 1899, and Section 404 of the Clean Water Act.

## **Additional Information**

Please retain this letter. The activities may be inspected by authorized state personnel in the future to ensure compliance with appropriate statutes and administrative codes. If the activities are not in compliance, you may be subject to penalties under Chapter 373, F.S. and Chapter 18-14, F.A.C.

## **NOTICE OF RIGHTS**

This action is final and effective on the date filed with the Clerk of the Department unless a petition for an administrative hearing is timely filed under Sections 120.569 and 120.57, F.S. before the deadline for filing a petition. On the filing of a timely and sufficient petition, this action will not be final and effective until further order of the Department. Because the



administrative hearing process is designed to formulate final agency action, the hearing process may result in a modification of the agency action or even denial of the application.

#### Petition for Administrative Hearing

A person whose substantial interests are affected by the Department's action may petition for an administrative proceeding (hearing) under Sections 120.569 and 120.57, F.S. Pursuant to Rules 28-106.201 and 28-106.301, F.A.C., a petition for an administrative hearing must contain the following information:

- (a) The name and address of each agency affected and each agency's file or identification number, if known;
- (b) The name, address, and telephone number of the petitioner; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding; and an explanation of how the petitioner's substantial interests are or will be affected by the agency determination;
- (c) A statement of when and how the petitioner received notice of the agency decision;
- (d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate;
- (e) A concise statement of the ultimate facts alleged, including the specific facts that the petitioner contends warrant reversal or modification of the agency's proposed action;
- (f) A statement of the specific rules or statutes that the petitioner contends require reversal or modification of the agency's proposed action, including an explanation of how the alleged facts relate to the specific rules or statutes; and
- (g) A statement of the relief sought by the petitioner, stating precisely the action that the petitioner wishes the agency to take with respect to the agency's proposed action.

The petition must be filed (received by the Clerk) in the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, or via electronic correspondence at [Agency\\_Clerk@FloridaDEP.gov](mailto:Agency_Clerk@FloridaDEP.gov). Also, a copy of the petition shall be mailed to the applicant at the address indicated above at the time of filing.

#### Time Period for Filing a Petition

In accordance with Rule 62-110.106(3), F.A.C., petitions for an administrative hearing by the applicant and persons entitled to written notice under Section 120.60(3), F.S., must be filed within 21 days of receipt of this written notice. Petitions filed by any persons other than the applicant, and other than those entitled to written notice under Section 120.60(3), F.S., must be filed within 21 days of publication of the notice or within 21 days of receipt of the written notice, whichever occurs first. The failure to file a petition within the appropriate time period shall constitute a waiver of that person's right to request an administrative determination (hearing) under Sections 120.569 and 120.57, F.S. or to intervene in this proceeding and participate as a party to it. Any subsequent intervention (in a proceeding initiated by another party) will be only at the discretion of the presiding officer upon the filing of a motion in compliance with Rule 28-106.205, F.A.C.

The failure to file a petition within the appropriate time period shall constitute a waiver of that person's right to request an administrative determination (hearing) under Sections 120.569 and 120.57, F.S., or to intervene in this proceeding and participate as a party to it. Any subsequent intervention (in a proceeding initiated by another party) will be only at the discretion of the presiding officer upon the filing of a motion in compliance with Rule 28-106.205, F.A.C. If you do not publish notice of this action, this waiver will not apply to persons who have not received written notice of this action.

#### Extension of Time

Under Rule 62-110.106(4), F.A.C., a person whose substantial interests are affected by the Department's action may also request an extension of time to file a petition for an administrative hearing. The Department may, for good cause shown, grant the request for an extension of time. Requests for extension of time must be filed with the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, or via electronic correspondence at [Agency\\_Clerk@FloridaDEP.gov](mailto:Agency_Clerk@FloridaDEP.gov), before the deadline for filing a petition for an administrative hearing. A timely request for extension of time shall toll the running of the time period for filing a petition until the request is acted upon.

#### Mediation

Mediation is not available in this proceeding.

#### FLAWAC Review

The applicant, or any party within the meaning of Section 373.114(1)(a) or 373.4275, F.S., may also seek appellate review of this order before the Land and Water Adjudicatory Commission under Section 373.114(1) or 373.4275, F.S. Requests for review before the Land and Water Adjudicatory Commission must be filed with the Secretary of the Commission and served on the Department within 20 days from the date when this order is filed with the Clerk of the Department.

#### Judicial Review

Once this decision becomes final, any party to this action has the right to seek judicial review pursuant to Section 120.68, F.S. by filing a Notice of Appeal pursuant to Florida Rules of Appellate Procedure 9.110 and 9.190 with the Clerk of the Department in the Office of General Counsel (Station #35, 3900 Commonwealth Boulevard, Tallahassee, Florida 32399-3000) and by filing a copy of the Notice of Appeal accompanied by the applicable filing fees with the appropriate district court of appeal. The notice must be filed within 30 days from the date this action is filed with the Clerk of the Department.



If you have any questions regarding this matter, please contact Whitney Bretana at the letterhead address, at (850)595-0658, or at [Whitney.Bretana@FloridaDEP.gov](mailto:Whitney.Bretana@FloridaDEP.gov)

## EXECUTION AND CLERKING

Executed in Orlando, Florida.

STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION




---

Whitney Bretana  
Environmental Specialist  
Submerged Lands and Environmental Resources Program

### Attachments:

1. Rule 62-330.051(5)(c), F.A.C. and Section 403.813(1)(i), F.S., 1 page
2. Special Conditions for Federal Authorization for SPGP V-R1, 7 pages
3. General Conditions for Federal Authorization for SPGP V-R1, 2 pages
4. SPGP V: Other SPGP Attachments, 2 pages
5. Project Drawings, 16 pages

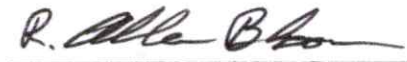
### CERTIFICATE OF SERVICE

The undersigned duly designated deputy clerk hereby certifies that this document and all attachments were sent on the filing date below to the following listed persons:

Hunter Baumgardner, Southeastern Consulting Engineers,  
[hunter.baumgardner@southeasternce.com](mailto:hunter.baumgardner@southeasternce.com)  
Franklin County, [amyh@fairpoint.net](mailto:amyh@fairpoint.net), [michael@franklincountyflorida.com](mailto:michael@franklincountyflorida.com)

### FILING AND ACKNOWLEDGMENT

FILED, on this date, pursuant to Section 120.52, F.S., with the designated Department Clerk, receipt of which is hereby acknowledged.



Clerk

April 9, 2019  
Date

### **62-330.051 Exempt Activities.**

The activities meeting the limitations and restrictions below are exempt from permitting. However, if located in, on, or over state-owned submerged lands, they are subject to a separate authorization under chapters 253 and 258, F.S., as applicable.

#### **(5) Dock, Pier, Boat Ramp and Other Boating-related Work –**

(c) Construction of private docks or piers of 1,000 square feet or less of over-water surface area in artificial waters in accordance with section 403.813(1)(i), F.S., and within residential canal systems legally in existence under chapter 403 or part IV of chapter 373, F.S. This includes associated structures such as roofs and boat lifts, provided the cumulative square footage of the dock or pier and all associated structures located over wetlands and other surface waters does not exceed 1,000 square feet.

### **403.813 Permits issued at district centers; exceptions.—**

(1) A permit is not required under this chapter, chapter 373, chapter 61-691, Laws of Florida, or chapter 25214 or chapter 25270, 1949, Laws of Florida, for activities associated with the following types of projects; however, except as otherwise provided in this subsection, this subsection does not relieve an applicant from any requirement to obtain permission to use or occupy lands owned by the Board of Trustees of the Internal Improvement Trust Fund or a water management district in its governmental or proprietary capacity or from complying with applicable local pollution control programs authorized under this chapter or other requirements of county and municipal governments:

(i) The construction of private docks of 1,000 square feet or less of over-water surface area and seawalls in artificially created waterways where such construction will not violate existing water quality standards, impede navigation, or affect flood control. This exemption does not apply to the construction of vertical seawalls in estuaries or lagoons unless the proposed construction is within an existing manmade canal where the shoreline is currently occupied in whole or part by vertical seawalls.



### **Special Conditions for Federal Authorization for SPGP V-R1**

**Note:** JAXBO (Jacksonville District's Programmatic Biological Opinion), referenced throughout, may be found online in the Jacksonville District Regulatory Division Sourcebook, or at <http://cdm16021.contentdm.oclc.org/utis/getfile/collection/p16021coll3/id/577>.

The SPGP V-R1 instrument and all attachments may be found online through the Sourcebook, or at <https://www.saj.usace.army.mil/SPGP/>

In addition to the conditions specified above, the following Special Conditions apply to all projects reviewed and/or authorized under the SPGP V-R1.

### **Special Conditions for All Projects**

1. Authorization, design and construction must adhere to the terms of the SPGP V-R1 instrument including the Procedure and Work Authorized sections.
2. Design and construction must adhere to the PDCs for In-Water Activities (Attachment 6, from PDCs AP.7 through AP11, inclusive, of JAXBO) (Reference: JAXBO PDC AP.1.).
3. All activities performed during daylight hours (Reference: JAXBO PDC AP.6.).
4. For all projects involving the installation of piles or sheet piles, the maximum number of piles, sheet piles or concrete slab walls or boatlift I-beams installed by impact hammer per day is limited to no more than 5 per day. Any installation of metal pipe or metal sheet pile by impact hammer is not authorized (Reference: Categories D and E of JAXBO PDCs for In-Water Noise from Pile and Sheet Pile Installation, page 86.).
5. Projects within the boundary of the NOAA Florida Keys National Marine Sanctuary require prior approval from the Sanctuary (Reference: JAXBO PDCs AP.14 and A1.6).
6. Notifications to the Corps. For all authorizations under this SPGP V-R1, including Self-Certifications, the Permittee shall provide the following notifications to the Corps:
  - a. Commencement Notification. Within 10 days before the date of initiating the work authorized by this permit or for each phase of the authorized project, the Permittee shall provide a written notification of the date of commencement of authorized work to the Corps.
  - b. Corps Self-Certification Statement of Compliance form. Within 60 days of completion of the work authorized by this permit, the Permittee shall complete the "Self-Certification Statement of Compliance" form (Attachment 32) and submit it to the Corps. In the event that the completed work deviates in any manner from the authorized work, the Permittee shall describe the deviations between the work authorized by this permit and the work as constructed on the "Self-Certification Statement of Compliance" form. The description of any deviations on the "Self-Certification Statement of Compliance" form does not constitute approval of any deviations by the Corps.
  - c. Permit Transfer. When the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new owner(s) of the property. To validate the transfer of

this permit and the associated liabilities associated with compliance with its terms and conditions, have the transferee sign and date the enclosed form (Attachment 2).

- d. Reporting Address. The Permittee shall submit all reports, notifications, documentation, and correspondence required by the general and special conditions of this permit to the following address.
  - (1) For standard mail: U.S. Army Corps of Engineers, Regulatory Division, Enforcement Section, P.O. Box 4970, Jacksonville, FL, 32232-0019.
  - (2) For electronic mail: [SAJ-RD-Enforcement@usace.army.mil](mailto:SAJ-RD-Enforcement@usace.army.mil) (not to exceed 10 MB). The Permittee shall reference this permit number, SAJ- 2015-02575 on all submittals.
7. The District Engineer reserves the right to require that any request for authorization under this SPGP V-R1 be evaluated as an Individual Permit. Conformance with the terms and conditions of the SPGP V-R1 does not automatically guarantee Federal authorization.
8. On a case-by-case basis, the Corps may impose additional Special Conditions which are deemed necessary to minimize adverse environmental impacts.
9. Failure to comply with all conditions of the SPGP V-R1 constitutes a violation of the Federal authorization.
10. No structure or work shall adversely affect or disturb properties listed in the National Register of Historic Places or those eligible for inclusion in the National Register. Prior to the start of work, the Applicant/Permittee or other party on the Applicant's/Permittee's behalf, shall conduct a search of known historical properties by contracting a professional archaeologist, and contacting the Florida Master Site File at 850-245-6440 or [SiteFile@dos.state.fl.us](mailto:SiteFile@dos.state.fl.us). The Applicant/Permittee can also research sites in the National Register Information System (NRIS). Information can be found at <http://www.cr.nps.gov/nr/research>.
  - a. If, during the initial ground disturbing activities and construction work, there are archaeological/cultural materials unearthed (which shall include, but not be limited to: pottery, modified shell, flora, fauna, human remains, ceramics, stone tools or metal implements, dugout canoes or any other physical remains that could be associated with Native American cultures or early colonial or American settlement), the Permittee shall immediately stop all work in the vicinity and notify the Compliance and Review staff of the State Historic Preservation Office at 850-245-6333 and the Corps Regulatory Project Manager to assess the significance of the discovery and devise appropriate actions, including salvage operations. Based on the circumstances of the discovery, equity to all parties, and considerations of the public interest, the Corps may modify, suspend, or revoke the permit in accordance with 33 C.F.R. § 325.7.
  - b. In the unlikely event that human remains are identified, the remains will be treated in accordance with Section 872.05, Florida Statutes; all work in the vicinity shall immediately cease and the local law authority, and the State Archaeologist (850-245-6444) and the Corps Regulatory Project Manager shall immediately be notified. Such



activity shall not resume unless specifically authorized by the State Archaeologist and the Corps.

11. The Permittee is responsible for obtaining any “take” permits required under the U.S. Fish and Wildlife Service’s regulations governing compliance with these laws. The Permittee should contact the appropriate local office of the U.S. Fish and Wildlife Service to determine if such “take” permits are required for a particular activity.
12. For Projects authorized under this SPGP V-R1 in navigable waters of the U.S., the Permittee understands and agrees that, if future operations by the United States require the removal, relocation, or other alteration, of the structures or work herein authorized, or if, in the opinion of the Secretary of the Army or his authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the Permittee will be required, upon due notice from the Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal or alteration.
13. The SPGP V-R1 will be valid through July 26, 2021 unless suspended or revoked by issuance of a public notice by the District Engineer. The Corps, in conjunction with the Federal resource agencies, will conduct periodic reviews to ensure that continuation of the permit during the period ending July 26, 2021, is not contrary to the public interest. The SPGP V-R1 will not be extended beyond July 26, 2021, but may be replaced by a new SPGP. If revocation occurs, all future applications for activities covered by the SPGP V-R1 will be evaluated by the Corps.
14. If the SPGP V-R1 expires, is revoked, or is terminated prior to completion of the authorized work, authorization of activities which have commenced or are under contract to commence in reliance upon the SPGP V-R1 will remain in effect provided the activity is completed within 12 months of the date the SPGP V-R1 expired or was revoked.

**Special Conditions for Docks, Piers, Associated Facilities, and other Minor Piling-Supported Structures**

1. For temporary structures associated with marine events. Upon completion of the event, these structures must be removed and, to the maximum extent practical, the site must be restored to pre-construction elevations. Water depths in the area of marine events must be deep enough to support at least 5 ft of water depth under the keel of a vessel and between the keel of a vessel and Endangered Species Act listed coral colonies, if present, when transiting to the mooring areas (Reference: JAXBO PDC A2.1.4.).
2. Educational Signs. For commercial, multi-family, or public facilities, and marine events, signs must be posted as described below (Reference: These replicate JAXBO PDCs A.2.2 and A.2.2.1 to A.2.2.3., inclusive, within the table PDCs Specific to Activity 2 - Pile Supported Structures and Anchored Buoys, starting on page 112.):
  - a. (A2.2.) For commercial, multi-family, or public facilities, and marine events, signs must be posted in a visible location(s), alerting users of listed species in the area susceptible to vessel strikes and hook-and-line captures. The most current version of the signs that must



be downloaded and sign installation guidance are available at:

([http://sero.nmfs.noaa.gov/protected\\_resources/section\\_7/protected\\_species\\_educational\\_signs/index.html](http://sero.nmfs.noaa.gov/protected_resources/section_7/protected_species_educational_signs/index.html)). The signs required to be posted by area are stated below:

- (1) (A2.2.1.) All projects in Florida shall use the Save Sea Turtle, Sawfish, and Dolphin sign. These signs shall include contact information to the sea turtle and marine mammal stranding networks and smalltooth sawfish encounter database.
- (2) (A2.2.2.) Projects within the North Atlantic right whale educational sign zone shall post the Help Protect North Atlantic Right Whales sign.
- (3) (A2.2.3.) On the east coast of Florida, projects located within the St. Johns River and those occurring north of the St. Johns River to the Florida-Georgia line shall post the Report Sturgeon sign. On the west coast of Florida, projects occurring from the Cedar Key, Florida north to the Florida-Alabama line.

3. Monofilament Recycling Bins. For commercial, multi-family, or public facilities, monofilament recycling bins must be provided as described below (Reference: The below replicates PDC A.2.3 within the table PDCs Specific to Activity 2 - Pile Supported Structures and Anchored Buoys, the PDC itself on page 113 of the JAXBO.):

- a. (A2.3.) For commercial, multi-family, or public facilities, monofilament recycling bins must be provided at the docking facility to reduce the risk of turtle or sawfish entanglement in, or ingestion of, marine debris. Monofilament recycling bins must:
  - (1) (A2.3.1.) Be constructed and labeled according to the instructions provided at <http://mrrp.myfwc.com>.
  - (2) (A2.3.2.) Be maintained in working order and emptied frequently (according to <http://mrrp.myfwc.com> standards) so that they do not overflow.

4. North Atlantic Right Whale. The attached North Atlantic Right Whale Information Form ([Attachment 27](#)) describes the presence of North Atlantic right whales in the area and the Federal regulations governing the approach to North Atlantic right whales. (The FDEP or Designee will attach this document to their authorizations for a dock project (new construction, repair, or replacement) at a private residence located within 11 nautical miles of North Atlantic right whale critical habitat as measured in a radius from the center of the nearest inlet to open ocean described by [Attachment 29](#), the North Atlantic Right Whale Educational Sign Zones (from Section 2.1.1.4 of JAXBO, pages 31 and 32, inclusive) (Reference: JAXBO PDC A2.4.).

5. Aids to Navigation. Aids to navigation must be approved by and installed in accordance with the requirements of the U.S. Coast Guard (i.e., 33 C.F.R., chapter I, subchapter C, part 66, Section 10 of the Rivers and Harbors Act, and any other pertinent requirements) (Reference: JAXBO PDC A2.5.).

6. Lighting for docks installed within visible distance of ocean beaches. If lighting is necessary, then turtle-friendly lighting shall be installed. Turtle-friendly lighting is explained and examples are provided on the Florida Fish and Wildlife Conservation Commission website: <http://myfwc.com/wildlifehabitats/managed/sea-turtles/lighting/> (Reference: JAXBO PDC A2.8.).



7. Construction Location. Project construction shall take place from uplands or from floating equipment (e.g., barge); prop or wheel-washing is prohibited (Reference: JAXBO PDC A2.9.).
8. Regarding submerged and emergent aquatic vegetation, the design and construction of a Project must comply with the following:
- a. A pile supported structure (i) that is located on a natural waterbody (i.e., outside an artificial waterway that was excavated for boating access and is bordered by residential properties) and (ii) that is within the range of seagrass (estuarine waters within all coastal counties except for Nassau, Duval, St Johns, Flagler and Volusia north of Ponce Inlet), will be constructed to the following standards:
    - (1) Must comply with or provide a higher level of protection than, the protective criteria in the joint U.S. Army Corps of Engineers'/National Marine Fisheries Service's "Construction Guidelines in Florida for Minor Piling-Supported Structures Constructed in or over Submerged Aquatic Vegetation (SAV), Marsh or Mangrove Habitat" updated November 2017 ([Attachment 5](#)).
    - (2) In addition to (1), above, IF the project is within range of Johnson's seagrass (the range of Johnson's seagrass is defined as Turkey Creek/Palm Bay south to central Biscayne Bay in the lagoon systems on the east coast of Florida), THEN the design and construction shall comply with, in some cases, the more restrictive requirements within paragraph 8.c., below (Reference: JAXBO PDC A2.17).
  - b. For all other Projects,
    - (1) Within the range of Johnson's seagrass (the range of Johnson's seagrass is defined as Turkey Creek/Palm Bay south to central Biscayne Bay in the lagoon systems on the east coast of Florida), the presence of submerged aquatic vegetation will be determined utilizing the "Submerged Aquatic Vegetation Survey Guidelines" ([Attachment 7](#)). If no survey performed, aquatic vegetation, including Johnson's seagrass, will be presumed to be present for purposes of this Special Condition.
    - (2) Outside the range of Johnson's seagrass but within the range of seagrass (estuarine waters within all coastal counties except for Nassau, Duval, St Johns, Flagler and Volusia County north of Ponce Inlet) and within tidal waters, the presence of seagrass and tidal freshwater submerged aquatic vegetation will be determined using the "Submerged Aquatic Vegetation Survey Guidelines" ([Attachment 7](#)) unless a site visit or aerial photography observes absence during the growing season (if water depth and clarity allows) or aquatic vegetation has not been found in the vicinity in the past.
    - (3) Pile-supported structures, IF aquatic vegetation is present (including seagrass, tidal freshwater submerged aquatic vegetation and emergent vegetation), THEN must comply with or provide a higher level of protection than, the protective criteria in the joint U.S. Army Corps of Engineers'/National Marine Fisheries Service's "Construction Guidelines in Florida for Minor Piling-Supported Structures Constructed in or over Submerged Aquatic Vegetation (SAV), Marsh or Mangrove Habitat" updated November 2017 ([Attachment 5](#)).
    - (4) In addition to (1) to (3) above, IF the proposed dock or proposed structure is within range of Johnson's seagrass (the range of Johnson's seagrass is defined as Turkey Creek/Palm Bay south to central Biscayne Bay in the lagoon systems on the east coast of Florida), and IF the proposed dock or proposed structure falls within the following



scenarios, THEN the design and construction shall comply with, in some cases, the more restrictive requirements within paragraph 8.c., below. (Reference: The following replicates "Scenario B" as defined within A2.17., PDCs for Docks or Other Minor Structures of JAXBO.):

- (i) Dock replacement in the exact footprint (i.e., same location/configuration/size) as the previous dock and:
  - (a) within Johnson's seagrass critical habitat with No current seagrass survey (completed no earlier than 1 year before submitting the application); or, Johnson's seagrass under the dock; or, Native seagrass, other than Johnson's seagrass, under the dock; or,
  - (b) within the Range of Johnson's seagrass (outside of critical habitat) with No current seagrass survey or, Johnson's seagrass under the dock,
- (ii) New docks or dock expansions and:
  - (a) within Johnson's seagrass critical habitat; or,
  - (b) within the Range of Johnson's seagrass (outside of critical habitat) with: No current seagrass survey (completed no earlier than 1 year before submitting the application) or, Johnson's seagrass within property limit.
- c. The following additional restrictions apply when required by paragraphs 8.a.(2) or 8.b.(4), above (Reference: The following replicates the "Dock PDCs for Scenario B" within A2.17. PDCs for Docks or Other Minor Structures of JAXBO.):
  - (1) To avoid and minimize impacts to Johnson's seagrass and native, non-listed seagrasses to the maximum extent practicable:
    - (i) The dock must be positioned to avoid and minimize effects to Johnson's seagrass.
    - (ii) Over any area that contains Johnson's seagrass or native, non-listed seagrasses, the dock shall be oriented in a north-south orientation to the maximum extent that is practicable to allow maximum sunlight under the structure.
    - (iii) If practicable, terminal platforms shall be placed in deep water, waterward of Johnson's seagrass beds or native, non-listed seagrasses beds or in an area devoid of Johnson's seagrass or native, non-listed seagrasses.
    - (iv) Piles must be spaced a minimum of 10 ft apart in any area that contains Johnson's seagrass to minimize direct impacts.
    - (v) Piles shall be installed in a manner that will not result in the formation of sedimentary deposits (e.g., donuts or halos) around the newly installed pilings.
    - (vi) No covered boat lifts are allowed over any Johnson's seagrass.
  - (2) Decking options: Deck surfaces (parallel with the water) that are located waterward of the MHWL must be constructed of grated materials or plank construction or a combination of the both methods (e.g. plank decking on the walkway and grated decking on the terminal platform). These decking options are described below:
    - (i) For grated decking:
      - (a) Height requirement: The surface of the structure, including the dock walkway (the over-water narrow portion connecting the terminal platform to the shore and any over-water ramp required for access) and the dock, must be a minimum of 3 ft above MHW when constructed with grated decking.
      - (b) Size limitations: The dock walkway is limited to a width of 4 ft. The terminal platform is limited to a total area of 160 ft<sup>2</sup>. Marginal docks are limited to a width of 5 ft. The 5 ft width restriction is measured from wet side of the



seawall. For example, if a seawall cap is 3 feet overwater then the dock would be limited to 2 feet.

- (c) Material description: Decking materials shaped in the form of grids, grates, lattices, etc., to allow the passage of light through the open spaces. These materials must provide a minimum of 43% open space.
- (ii) For plank decking:
  - (a) Height requirement: The surface of the structure, including the dock walkway (the over- water narrow portion connecting the terminal platform to the shore and any over-water ramp required for access) and the dock, must be a minimum of 5 ft above MHW when constructed of plank decking.
  - (b) Size limitations: The dock walkway is limited to a width of 4 ft. The terminal platform is limited to a total area of 120 ft<sup>2</sup>. Marginal docks are limited to a width of 5 ft.
  - (c) Material description: Deck boards may be constructed of any material. Deck Boards must be installed to provide a minimum of a 0.5-in gap between individual deck boards.
- d. Aids to Navigation in Acropora critical habitat. The distance from Aids to Navigation (ATONs) to ESA-listed corals and Acropora critical habitat shall ensure there are no impacts to the corals or the essential feature of Acropora critical habitat from the movement of buoys and tackle. The appropriate distance shall be based on the size of the anchor chain or other tackle to be installed to secure the buoy to its anchor, particularly when the design of the ATON does not prohibit the contact of tackle with the marine bottom. In all cases, buoy tackle will include flotation to ensure there is no contact between the anchor chain or line and the marine bottom (Reference: JAXBO PDC A2.10.).

**General Conditions for Federal Authorization for SPGP V-R1**

1. The time limit for completing the work authorized ends on July 26, 2021.
2. You must maintain the activity authorized by this permit in good condition and in conformance with the terms and conditions of this permit. You are not relieved of this requirement if you abandon the permitted activity, although you may make a good faith transfer to a third party in compliance with General Condition 4 below. Should you wish to cease to maintain the authorized activity or should you desire to abandon it without a good faith transfer, you must obtain a modification of this permit from this office, which may require restoration of the area.
3. If you discover any previously unknown historic or archeological remains while accomplishing the activity authorized by this permit, you must immediately notify this office of what you have found. We will initiate the Federal and State coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.
4. If you sell the property associated with this permit, you must obtain the signature of the new owner on the enclosed form and forward a copy of the permit to this office to validate the transfer of this authorization.
5. If a conditioned water quality certification has been issued for your project, you must comply with the conditions specified in the certification as special conditions to this permit.
6. You must allow representatives from this office to inspect the authorized activity at any time deemed necessary to ensure that it is being or has been accomplished in accordance with the terms and conditions of your permit.

**Further Information:**

1. Limits of this authorization.
  - a. This permit does not obviate the need to obtain other Federal, State, or local authorizations required by law.
  - b. This permit does not grant any property rights or exclusive privileges.
  - c. This permit does not authorize any injury to the property or rights of others.
  - d. This permit does not authorize interference with any existing or proposed Federal projects.
2. Limits of Federal Liability. In issuing this permit, the Federal Government does not assume any liability for the following:
  - a. Damages to the permitted project or uses thereof as a result of other permitted or unpermitted activities or from natural causes.
  - b. Damages to the permitted project or uses thereof as a result of current or future activities undertaken by or on behalf of the United States in the public interest.
  - c. Damages to persons, property, or to other permitted or unpermitted activities or structures caused by the activity authorized by this permit.
  - d. Design or Construction deficiencies associated with the permitted work.



- e. Damage claims associated with any future modification, suspension, or revocation of this permit.
3. Reliance on Applicant's Data: The determination of this office that issuance of this permit is not contrary to the public interest was made in reliance on the information you provided.
  4. Reevaluation of Permit Decision: This office may reevaluate its decision on this permit at any time the circumstances warrant. Circumstances that could require a reevaluation include, but are not limited to, the following:
    - a. You fail to comply with the terms and conditions of this permit.
    - b. The information provided by you in support of your permit application proves to have been false, incomplete, or inaccurate (see 3 above).
    - c. Significant new information surfaces which this office did not consider in reaching the original public interest decision.
  5. Such a reevaluation may result in a determination that it is appropriate to use the suspension, modification, and revocation procedures contained in 33 CFR 325.7 or enforcement procedures such as those contained in 33 CFR 326.4 and 326.5. The referenced enforcement procedures provide for the issuance of an administrative order requiring you comply with the terms and conditions of your permit and for the initiation of legal action where appropriate. You will be required to pay for any corrective measures ordered by this office, and if you fail to comply with such directive, this office may in certain situations (such as those specified in 33 CER 209.170) accomplish the corrective measures by contract or otherwise and bill you for the cost.
  6. When the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new owner(s) of the property. To validate the transfer of this permit and the associated liabilities associated with compliance with its terms and conditions, have the transferee sign and date the enclosed form.
  7. The Permittee understands and agrees that, if future operations by the United States require the removal, relocation, or other alteration, of the structures or work herein authorized, or if, in the opinion of the Secretary of the Army or his authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the Permittee will be required, upon due notice from the U.S. Army Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal, relocation or alteration.

## STANDARD MANATEE CONDITIONS FOR IN-WATER WORK

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The permittee shall comply with the following conditions intended to protect manatees from direct project effects:

- a. All personnel associated with the project shall be instructed about the presence of manatees and manatee speed zones, and the need to avoid collisions with and injury to manatees. The permittee shall advise all construction personnel that there are civil and criminal penalties for harming, harassing, or killing manatees which are protected under the Marine Mammal Protection Act, the Endangered Species Act, and the Florida Manatee Sanctuary Act.
- b. All vessels associated with the construction project shall operate at "Idle Speed/No Wake" at all times while in the immediate area and while in water where the draft of the vessel provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.
- c. Siltation or turbidity barriers shall be made of material in which manatees cannot become entangled, shall be properly secured, and shall be regularly monitored to avoid manatee entanglement or entrapment. Barriers must not impede manatee movement.
- d. All on-site project personnel are responsible for observing water-related activities for the presence of manatee(s). All in-water operations, including vessels, must be shutdown if a manatee(s) comes within 50 feet of the operation. Activities will not resume until the manatee(s) has moved beyond the 50-foot radius of the project operation, or until 30 minutes elapses if the manatee(s) has not reappeared within 50 feet of the operation. Animals must not be herded away or harassed into leaving.
- e. Any collision with or injury to a manatee shall be reported immediately to the Florida Fish and Wildlife Conservation Commission (FWC) Hotline at 1-888-404-3922. Collision and/or injury should also be reported to the U.S. Fish and Wildlife Service in Jacksonville (1-904-731-3336) for north Florida or Vero Beach (1-772-562-3909) for south Florida, and to FWC at [ImperiledSpecies@myFWC.com](mailto:ImperiledSpecies@myFWC.com)
- f. Temporary signs concerning manatees shall be posted prior to and during all in-water project activities. All signs are to be removed by the permittee upon completion of the project. Temporary signs that have already been approved for this use by the FWC must be used. One sign which reads *Caution: Boaters* must be posted. A second sign measuring at least 8 ½" by 11" explaining the requirements for "Idle Speed/No Wake" and the shut down of in-water operations must be posted in a location prominently visible to all personnel engaged in water-related activities. These signs can be viewed at [MyFWC.com/manatee](http://MyFWC.com/manatee). Questions concerning these signs can be sent to the email address listed above.



**CAUTION: MANATEE HABITAT****All project vessels****IDLE SPEED / NO WAKE**

When a manatee is within 50 feet of work  
all in-water activities must

**SHUT DOWN**

Report any collision with or injury to a manatee:

**Wildlife Alert:****1-888-404-FWCC(3922)**

cell \*FWC or #FWC



120 N. HWY 71  
P.O. Box 141  
WEWAHITCHKA, FLORIDA 32465

WWW.SOUTHEASTERNCE.COM  
850.639.3860

March 25, 2021

**Client:** Elaine Boone  
**Project:** Shell Bay Development Design & Permitting  
**Location:** U.S. Highway 98  
Franklin County, FL

**Scope of Services:**

- Conduct Pre-Application Meetings with Franklin County, Northwest Florida Water Management District, FDEP, and Additional Jurisdictional Agencies to Discuss the Proposed Development
- Develop Working Site Plan and Roadway Geometry based on conversations with the Client.
- Provide Grading and Drainage Plan as required to obtain ERP Stormwater Permit.
- Provide Drainage Calculations.
- Conduct Pre-Application Meeting with FDOT regarding the existing driveway connection to U.S. Highway 98.
- Obtain FDOT Driveway Connection Safety Upgrade Permit (Includes Trip Generation Report)
- Obtain FDOT Drainage Connection Permit
- Provide Geotechnical Report for pavement recommendations and required SWMF information.
- Provide Stormwater Pollution Prevention Plan (SWPPP)
- Prepare application and supporting documents as required to obtain Franklin County Development Order
- Provide Final Construction Drawings.
- Provide As-Built inspection services and final certification (As-Built Survey by Others)

**Assumptions:**

- It is the sole responsibility of the Owner to retain legal counsel (if required) for the preparation of subdivision documentation that may be required (or altered) in order to construct the proposed development.
- No sub-consultant survey services are included in this Agreement and shall be the responsibility of the Owner.
- No electrical or site lighting plan included in this Agreement.
- No traffic study or turn lane analysis included in this Agreement.
- No City Water or Sewer is available at the site. Each proposed lot will include a potable water well and on-site domestic wastewater system. The design and permitting (if applicable) for these services are outside the scope of this design.
- Boundary & Topographic Survey to be provided by others. (Including As-Built Survey)
- No irrigation plan provided in this agreement.
- This agreement does not include any wetlands delineation or wetlands related permitting.
- No permit submittal fees are included in this Agreement and shall be the responsibility of the Client.
- No NPDES permitting or NPDES related site inspections included in this Agreement.
- A separate Agreement will be provided for additional permit requirements/services not mentioned above prior to further work.

**Method of Contract:** Lump Sum – Please See Attached Authorization Form

Please sign the attached authorization form where indicated, and return a copy of the signed Agreement back to SCE at your earliest convenience. We appreciate the opportunity to provide our engineering services for this project. Should you have any questions, please feel free to give us a call for any further assistance.

Sincerely,

SOUTHEASTERN CONSULTING ENGINEERS, INC.

Tyler Marsh, P.E., Vice President





## GENERAL TERMS AND CONDITIONS

1. **GENERAL INFORMATION:** Our understanding of all aspects of design pertaining to this particular project and the scope of work and prior assumptions are based on:
  - a. Recent conversations and/or emails with the Client
  - b. Review of the property specific information (Franklin County Property Appraiser and GIS)
2. **SCOPE OF WORK:** Southeastern Consulting Engineers, Inc. (SCE) shall perform the services outlined in this Agreement and shall invoice the Client in accordance with the compensation section of the Agreement (authorization form). Any estimated cost to the Client shall not be considered a fixed price, but only as an estimate (unless otherwise noted). SCE will provide additional services under this Agreement as requested by the Client in writing subject to acceptance by SCE. Client will be invoiced for additional services at SCE's standard rates listed below or as mutually agreed upon, including but not limited to re-reviews, unforeseen inspections and/or additional site visits, changes by Client to a site plan, architectural plans, structural components, etc.
  - **SCE STANDARD RATES:**
    - CAD Technician/Inspector: \$75.00/hr
    - Project Engineer: \$115.00/hr
    - Professional Engineer: \$175.00/hr
    - Additional Site Visits: \$550.00 per visit
    - Printing Services (Additional Prints):
      - 8.5x11 Color: \$0.10/Sheet
      - 8.5x11 B&W: No Charge
      - 11x17 Color: \$0.15/Sheet
      - 11x17 B&W: No Charge
      - 24x36 Color: \$1.50/Sheet
      - 24x36 B&W: \$1.15/Sheet

To the extent these general terms and conditions are part of a proposal for services, the proposal shall be valid for a period of ninety (90) days unless otherwise stated within this Agreement. Once the proposal is accepted, via signature and date on the attached Authorization Form, these general terms and conditions shall apply to all services performed and shall survive any termination of the Agreement or completion of services.

3. **RIGHT OF ENTRY:** The Client will provide right-of-way entry for SCE personnel and all necessary equipment to the project site(s) in order to complete any required site visit work.
4. **INVOICES:** SCE will submit invoices to the Client as individual portions of the services are completed and a final bill upon completion of services. There shall be no retainage, unless otherwise agreed upon in the Agreement. SCE shall release all applicable plans, certificates, or other available documents as and when requested by Client provided all outstanding invoices pertaining to that particular project is paid in full. Payment is due within thirty (30) days of the receipt of the invoice. A finance charge will begin to accrue if payment is not received within thirty (30) days of the receipt of the invoice. Client agrees to pay an interest charge equal to the lesser of one and one-half percent (1½%) per month,



or the maximum amount allowed by law on past due accounts. Any attorney's fees, collection fees or other costs associated with collecting any delinquent amount shall be paid by the Client. The Client agrees to pay SCE for its services in accordance with the agreement herein, regardless of whether or not he/she has been paid by his/her client.

5. **SUSPENSION, TERMINATION, CANCELLATION OR ABANDONMENT** This Agreement may be suspended, terminated, cancelled, or abandoned by either party upon thirty (30) days written notice in the event of substantial failure by the other party to perform in accordance with the terms of the Agreement. Such termination shall not be effective if that substantial failure has been remedied before expiration of the period specified in the written notice. In all events of suspension, termination, cancellation or abandonment, SCE shall be paid for all services performed up to and through the date of suspension, termination, cancellation or abandonment.
6. **OWNERSHIP OF DOCUMENTS:** All reports, plans, calculations, supporting documents, etc. and other documents prepared by SCE, as instruments of services, shall remain the property of SCE. Client agrees that all work furnished to the Client, including but not limited to the items listed above, which are not paid for in full, will be returned to SCE upon demand and will not be used by the Client for any purpose whatsoever. SCE will retain all pertinent records related to the services performed for a period of three (3) years following the submission of the plans, specifications, etc. During this period, the records will be made available to the Client at all reasonable times and an administrative fee may be charged to the Client for retrieval and reproduction of such records.
7. **FAILURE TO FOLLOW RECOMMENDATIONS:** SCE will not be held responsible for any problems that may occur as a result of any variation from the provided plan set, recommendations, etc.
8. **COST ESTIMATES:** Client hereby acknowledges that SCE cannot warrant that any cost estimates provided by SCE will not vary from actual costs incurred by the Client.
9. **CONSTRUCTION SERVICES:** If, under this Agreement, professional services are required and/or provided during the construction phase of the project, SCE shall not be held responsible for or have any control over means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the work; nor shall SCE be responsible for the Contractor's failure to carry out any of the work in accordance with the contract documents or for the Contractor's failure to comply with applicable laws, ordinances, rules or regulations.
10. **INSURANCE:** SCE shall at all times carry professional liability coverage. Insurance certificates shall be provided to the Client upon request.
11. **ENTIRETY OF AGREEMENT:** This writing embodies the entire Agreement and understanding between the parties hereto, and there are no other Agreements and understandings, oral or written, with reference to the subject matter hereof that are not merged herein and superseded hereby. No alteration, change or modification of the terms of this agreement shall be valid unless made in writing and signed by both parties hereto. SCE





shall perform the work as specified in this Agreement and complete the Client's project in a timely manner, however no time of completion can be guaranteed.

- 12. PERMITTING:** In cases where the scope of services requires SCE to submit, on behalf of the Client, a permit application and/or approval by a third party to this contract, SCE does not make any warranties, guarantees or representations as to the success of our effort on behalf of the Client. Payment for services rendered by SCE is not contingent upon the successful acquisition of these permits. Permit applications will not be submitted until payment has been received in full. All permit fees are the sole responsibility of the Client.
- 13. DISPUTE RESOLUTION:** If a dispute arises out of or related to this Agreement or the breach thereof, the parties will attempt to settle the matter between themselves. If no agreement can be reached, the parties agree to use mediation with a mutually agreed upon mediator before resorting to a judicial form. The parties will share the cost of a third party mediator equally. In the event of litigation, the prevailing party will be entitled to reimbursement of all reasonable costs and attorney's fees.
- 14. INTELLECTUAL PROPERTY:** With the sole exception of specifically marked reproducible materials subject to the Limited Copyright License herein, all worldwide right, title and interest in and to any and all Intellectual Property conceived, invented, authored or otherwise made by or on this Agreement shall remain the sole and exclusive property of SCE, and its successors and assigns unless licensed or assigned by SCE pursuant to a separate written instrument. The term "Intellectual Property" shall be construed broadly to include all forms of intellectual properties including but not limited to inventions, discoveries, designs, plans, improvements, trademarks, service marks and copyright in drawings, computer programs, and all other original works of authorship.



120 N. HWY 71  
P.O. Box 141  
WEWAHITCHKA, FLORIDA 32465

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850.639.3860

### AUTHORIZATION FORM

March 25, 2021

**Client:** Elaine Boone  
**Project:** Shell Bay Development Design & Permitting  
**Location:** U.S. Highway 98  
Franklin County, FL

### **PROFESSIONAL SERVICES:**

#### **SCE Service Fees**

Topographic Survey (By Owner)	N/A
Pre-Application Consultation Meetings as Described Above	\$5,000.00
Preliminary Plat Approval	\$1,500.00
Site Planning & Roadway Geometry/Cross Sections	\$7,500.00
Grading / Drainage Plan (Includes SWMF Design & Permitting)	\$13,750.00
FDOT Driveway Connection (Safety Upgrade, Includes Pre-Application Meeting)	\$4,975.00
FDOT Drainage Connection Permit	\$3,250.00
Geotechnical Investigation & Report	\$6,750.00
Franklin County Development Order Application Submittal	\$3,750.00
Final Plans (Construction Drawings)	\$4,250.00
As-Built Certification (Survey By Others)	\$2,500.00
SWPPP Design	\$1,750.00
<b>TOTAL SERVICES FEE(S)</b>	<b>\$54,975.00</b>

**Note: Credit card payments are accepted for an additional 3.5% convenience fee.**

The undersigned agrees to the scope of work and assumptions outlined in the cover sheet and general terms and conditions above and hereby authorizes the performance of work in the amount listed above as described herein and does so on behalf of the parcel owner and warrants that he/she has the authority to sign on behalf of the owner. Please note that any variation from the intended scope of work and/or assumptions will result in additional fees.

Signed: \_\_\_\_\_

Date: \_\_\_\_\_



## APPLICATION FOR SUBDIVISION FINAL PLAT APPROVAL

DATE: 3-31-21

PROPOSED SUBDIVISION NAME:

AGENT'S NAME:

ADDRESS:

TELEPHONE NUMBER:

OWNER'S NAME:

ADDRESS:

TELEPHONE NUMBER:

SKETCH PLAT WAS APPROVED:

PRELIMINARY PLAT WAS APPROVED:

NUMBER OF LOTS IN SUBDIVISION:

FEE:

\$

**PLEASE NOTE:** PLANNING AND ZONING COMMISSION MAKES RECOMMENDATIONS TO THE FRANKLIN COUNTY BOARD OF COMMISSIONERS REGARDING YOUR APPLICATION. ALL APPLICANT'S ARE NOTIFIED THAT IF YOUR APPLICATION IS DENIED, IT SHALL NOT BE RESUBMITTED FOR ONE YEAR. ALSO, ANY PERSON WISHING TO APPEAL THE RECOMMENDATION OF THE PLANNING AND ZONING COMMISSION OR THE DECISION OF THE FRANKLIN COUNTY BOARD OF COUNTY COMMISSION ARE RESPONSIBLE TO ENSURE THAT A VERBATIM TRANSCRIPT OF THE PROCEEDINGS IS MADE.

I hereby certify, as a representative for \_\_\_\_\_,  
that the information given is true and accurate to the best of our knowledge.

Agent's Signature

Owner's Signature

.....  
TO BE FILLED IN BY PLANNING OFFICIAL

Planning &amp; Zoning Commission Recommendation: \_\_\_\_\_

Date: \_\_\_\_\_

Board of County Commissioners Action: \_\_\_\_\_

Date: \_\_\_\_\_

Comments: \_\_\_\_\_





Overview



Legend

- Parcels
- Roads
- City Labels

Date created: 2/1/2021  
Last Data Uploaded: 2/1/2021 7:54:41 AM

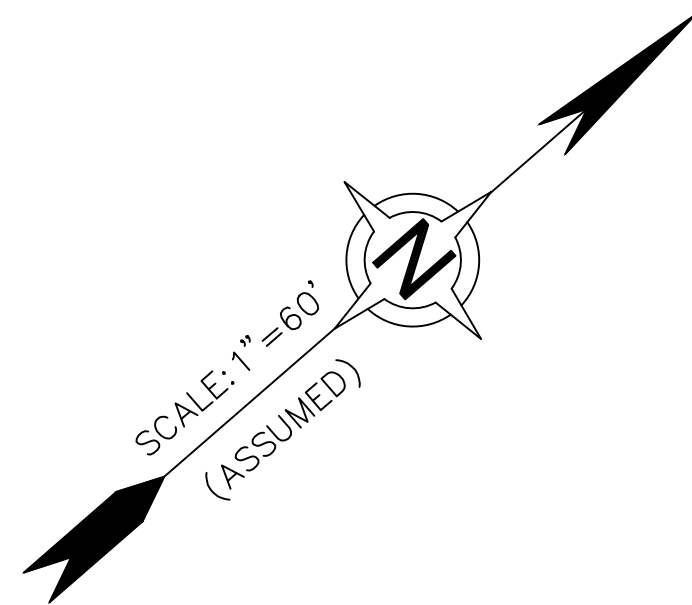
Developed by  Schneider  
GEOSPATIAL



# ST. GEORGE BAY SUBDIVISION

A RE-PLAT OF LOTS 1 THRU 4 AND 6 THRU 10 OF SHELL BAY, A SUBDIVISION RECORDED IN PLAT BOOK 8, PAGE 38  
AND ADJOINING LAND LYING IN SECTION 35, TOWNSHIP 7 SOUTH, RANGE 5 WEST FRANKLIN COUNTY, FLORIDA

PLAT BOOK \_\_\_\_\_ PAGE NUMBER \_\_\_\_\_



Line Table(M)			Line Table(M)		
Line #	Bearing	Length	Line #	Bearing	Length
L1	N44°48'38"W	17.00'	L21	N41°27'37"E	22.84'
L2	S40°05'46"W	59.89'	L22	N41°27'37"E	17.33'
L3	N44°30'22"W	73.20'	L23	N44°41'46"W	31.33'
L4	S39°59'49"W	70.09'	L24	S40°20'44"W	62.83'
L5	S39°17'13"W	3.45'	L25	S40°20'44"W	51.65'
L6	S40°08'51"W	17.80'	L26	S40°20'44"W	59.35'
L7	N41°24'30"W	73.84'	L27	S40°20'44"W	24.89'
L8	N40°26'31"E	9.98'	L28	S44°44'30"W	15.51'
L9	N41°09'11"E	30.22'	L30	S82°02'19"E	8.94'
L10	N41°21'30"E	67.98'	L31	N46°42'20"E	19.89'
L11	N41°14'04"E	27.21'	L32	N46°42'20"E	40.11'
L12	N41°12'43"E	46.48'	L33	S82°02'19"E	18.62'
L13	N41°16'10"E	90.17'	L34	S44°45'13"E	29.52'
L14	N41°19'30"E	51.53'	L35	S82°02'19"E	18.58'
L15	S43°14'08"E	54.81'	L36	S46°42'20"W	30.00'
L16	S43°15'59"E	66.11'	L37	S46°42'20"W	30.00'
L17	S38°39'33"E	75.37'			
L18	S41°26'00"E	18.91'			
L19	N41°27'37"E	19.59'			
L20	N41°27'37"E	24.72'			

Wetland Line Table		
Line #	Bearing	Length
L39	N3°35'29"E	40.62'
L40	N20°42'11"W	54.02'
L41	N15°21'25"E	104.89'
L42	N6°38'13"E	29.84'
L43	N33°42'07"E	34.95'
L44	N11°23'36"E	18.65'
L45	N10°49'40"W	27.96'
L46	N4°45'47"W	24.43'
L47	N10°55'39"E	23.45'
L48	N24°55'53"E	44.09'
L49	N11°49'36"E	5.99'

Curve Table(M)					
Curve #	Radius	Delta	Length	Chord Direction	Chord Length
C1	2897.70'	0°24'34"	20.71'	S45°26'09"W	20.71'
C2	2897.70'	0°11'01"	9.29'	S45°12'18"W	9.29'
C3	2897.70'	0°35'36"	30.00'	S44°49'00"W	30.00'
C4	2897.70'	0°23'44"	20.00'	S44°19'20"W	20.00'
C5	2914.70'	1°45'53"	89.77'	S40°53'48"W	89.76'
C6	2914.70'	2°10'39"	110.77'	S42°52'04"W	110.76'

## SURVEYOR'S CERTIFICATE:

I hereby certify that this survey was made under my responsible direction and supervision, is a correct representation of the lands surveyed, that the permanent reference monuments and permanent control points have been set, and that the survey data and monumentation complies with Chapter 177 of the Florida Statutes and with Chapter 5J-17, Florida Administrative Code.

WADE G. BROWN, PSM  
FLORIDA CERTIFICATE NO. 5959 LB#6475  
EDWIN G. BROWN AND ASSOCIATES, INC.  
SURVEYORS AND MAPPERS  
P.O. BOX 625, CRAWFORDVILLE, FLORIDA 32327

EDWIN BROWN & ASSOCIATES

SURVEYORS \* MAPPERS  
(850) 926-3016 888-433-4436 FAX (850) 926-8180  
P.O. Box 625 2813 Crawfordville Hwy. Crawfordville, FL 32326

LB #6475

JOB: 13-015 \* PSC: 41387

MARCH 31, 2020

PAGE 2 OF 2

CHECKED BY: WADE G. BROWN DRAWN BY: ADRON ANDERSON

## NOTICE:

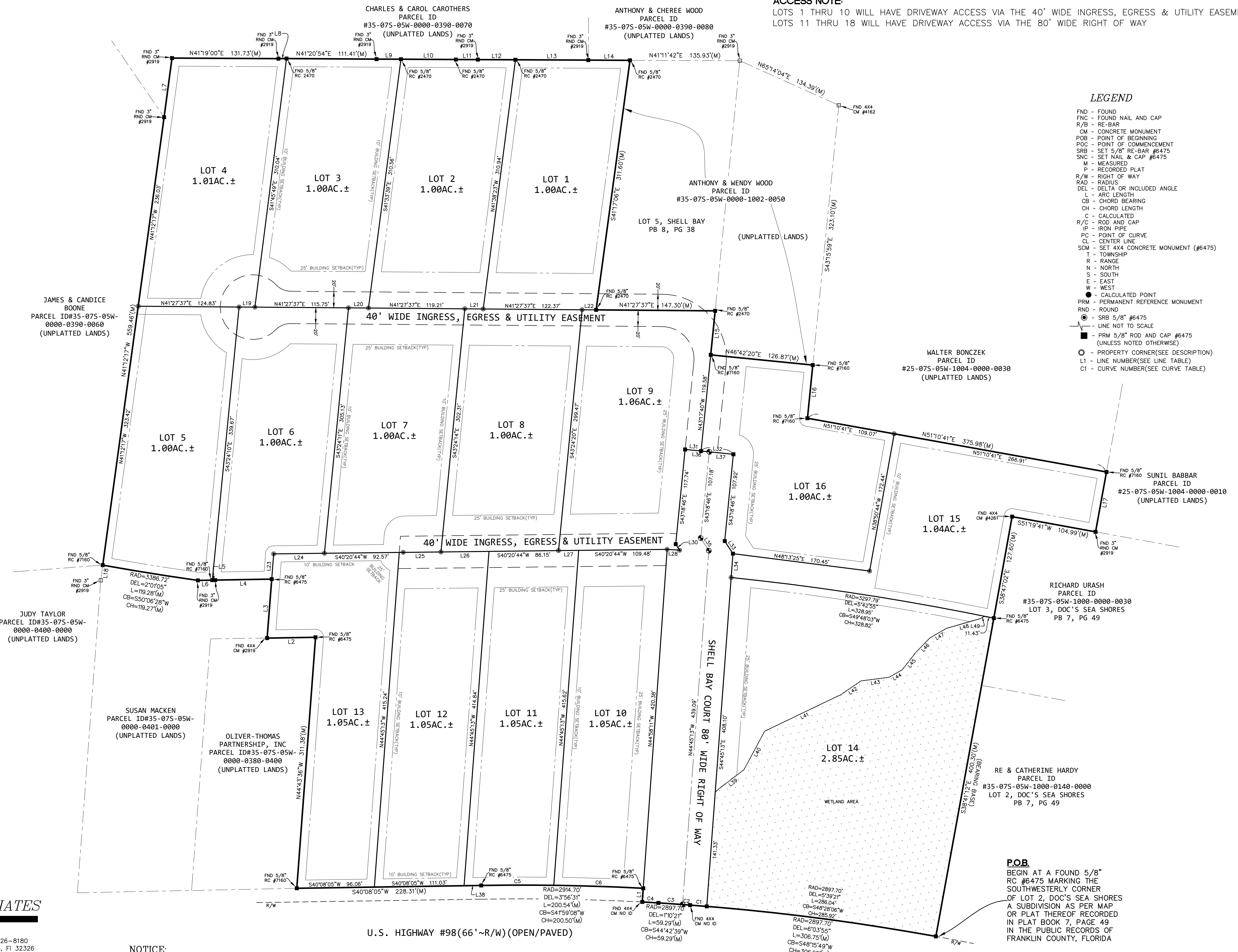
THIS PLAT AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THIS PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

## ACCESS NOTE:

LOTS 1 THRU 10 WILL HAVE DRIVEWAY ACCESS VIA THE 40' WIDE INGRESS, EGRESS & UTILITY EASEMENT  
LOTS 11 THRU 18 WILL HAVE DRIVEWAY ACCESS VIA THE 80' WIDE RIGHT OF WAY

## LEGEND

FND - FOUND  
FNC - FOUND NAIL AND CAP  
R/B - RE-BAR  
CM - CONCRETE MONUMENT  
POB - POINT OF BEGINNING  
POC - POINT OF COMMENCEMENT  
SRB - SET 5/8" RE-BAR #6475  
SNC - SET NAIL & CAP #6475  
M - MEASURED  
P - RECORDED PLAT  
R/W - RIGHT OF WAY  
RAD - RADIUS  
DEL - DELTA OR INCLUDED ANGLE  
L - ARC LENGTH  
CB - CHORD BEARING  
CH - CHORD LENGTH  
C - CALCULATED  
R/C - ROD AND CAP  
IP - IRON PIPE  
PC - POINT OF CURVE  
CL - CENTER LINE  
SCM - SET 4X4 CONCRETE MONUMENT (#6475)  
T - TOWNSHIP  
R - RANGE  
N - NORTH  
S - SOUTH  
E - EAST  
W - WEST  
● - CALCULATED POINT  
PRM - PERMANENT REFERENCE MONUMENT  
RND - ROUND  
○ - SRB 5/8" #6475  
— LINE NOT TO SCALE  
■ - PRM 5/8" ROD AND CAP #6475 (UNLESS NOTED OTHERWISE)  
○ - PROPERTY CORNER(SEE DESCRIPTION)  
L1 - LINE NUMBER(SEE LINE TABLE)  
C1 - CURVE NUMBER(SEE CURVE TABLE)

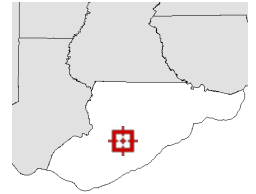


## POB

BEGIN AT A FOUND 5/8" RC #6475 MARKING THE SOUTHWESTERLY CORNER OF LOT 2, DOC'S SEA SHORES A SUBDIVISION AS PER MAP OR PLAT THEREOF RECORDED IN PLAT BOOK 7, PAGE 49 IN THE PUBLIC RECORDS OF FRANKLIN COUNTY, FLORIDA



Overview



Legend

- Parcels
- Roads
- City Labels

Parcel ID	11-09S-08W-0000-1300-0000	Alternate ID	08W09S11000013000000	Owner Address	MATHIS BARBARA
Sec/Twp/Rng	11-9S-8W	Class	VACANT		304 24TH STREET
Property Address -		Acreage	n/a		APALACHICOLA, FL 32320
District	1				
Brief Tax Description	150 FT FACING HWY 98 OR				
	(Note: Not to be used on legal documents)				

Date created: 4/8/2021

Last Data Uploaded: 4/8/2021 7:46:41 AM

Developed by Schneider  
GEOSPATIAL





E-

**ADVISORY BOARD OF ADJUSTMENT APPLICATION****FRANKLIN COUNTY BUILDING DEPARTMENT**

34 Forbes Street, Suite 1, Apalachicola, Florida 32320

Phone: 850-653-9783 Fax: 850-653-9799

[http://www.franklincountyflorida.com/planning\\_building.aspx](http://www.franklincountyflorida.com/planning_building.aspx)**ADVISORY BOARD OF ADJUSTMENT APPLICATION**

PROPERTY OWNER'S NAME: Barbara Mathis  
MAILING ADDRESS: 304 24<sup>th</sup> Street City/State/Zip: Apalachicola, Fla. 3232  
PHONE #: \_\_\_\_\_ CELL #: 850-370-6199 EMAIL: \_\_\_\_\_

AGENT'S NAME: \_\_\_\_\_  
MAILING ADDRESS: \_\_\_\_\_ City/State/Zip: \_\_\_\_\_  
PHONE #: \_\_\_\_\_ CELL #: \_\_\_\_\_ EMAIL: \_\_\_\_\_

**PROPERTY DESCRIPTION:** 911 Address: 444 Highway 98, Apalachicola  
Lot/s: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_ Unit: \_\_\_\_\_  
Parcel Identification #: 11-095-08W-0000-1300-0000

**JURISDICTION:** ☐ Franklin County  
☒ Apalachicola ☐ Eastpoint ☐ St. George Island ☐ Carrabelle ☐ Dog Island ☐ Lanark/ St. James ☐ St. Teresa ☐ Alligator Point

**LEGAL DESCRIPTION OF THE PROPERTY:** (MUST ATTACH LEGAL DESCRIPTION)

**DESCRIPTION OF REQUEST:** Special Exception for Water dependent tourist commercial facility

**ADVISORY BOARD OF ADJUSTMENT DATE:** \_\_\_\_\_

**RECOMMENDED APPROVAL:** \_\_\_\_\_ **RECOMMENDED DENIAL:** \_\_\_\_\_ **RECOMMENDED TO TABLE:** \_\_\_\_\_  
**CONDITIONS:** \_\_\_\_\_

**BOARD OF COUNTY COMMISSION MEETING DATE:** \_\_\_\_\_  
**APPROVED:** \_\_\_\_\_ **DENIED:** \_\_\_\_\_ **TABLED:** \_\_\_\_\_  
**CONDITIONS:** \_\_\_\_\_

**Instructions:** Complete application, including proof of ownership in the form of deed, detailed description of request including any necessary information supporting request (site plan/survey) and application fee of \$250.00. Return to the following address:

**Franklin County**  
**34 Forbes Street, Suite 1**  
**Apalachicola, FL 32320**

**THIS VARIANCE REQUEST WILL EXPIRE ONE YEAR FROM DATE OF APPROVAL  
BY THE FRANKLIN COUNTY BOARD OF COUNTY COMMISSIONER.**



## APPLICATION FOR DEVELOPMENT

### FRANKLIN COUNTY BUILDING DEPARTMENT

34 Forbes Street, Suite 1, Apalachicola, Florida 32320

Phone: 850-653-9783 Fax: 850-653-9799

[http://www.franklincountyflorida.com/planning\\_building.aspx](http://www.franklincountyflorida.com/planning_building.aspx)

PERMIT # \_\_\_\_\_

FEE: \$ \_\_\_\_\_

RADON: \$ \_\_\_\_\_

TOTAL: \$ \_\_\_\_\_

#### NOTE TO APPLICANTS AND PERMIT HOLDERS:

**VIOLATIONS OF THE TERMS AND CONDITIONS OF THIS PERMIT MAY WARRANT A STOP WORK ORDER OR REVOCATION OF THIS PERMIT. THIS PERMIT IS VALID FOR ONE YEAR FROM THE DATE OF ISSUANCE. CONSTRUCTION MUST COMMENCE WITHIN SIX MONTHS OF THIS DATE:**  
 ISSUANCE DATE: \_\_\_\_\_ EXPIRES: \_\_\_\_\_

- ☐ New Constuction  
☐ Commercial  
☐ Residential  
☐ Substantial Improvement  
☐ Less than Substantial

#### APPLICATION MUST BE COMPLETE: ( Incomplete applications will be review once it has)

Property Owner/s: Barbara Mathis  
 Contact Information: Home #: \_\_\_\_\_ Cell #: 850-370-6199  
 Mailing Address: 304 24th Street City/State/Zip: Apalachicola, Fla. 32320  
 EMAIL Address: \_\_\_\_\_

Contractor Name: \_\_\_\_\_ Business Name: \_\_\_\_\_  
 Contact Information: Office #: \_\_\_\_\_ Cell #: \_\_\_\_\_  
 State License #: \_\_\_\_\_ County Registration #: \_\_\_\_\_  
 Mailing Address: \_\_\_\_\_ City/State/Zip: \_\_\_\_\_  
 EMAIL Address: \_\_\_\_\_

**PROPERTY DESCRIPTION:** 911 Address: 444 Highway 98, Apalachicola  
 Lot/s: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Parcel Identification #: 11-095-08W-0000-1300-0000

**JURISDICTION:** ☐ Franklin County

☒ Apalachicola ☐ Eastpoint ☐ St. George Island ☐ Carrabelle ☐ Dog Island ☐ Lanark/ St. James ☐ St. Teresa ☐ Alligator Point

**DESCRIPTION OF DEVELOPMENT:** Kayak Rental  
**ZONING DISTRICT:** C-1 **CONTRACT COST:** \_\_\_\_\_

HEATED SQ FT: \_\_\_\_\_ UN-HEATED SQ FT: \_\_\_\_\_ TOTAL SQUARE FOOT: \_\_\_\_\_

ROOF MATERIAL: \_\_\_\_\_ FOUNDATION TYPE: \_\_\_\_\_ LOT DEMENSION: \_\_\_\_\_

NO. OF STORIES: \_\_\_\_\_ STORAGE SQ FOOTAGE: \_\_\_\_\_ GAS UTILITIES: \_\_\_\_\_

(Requires Building or General Contractor if over 3 habitable stories including mezzanines.) (VE Zones: 299 Sq. Foot or Less and MUST be certified breakaway construction by Engineer)

SEPTIC TANK PERMIT # \_\_\_\_\_ OR SEWER DISTRICT: \_\_\_\_\_

WATER DISTRICT: \_\_\_\_\_ OR PRIVATE WELL: \_\_\_\_\_

WATER BODY: Apalachicola Bay

CRITICAL SHORELINE DISTRICT: ☒ YES OR NO ☐ CRITICAL HABITAT ZONE: ☐ YES OR NO ☐

**FLOOD ZONE INFORMATION:** EFFECTIVE DATE: February 5, 2014

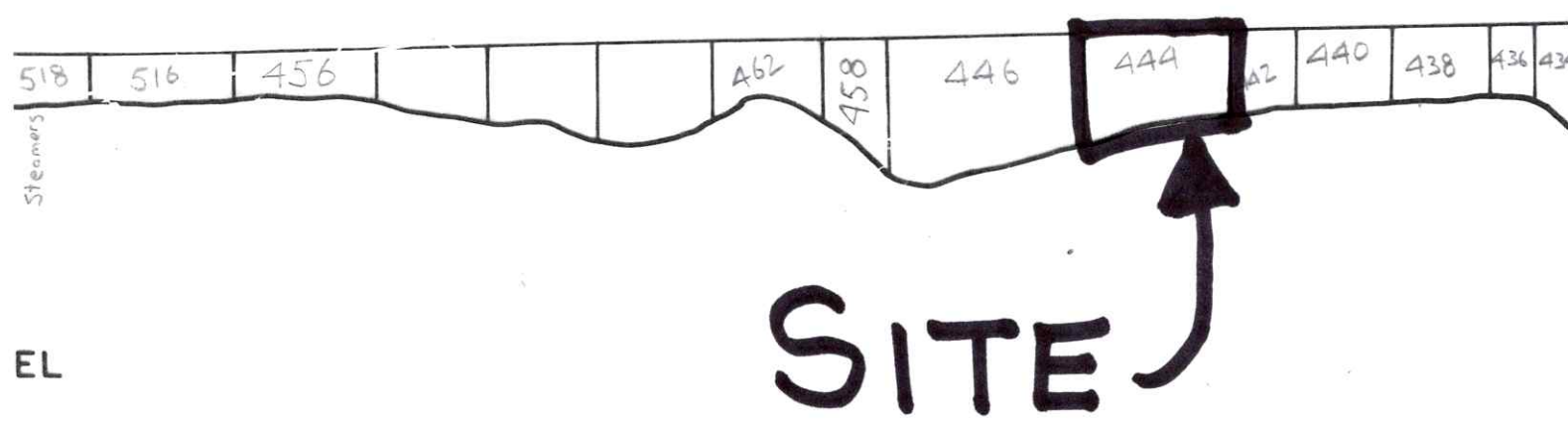
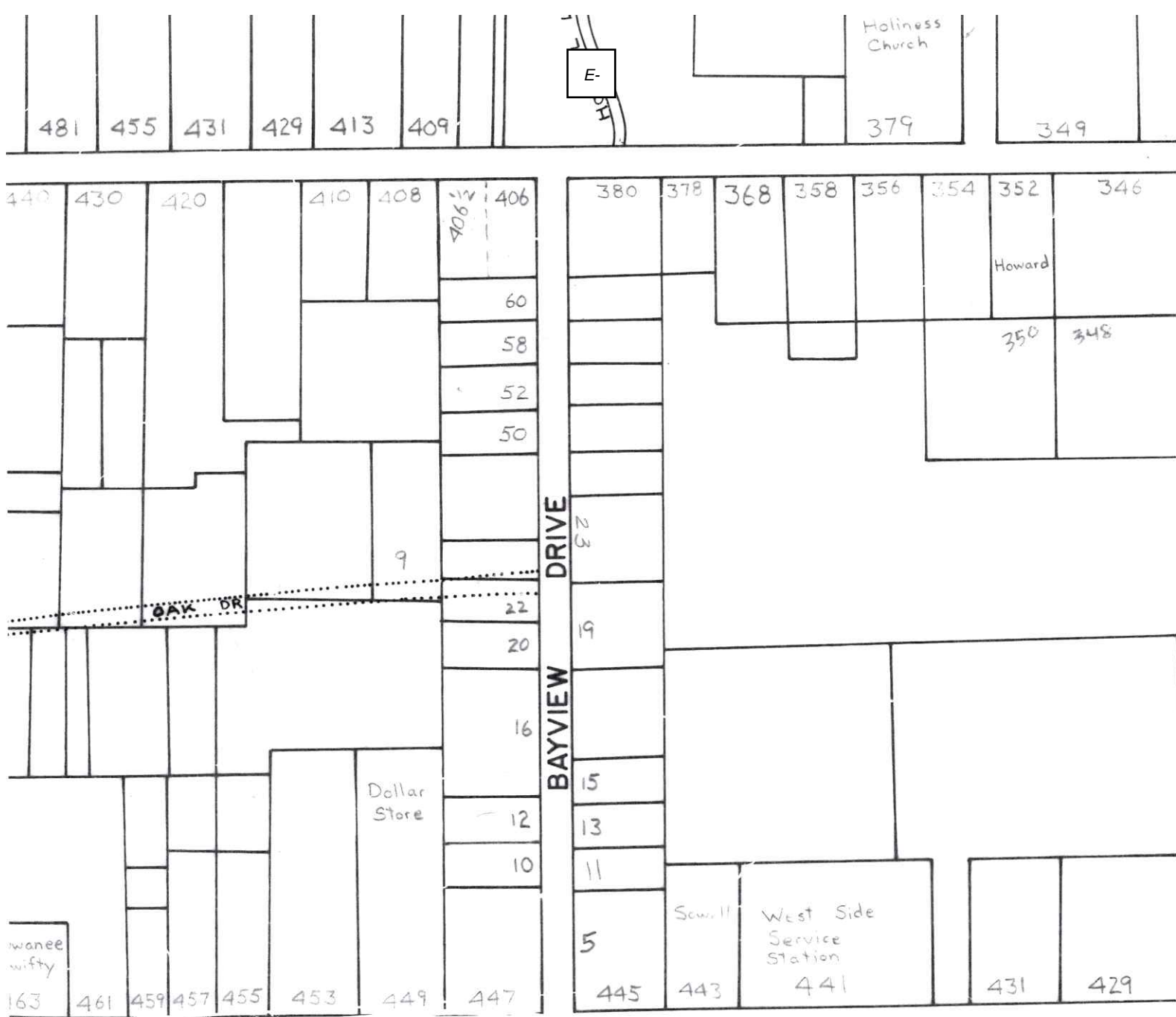
PANEL NUMBER: 12037C0509G FIRM ZONE/S: AE 13' and VE 13'

**ELEVATION REQUIREMENTS AS PER SURVEY:** \_\_\_\_\_

☐ Requires V-Zone Certification ☐ Requires Elevation Certificates ☐ Requires Smart Vents ☐ Requires Breakaway Walls

BUILDING OFFICIAL \_\_\_\_\_ DATE \_\_\_\_\_ FLOODPLAIN ADMIN. \_\_\_\_\_ DATE \_\_\_\_\_ OWNER/CONTRACTOR \_\_\_\_\_ DATE \_\_\_\_\_









E-



Franklin County, FL

**Parcel Summary**

Parcel ID 11-09S-08W-0000-1300-0000  
 Location Address -  
 32320  
 Brief Tax Description\* 150 FT FACING HWY 98 OR 87/109 OR 290/236 507/273 699/177 1285/525  
 \*The Description above is not to be used on legal documents.  
 Property Use Code VACANT (000000)  
 Sec/Twp/Rng 11-9S-8W  
 Tax District County (District 1)  
 Millage Rate 11.2322  
 Acreage 0.000  
 Homestead N

[View Map](#)**Owner Information****Primary Owner**[Mathis Barbara](#)

304 24th Street

Apalachicola, FL 32320

**Land Information**

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000130	SFR WATER	150.00	FF	0	0

**Sales**

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	12/16/2020	\$150,000	WD	1285	525	Qualified (Q)	Vacant	KOLB	MATHIS
N	05/24/2002	\$200,000	WD	699	177	Qualified (Q)	Vacant	MARSHALL	KOLB

**Valuation**

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$45,000	\$45,000	\$45,000	\$45,000	\$45,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$45,000	\$45,000	\$45,000	\$45,000	\$45,000
Assessed Value	\$45,000	\$41,432	\$37,665	\$34,241	\$31,128
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$45,000	\$41,432	\$37,665	\$34,241	\$31,128
Maximum Save Our Homes Portability	\$0	\$3,568	\$7,335	\$10,759	\$13,872

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

**TRIM Notice 2020**[2020 TRIM Notice \(PDF\)](#)**TRIM Notice 2019**[2019 TRIM Notice \(PDF\)](#)

No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sketches.

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

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Version 2.3.113

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 Schneider  
 GEOSPATIAL





# **Island Fit SUP&Yoga dba "The Outpost"**

## **BUSINESS PLAN**

Prepared by:

Samantha Fortunas Mathis, Barbara Mathis 370-6199

932 W Pine Ave  
Eastpoint, Florida 32328  
850-980-4204  
samantha.fortunas@gmail.com

[www.islandfitsup.com](http://www.islandfitsup.com)

444 Highway 98  
Apalachicola, Florida 32328

## I. EXECUTIVE SUMMARY

Island Fit SUP&Yoga dba "The Outpost" (referred to from hereon in as the "Company") was established as a Limited Liability Company at 932 W Pine Ave, Eastpoint, Florida 32328 with the expectation of rapid expansion in the ecotourism industry.

### Business Description

The Company was formed on 5/11/2012 as Limited Liability Company under Florida state laws and headed by Samantha Fortunas Mathis, Barbara Mathis.

Samantha Fortunas Mathis graduated Florida State University in 2012 and promptly started her paddleboard business Island Fit Stand Up Paddleboard Fitness on St. George Island. She then became a certified yoga teacher and a licensed charter captain to expand on her ventures and share her love for the local area.

### Management Team

The Company has assembled an experienced management team:

**Property Owner** - Barbara Mathis, *Landlord of proposed business sight for "The Outpost" at 444 Highway 98, Apalachicola Florida.*

### Business Mission

The Outpost's mission is to promote ecotourism through education and protection of Franklin County's local estuarine ecosystem and natural resources via guided and self-guided stand up paddleboard excursions, kayak tours and charter boat related activities.

### New Service

The Company is prepared to introduce the following service to the market:

Water-related Activities : Paddleboard Lessons

Paddleboard Rentals

Paddleboard Tours

Paddleboard Yoga

Beach/shore Yoga

Kayak Rentals

Kayak Tours

Charter Boat Tours

Charter Boat Fishing

Charter Boat Shelling Trips

Sunset Cruises- paddleboard, kayak, boat

Guided and self-guided ecotours

Creature Features for kids

Birding Tours

Wildlife Tours



## II. BUSINESS SUMMARY

### Industry Overview

In the United States, the ecotourism industry presently makes 0 dollars in sales.

Research shows that consumers in this industry primarily focus on the following factors when making purchasing decisions:

Decision factors include:

Income and tourist/vacation budget

Family size and age range

Comfort with the water/bay

### Business Goals and Objectives

Short Term:

Be operational by May of 2021 for the "high season":

- Need to obtain water and power permits for property at 444 Highway 98 Apalachicola, Florida in order to facilitate office.

- Have a fleet of 5-10 stand up paddleboards available for lessons and rentals.

- Have a fleet of 5-10 kayaks available for self-guided tours and rentals.

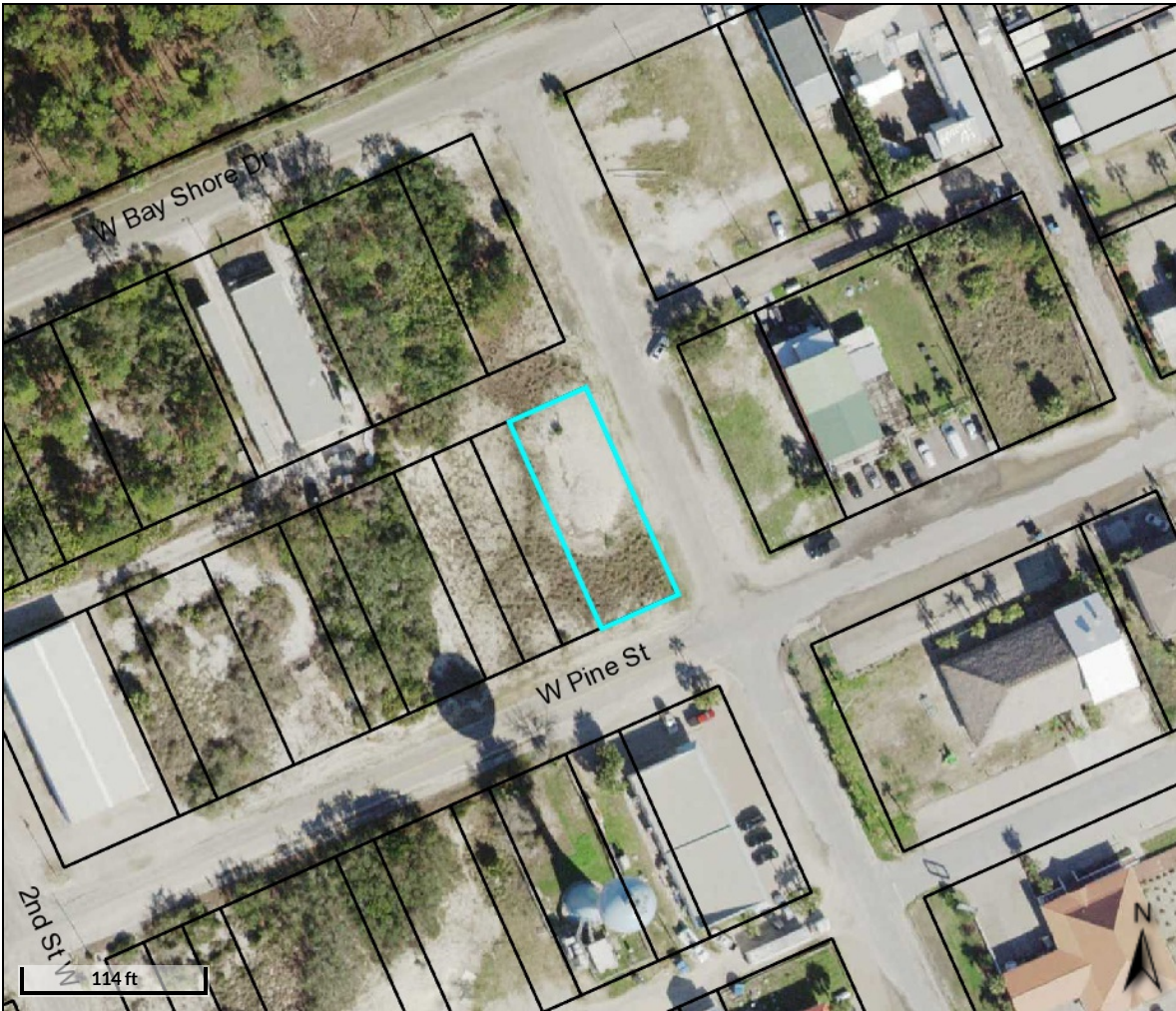
- Have an operational dock and fish cleaning station for charter captains and clients.

### Legal Issues

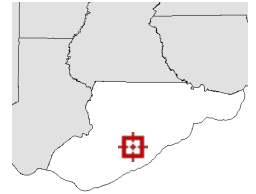
The Company affirms that its promoters have acquired all legally required trademarks and patents.







Overview



Legend

- Parcels
- Roads
- City Labels

Parcel ID 29-09S-06W-7311-002W-0170  
Sec/Twp/Rng 29-9S-6W  
Property Address 101 W PINE AVE

Alternate ID 06W09S297311002W0170  
Class VACANT COM  
Acreage n/a

Owner Address SHIVER CHARLES ROBERT  
DONNA KAY BARBER  
W/R/O/S P.BOX 681  
EASTPOINT, FL 32328

District 1  
Brief Tax Description UNIT 1 BL 2W LOTS 17 18  
(Note: Not to be used on legal documents)

Date created: 4/8/2021  
Last Data Uploaded: 4/8/2021 7:46:41 AM

Developed by  Schneider  
GEOSPATIAL



F-

**APPLICATION FOR DEVELOPMENT****FRANKLIN COUNTY BUILDING DEPARTMENT**

34 Forbes Street, Suite 1, Apalachicola, Florida 32320

Phone: 850-653-9783 Fax: 850-653-9799

[http://www.franklincountyflorida.com/planning\\_building.aspx](http://www.franklincountyflorida.com/planning_building.aspx)

PERMIT # \_\_\_\_\_

FEE: \$ \_\_\_\_\_

RADON: \$ \_\_\_\_\_

TOTAL: \$ \_\_\_\_\_

**NOTE TO APPLICANTS AND PERMIT HOLDERS:**

**VIOLATIONS OF THE TERMS AND CONDITIONS OF THIS PERMIT MAY WARRANT A STOP WORK ORDER OR REVOCATION OF THIS PERMIT. THIS PERMIT IS VALID FOR ONE YEAR FROM THE DATE OF ISSUANCE.**

**CONSTRUCTION MUST COMMENCE WITHIN SIX MONTHS OF THIS DATE:**

**ISSUANCE DATE: \_\_\_\_\_ EXPIRES: \_\_\_\_\_**

☒ New Constuction☒ Commercial☐ Residential☐ Substantial Improvement☐ Less than Substantial**APPLICATION MUST BE COMPLETE:** ( Incomplete applications will be review once it has)

Property Owner/s: Charles Robert Shiver and Donna Kay Barber

Contact Information: Home #: 850-814-2907

Cell #: 850-814-2907 and 850-653-6512

Mailing Address: PO Box 681

City/State/Zip: Eastpoint, FL 32328

EMAIL Address: Donna@DonnaKayBarber.com

Contractor Name: TBD

Business Name: \_\_\_\_\_

Contact Information: Office #: \_\_\_\_\_

Cell #: \_\_\_\_\_

State License #: \_\_\_\_\_

County Registration #: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_

EMAIL Address: \_\_\_\_\_

**PROPERTY DESCRIPTION:** 911 Address: 101 W. Pine Ave., St. George Island, FL 32328

Lot/s: 17, 18 and 19

Block: 2

Subdivision: St. George Island Gulf Beaches

Unit: 1 West

Parcel Identification #: 29-09S-06W-7311-002W-0170 and 29-09S-06W-7311-002W-0190

**JURISDICTION:** ☒ Franklin County☐ Apalachicola ☐ Eastpoint ☒ St. George Island ☐ Carrabelle ☐ Dog Island ☐ Lanark/ St. James ☐ St. Teresa ☐ Alligator Point**DESCRIPTION OF DEVELOPMENT:** Convenience Store**ZONING DISTRICT:** C4 & C2**CONTRACT COST:** \_\_\_\_\_

HEATED SQ FT: 1,500

UN-HEATED SQ FT: 0

TOTAL SQUARE FOOT: 1,500

ROOF MATERIAL: TBD

FOUNDATION TYPE: TBD

LOT DEMENSION: \_\_\_\_\_

**NO. OF STORIES:** 1

STORAGE SQ FOOTAGE: 0

GAS UTILITIES: 0

**(Requires Building or General Contractor if over 3 habitable stories including mezzanines.)****(VE Zones: 299 Sq. Foot or Less and MUST be certified breakaway construction by Engineer)**

SEPTIC TANK PERMIT # \_\_\_\_\_

OR SEWER DISTRICT: \_\_\_\_\_

WATER DISTRICT: WMSI

OR PRIVATE WELL: \_\_\_\_\_

WATER BODY: \_\_\_\_\_

CRITICAL SHORELINE DISTRICT: YES OR NO

CRITICAL HABITAT ZONE: YES OR NO

**FLOOD ZONE INFORMATION:** EFFECTIVE DATE: February 5, 2014**PANEL NUMBER:** 120088 0565F**FIRM ZONE/S:** AE**ELEVATION REQUIREMENTS AS PER SURVEY:** 13☐ Requires V-Zone Certification☒ Requires Elevation Certificates☐ Requires Smart Vents☐ Requires Breakaway Walls

BUILDING OFFICIAL

DATE

FLOODPLAIN ADMIN.

DATE

OWNER/CONTRACTOR

133



## SUPPLEMENT APPLICATION

F-

### 1- Proposed Alteration of the Land:

- Determination of COE & DEP Wetlands: N/A
- Amount and location of Fill to be placed on property: TBD
- Percentage of land to be placed in impervious surface: 38%

### 2- Critical Shoreline Inspection:

- Construction to be a minimum of 50 feet from the mean high water or wetland: N/A  
(Must be indicated on submitted site plan)
- Construction within 50 feet of the mean high water or wetlands: N/A
- Attach the Board of Adjustment Approval: Date of Approval: N/A  
(Expires One Year From Approval Date)

### 3- Elevation Requirements:

- FLOOD ZONE: AE BASE FLOOD ELEVATION: 13
- LOWEST BASE FLOOD ELEVATION AT BUILDING SITE: 13
- A/AE/AH/AO ZONES: Elevation of bottom of the first floor: 7 (Building will be flood proofed to ELEV = 14)
- VE Zones: Elevation of the first floor horizontal support structure: N/A

## DEVELOPMENT APPLICATION CHECKLIST

### RESIDENTIAL:

- ☒ Application
- ☒ Supplemental Application
- ☐ Boundary Survey (Non-Flood Zones)
- ☒ Site Plan
- ☐ Septic Tank Permit
- ☐ Water & Sewer Letter
- ☐ Energy Code Form
- ☐ 2 Complete Sets of Building Plans
- ☐ Wind Load Analysis ☐ Engineered
- ☐ State Permits
- ☒ DEP Permits ☐ COE Permits ☐ FDOT Permits
- ☐ Structure Height & Number of Stories Affidavit
- ☐ Portable Toilet Agreement
- ☐ Owner/Builder Affidavit
- ☐ Dumpster Affidavit
- ☐ Termite Affidavit
- ☐ Turtle Light Affidavit (If Applicable)
- ☐ Recorded Notice of Commencement

### FORMS REQUIRED IN FLOOD ZONES: (Additional)

- ☒ Topographical Survey
- ☐ Flood Plain Management Review
- ☐ V Zone Certification (If Applicable)
- ☐ Smart Vent Certification (If Applicable)
- ☐ Elevation Affidavit
- ☐ Non Conversion Agreement

### COMMERCIAL: (Additional to Residential)

- ☐ P&Z Approval Notice
- ☐ BOA Approval Notice
- ☐ BCC Approval Notice
- ☐ DEP Storm Water Permit/Exemption
- ☐ DBPR Approval
- ☐ Parking Plan
- ☐ Flood Proofing Certification (If Applicable)

## SUB-CONTRACTOR LIST

PLEASE BE ADVISED THAT ALL CONTRACTORS DOING WORK IN FRANKLIN COUNTY MUST BE REGISTERED IN FRANKLIN COUNTY PRIOR TO PERFORMING ANY WORK IN THIS COUNTY. ALL GENERAL, RESIDENTIAL & BUILDING, ELECTRICAL, PLUMBING, HVAC & ROOFING CONTRACTOR'S ARE REQUIRED TO PULL PERMITS ON ALL NEW, RENOVATIONS, REMODEL PROJECTS.

CONTRACTOR OR OWNER HAS CONTRACTED WITH THE FOLLOWING (OWNER/BUILDERS ARE NOT ALLOWED TO HIRE SPECIALTY FRAMING CONTRACTORS) ALL CONTRACTOR'S & SUBCONTRACTOR'S MUST BE REGISTERED WITH FRANKLIN COUNTY AND ALL APPLICABLE PERMITS MUST BE OBTAINED BEFORE COMMENCING WORK.

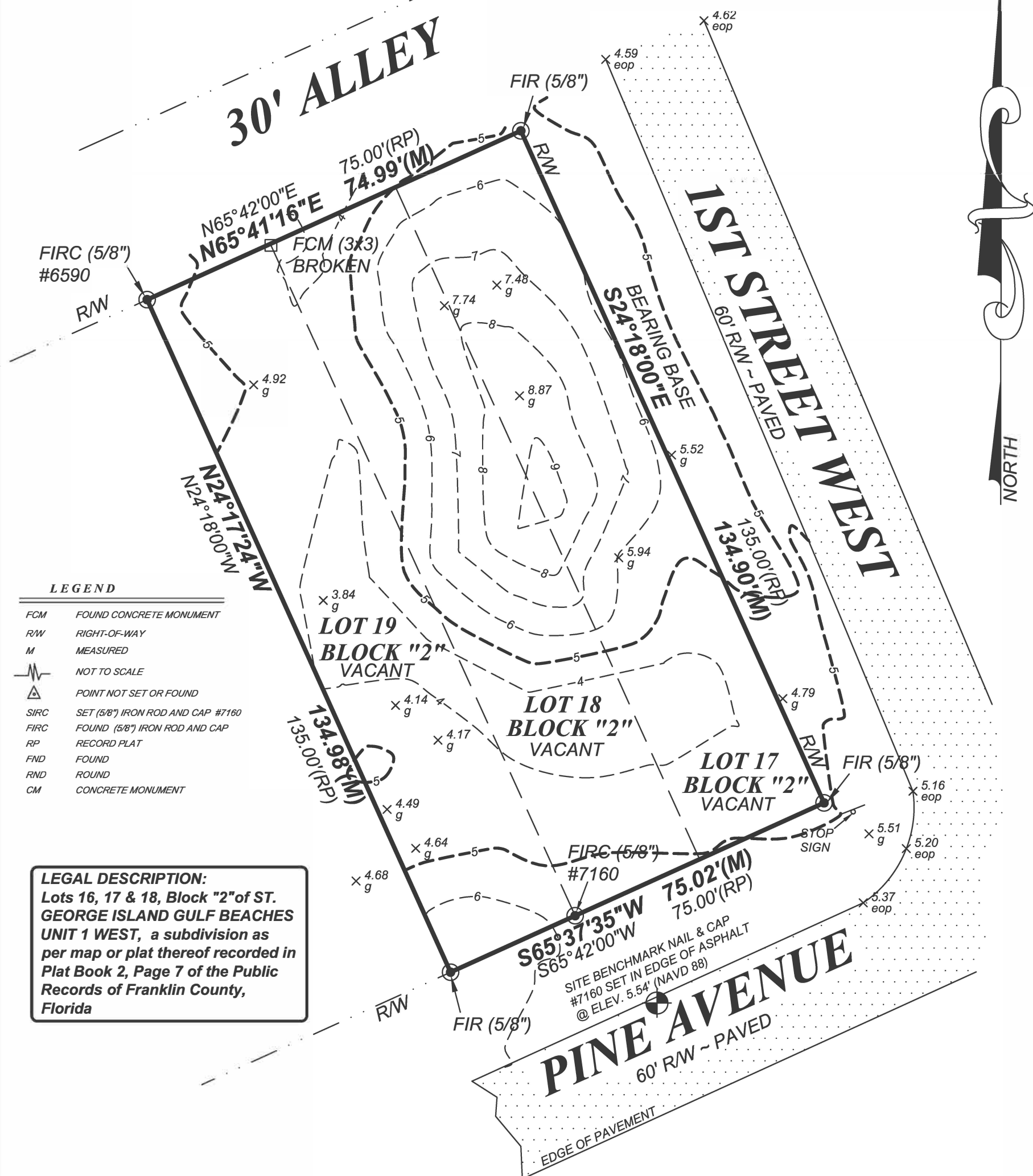
- |                        |                                     |                        |                                     |
|------------------------|-------------------------------------|------------------------|-------------------------------------|
| Contractor: <u>TBD</u> | <input type="checkbox"/> Registered | Insulation: <u>TBD</u> | <input type="checkbox"/> Registered |
| Electrical: <u>TBD</u> | <input type="checkbox"/> Registered | Painting: <u>TBD</u>   | <input type="checkbox"/> Registered |
| Plumbing: <u>TBD</u>   | <input type="checkbox"/> Registered | Framing: <u>TBD</u>    | <input type="checkbox"/> Registered |
| HVAC: <u>TBD</u>       | <input type="checkbox"/> Registered | Masonry: <u>TBD</u>    | <input type="checkbox"/> Registered |
| Roofing: <u>TBD</u>    | <input type="checkbox"/> Registered | Tile: <u>TBD</u>       | <input type="checkbox"/> Registered |
| Propane: <u>TBD</u>    | <input type="checkbox"/> Registered | Siding: <u>TBD</u>     | <input type="checkbox"/> Registered |
| Concrete: <u>TBD</u>   | <input type="checkbox"/> Registered | Other: _____           | <input type="checkbox"/> Registered |
| Piling: <u>N/A</u>     | <input type="checkbox"/> Registered | Other: _____           | <input type="checkbox"/> Registered |

**PLAT OF BOUNDARY AND TOPOGRAPHICAL SURVEY CERTIFIED TO:**

**CHARLES ROBERT SHRIVER and DONNA KAY BARBER,  
DONNA DUNCAN, P.A.,  
CHICAGO TITLE INSURANCE COMPANY**

**NOTES:**

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Westerly right-of-way boundary of 1st Street West having a bearing of South 24 degrees 18 minutes 00 seconds East as per record plat.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.



**LEGEND**

FCM	FOUND CONCRETE MONUMENT
RW	RIGHT-OF-WAY
M	MEASURED
	NOT TO SCALE
	POINT NOT SET OR FOUND
SIRC	SET (5/8\") IRON ROD AND CAP #7160
FIRC	FOUND (5/8\") IRON ROD AND CAP
RP	RECORD PLAT
FND	FOUND
RND	ROUND
CM	CONCRETE MONUMENT

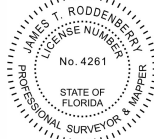
**LEGAL DESCRIPTION:**

**Lots 16, 17 & 18, Block "2" of ST. GEORGE ISLAND GULF BEACHES UNIT 1 WEST, a subdivision as per map or plat thereof recorded in Plat Book 2, Page 7 of the Public Records of Franklin County, Florida**

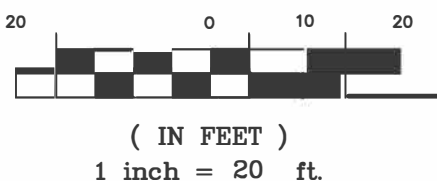
I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 5J-17.051/.052).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

**JAMES T. RODDENBERRY**  
Surveyor and Mapper  
Florida Certificate No: 4261



**GRAPHIC SCALE**



**FLOOD ZONE INFORMATION:**

Subject property is located in Zone "AE" (EL 13) as per Flood Insurance Rate Map Community Panel No: 120088 0565F index date: February 5, 2014, Franklin County, Florida.



**Thurman Roddenberry & Associates, Inc.**

PROFESSIONAL SURVEYORS AND MAPPERS

P.O. BOX 100 • 125 SHELDON STREET • SOPCHOPPY, FLORIDA 32358

PHONE NUMBER: 850-962-2538 FAX NUMBER: 850-962-1103

LB # 7160

DATE: 03/03/21

DRAWN BY: MMD

N.B. PLAT PG

COUNTY: Franklin

FILE: 94088.DWG

DATE OF LAST FIELD WORK:  
03/02/21

JOB NUMBER: 94-088





March 29, 2021

Ms. Cortni Bankston  
Franklin County Planning and Building Dept.  
43 Forbes Street  
Apalachicola, Florida 32320

Subject: Donna Barber and Charles Robert Shiver - Commercial Site Plan  
Lots 17,18,19, Block 2W, Unit 1 St. George Island  
Our Project 421.001.00

Dear Ms. Bankston:

Please accept this letter as our request to be placed on the agenda for the next P&Z meeting, which is to be held in April 2021, for approval of the above-captioned project.

In summary, the project will consist of a 1,500 gsf convenience store. The convenience store will have a deli area for take-out only, either as walk in or via a proposed drive thru window. The main structure will be constructed slab on grade and will be flood proofed to the required elevation of el= 14.0.

Water and sewer facilities for the site will be provided by WMSI and a commercial grade, privately maintained, aerobic sewage treatment system unit, respectively.

It is our understanding, based on a review of the code and past approvals for similar developments that the proposed project is consistent with the provisions of the C-4, mixed use commercial zoning district.

As is customary for this proceeding, we respectfully request that the board make a recommendation of approval for this project, conditioned upon receipt of all applicable state permits, including NFWFMD environmental resource and Health Dept. onsite septic system permits.

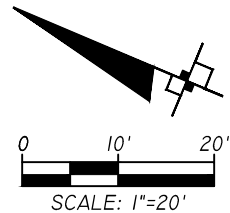
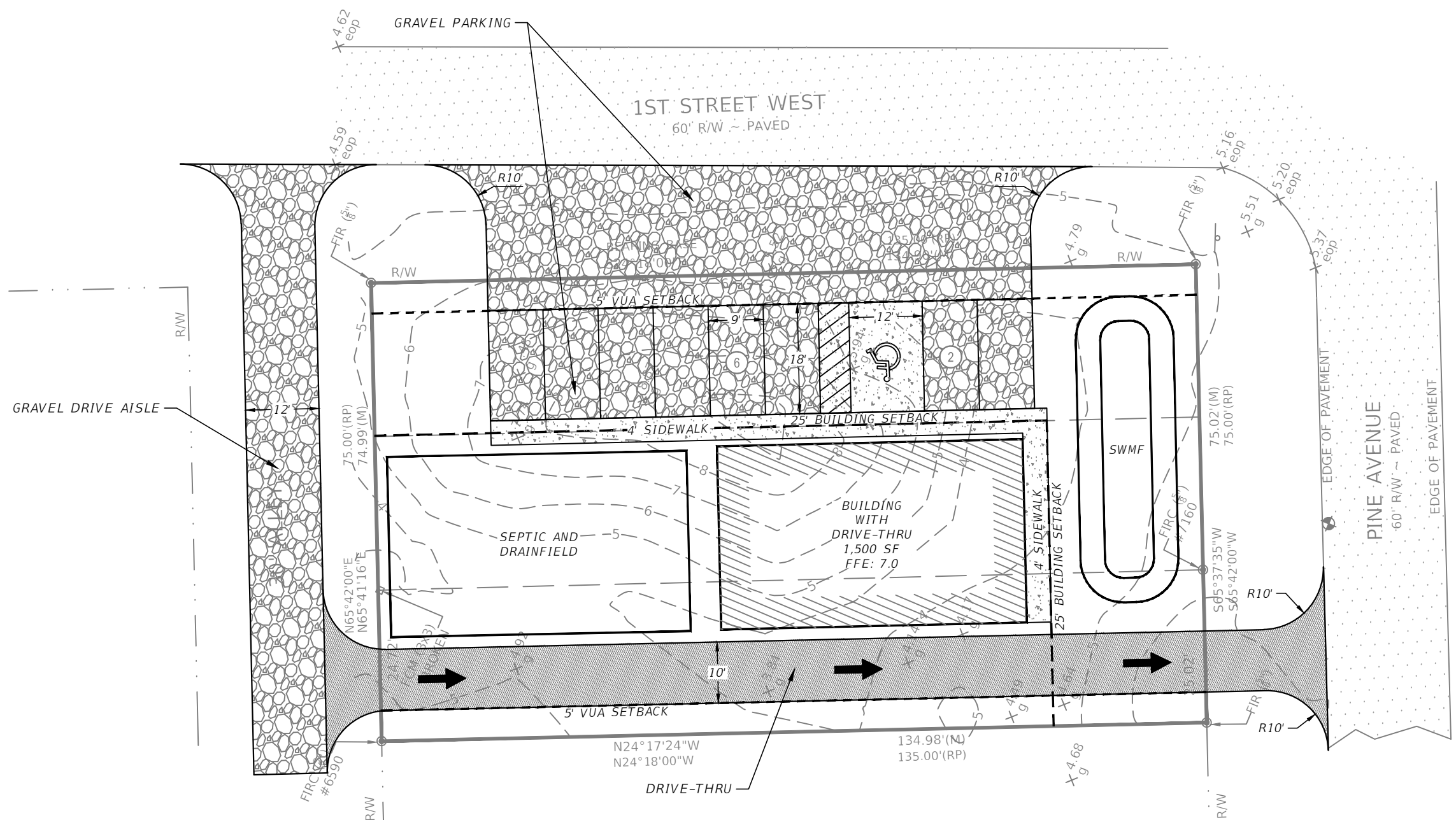
Please advise if we can be of further assistance.

Sincerely,  
**INOVIA CONSULTING GROUP**

*Jim Waddell*

Jim Waddell, P.E.  
Principal

F-



**LEGAL DESCRIPTION:**  
LOTS 16, 17 & 18, BLOCK "2" OF ST. GEORGE ISLAND GULF BEACHES  
UNIT 1 WEST, A SUBDIVISION AS PER MAP OR PLAT THEREOF  
RECORDED IN PLAT BOOK 2, PAGE 7 OF THE PUBLIC RECORDS OF  
FRANKLIN COUNTY, FLORIDA.

**FLOOD ZONE INFORMATION:**  
SUBJECT PROPERTY IS LOCATED IN ZONE "AE" (EL 13) AS PER FLOOD  
INSURANCE RATE MAP COMMUNITY PANEL NO: 120088 0565F INDEX  
DATE: FEBRUARY 5, 2014, FRANKLIN COUNTY, FLORIDA.



1983 CENTRE POINTE BLVD.  
SUITE 103  
TALLAHASSEE, FLORIDA  
32308  
PHONE 850.298.4213  
WWW.INOVIAGROUP.COM  
CA8225

DATE	REVISIONS	BY	NO.	PROJECT NO.	DRAWING FILE: DESIGN BASE.DWG

CLIENT	DONNA BARBER AND CHARLES ROBERT SHIVER
PROJECT	BARBER CONVENIENCE STORE ST. GEORGE ISLAND
SHEET	DIMENSIONAL SITE PLAN

PLAN RELEASE STATUS	
<input type="checkbox"/>	PROGRESS PRINT
<input type="checkbox"/>	PERMIT RELEASE
<input type="checkbox"/>	BID RELEASE
<input type="checkbox"/>	CONSTRUCTION RELEASE

RELEASE DATE: 30 MAR 21	
INITIAL	DATE
DRAWN BY: KRA	3/30/21
CHECKED BY: JFW	3/30/21
SCALE: AS SHOWN	

JAMES F. WADDELL, III, P.E.  
PE NO.: 46019  
DATE: 30 MAR 21





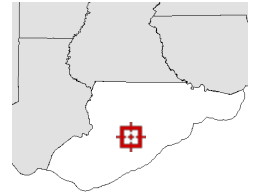
qPublic.net™

Franklin County, FL

G-



#### Overview



#### Legend

- ☐ Parcels
- ☐ Roads
- ☐ City Labels

Parcel ID	36-08S-07W-0000-0131-0020	Alternate ID	07W08S36000001310020	Owner Address	WARD REAL ESTATE INVESTMENTS &
Sec/Twp/Rng	36-8S-7W	Class	VACANT		EQUITY TRUST COMPANY
Property Address	EASTPOINT	Acreage	4.02		P.O. BOX 242
					EASTPOINT, FL 32328
District	5				
Brief Tax Description	4.02 AC M/L IN SECTION				
	(Note: Not to be used on legal documents)				

Date created: 4/8/2021

Last Data Uploaded: 4/8/2021 7:46:41 AM

Developed by Schneider  
GEOSPATIAL



## APPLICATION FOR DEVELOPMENT

### FRANKLIN COUNTY BUILDING DEPARTMENT

34 Forbes Street, Suite 1, Apalachicola, Florida 32320

Phone: 850-653-9783 Fax: 850-653-9799

[http://www.franklincountyflorida.com/planning\\_building.aspx](http://www.franklincountyflorida.com/planning_building.aspx)

PERMIT # \_\_\_\_\_

FEE: \$ \_\_\_\_\_

RADON: \$ \_\_\_\_\_

TOTAL: \$ \_\_\_\_\_

#### NOTE TO APPLICANTS AND PERMIT HOLDERS:

**VIOLATIONS OF THE TERMS AND CONDITIONS OF THIS PERMIT MAY WARRANT A STOP WORK ORDER OR REVOCATION OF THIS PERMIT. THIS PERMIT IS VALID FOR ONE YEAR FROM THE DATE OF ISSUANCE.**

**CONSTRUCTION MUST COMMENCE WITHIN SIX MONTHS OF THIS DATE:**

**ISSUANCE DATE: \_\_\_\_\_ EXPIRES: \_\_\_\_\_**

- ☐ New Constuction  
☐ Commercial  
☐ Residential  
☐ Substantial Improvement  
☐ Less than Substantial

#### APPLICATION MUST BE COMPLETE: ( Incomplete applications will be review once it has)

Property Owner/s: Render & Pam Ward

Contact Information: Home #: \_\_\_\_\_ Cell #: 770-328-4434

Mailing Address: 916 Ward Road City/State/Zip: Warm Springs, Ga 31830

EMAIL Address: [appliedaquatics@gmail.com](mailto:appliedaquatics@gmail.com)

Contractor Name: Arafa, AbdelRaouf Business Name: Energy Conscious Design & Construction

Contact Information: Office #: 850-914-0050 Cell #: 850-814-9911

State License #: CGC060863 County Registration #:

Mailing Address: 2108 West 33rd. Street City/State/Zip: Panama City, FL 32405

EMAIL Address: \_\_\_\_\_

**PROPERTY DESCRIPTION:** 911 Address: ~~Corner of North Bayshore Drive & Old Ferry Dock Rd.~~ 50N Bayshore Drive

Lot/s: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_ Unit: \_\_\_\_\_

Parcel Identification #: \_\_\_\_\_

**JURISDICTION:** ☒ Franklin County

☐ Apalachicola ☒ Eastpoint ☐ St. George Island ☐ Carrabelle ☐ Dog Island ☐ Lanark/ St. James ☐ St. Teresa ☐ Alligator Point

**DESCRIPTION OF DEVELOPMENT:** RV & Boat Storage

ZONING DISTRICT: Commercial CONTRACT COST: \$ 48,600.00

HEATED SQ FT: \_\_\_\_\_ UN-HEATED SQ FT: \_\_\_\_\_ TOTAL SQUARE FOOT: \_\_\_\_\_

ROOF MATERIAL: \_\_\_\_\_ FOUNDATION TYPE: \_\_\_\_\_ LOT DEMENSION: 4.02 Acres

NO. OF STORIES: \_\_\_\_\_ STORAGE SQ FOOTAGE: \_\_\_\_\_ GAS UTILITIES: \_\_\_\_\_

(Requires Building or General Contractor if over 3 habitable stories including mezzanines.) (VE Zones: 299 Sq. Foot or Less and MUST be certified breakaway construction by Engineer)

SEPTIC TANK PERMIT # \_\_\_\_\_ OR SEWER DISTRICT: \_\_\_\_\_

WATER DISTRICT: \_\_\_\_\_ OR PRIVATE WELL: \_\_\_\_\_

WATER BODY: \_\_\_\_\_

CRITICAL SHORELINE DISTRICT: YES OR NO CRITICAL HABITAT ZONE: YES OR NO

**FLOOD ZONE INFORMATION:** EFFECTIVE DATE: February 5, 2014

PANEL NUMBER: \_\_\_\_\_ FIRM ZONE/S: \_\_\_\_\_

**ELEVATION REQUIREMENTS AS PER SURVEY:** \_\_\_\_\_

☐ Requires V-Zone Certification ☐ Requires Elevation Certificates ☐ Requires Smart Vents ☐ Requires Breakaway Walls

BUILDING OFFICIAL \_\_\_\_\_ DATE \_\_\_\_\_ FLOODPLAIN ADMIN. \_\_\_\_\_ DATE \_\_\_\_\_ OWNER/CONTRACTOR \_\_\_\_\_ DATE \_\_\_\_\_





PID: 36-085-07W-0000-0131-0020

**Thurman Roddenberry and Associates, Inc.**  
Professional Surveyors and Mappers

PO Box 108  
125 Sheldon Street  
Naples, Florida 34108  
(239) 435-2710  
Fax: (239) 467-1101

January 21, 2021

Legal Description of a 4.02 Acre Tract  
Certified To: Equity Trust Company Custodian FBO Pamela D. Ward IRA 70%  
undivided interest and Ward Real Estate Investments, L.L.C. 30% Undivided Interest 706-  
616-5465.  
Kristy Branch Banks, P.A.,  
Old Republic National Title Insurance Company

I hereby certify that this is a true and correct representation of the following described  
property and that this description meets the minimum technical standards for land  
surveying (Chapter 5J-17.051, Florida Administrative Code).

Commence at a point marking the Southeast corner of the Northwest Quarter of Section  
36, Township 8 South, Range 7 West, Franklin County, Florida, thence run North along  
the East boundary of said Northwest Quarter 564.00 feet to an iron pipe marking the  
Southwest corner of Lot 8, Block "168" of David H. Brown Estates, Inc.'s Addition to  
Eastpoint, Florida, a subdivision as per map or plat thereof recorded in Plat Book 3, Page  
4 of the Public Records of Franklin County, Florida, said point also lying on the  
Northerly right of way boundary of Power Parkway; thence leaving said East boundary  
run South 86 degrees 41 minutes 56 seconds West along said Northerly right of way  
boundary 395.43 feet to an iron rod and cap (marked 7160) marking the POINT OF  
BEGINNING. From said POINT OF BEGINNING continue South 86 degrees 41  
minutes 56 seconds West 317.12 feet to an iron rod and cap (marked 7160) lying on the  
Easterly right of way boundary of North Bayshore Drive, said point also marking a point  
of curve concave to the Southeast; thence run Northerly along said Easterly right of  
way boundary and said curve with a radius of 950.00 feet; through a central angle of 25  
degrees 57 minutes 27 seconds, for an arc distance of 430.19 feet; chord being North 17  
degrees 44 minutes 11 seconds East, 426.72 feet to a concrete monument (marked 2919);  
thence continue Northeasterly along said Easterly right of way boundary and said curve  
with a radius of 950.00 feet; through a central angle of 06 degrees 20 minutes 15 seconds,  
for an arc distance of 105.08 feet; chord being North 30 degrees 02 minutes 42 seconds  
East, 105.02 feet to an iron rod and cap (marked 7160) lying on the point of intersection  
with the Southerly right of way boundary of Old Ferry Dock Road; thence leaving said  
Easterly right of way boundary and said curve run South 79 degrees 57 minutes 58  
seconds East along said Southerly right of way boundary 254.44 feet to a concrete  
monument (marked 2919) marking a point of curve to the right having a radius of  
2260.56 feet; through a central angle of 02 degrees 42 minutes 13 seconds, for an arc  
distance of 106.66 feet; chord being South 78 degrees 36 minutes 52 seconds East

Page 1 of 2

## Legal Description



## DIMENSION OF THE PERIMETERS



36-085-07W-0000-0131-0020  
36-85-7W  
less

Alternate ID 07W08536000001310020  
Class VACANT  
Acreage 4.02

Owner Address WARD REAL ESTATE TRUST  
EQUITY TRUST  
P.O. BOX 242

## FLOOD MAP

ECDC Energy, Conscious Design & Construction  
2108 W. 33rd Street, Panama City, FL 32405  
(850) 914-0050, ecdc.egc@gmail.com

ECDC Energy, Conscious Design & Construction  
2108 W. 33rd Street, Panama City, FL 32405  
(850) 914-0050, ecdc.egc@gmail.com

PROJECT: SITE PLAN FOR WARD PROPERTY AT EAST POINT  
ADDRESS: OLD FERRY DOCK ROAD & NORTH BAY SHORE DR  
PID# 36-085-07W-0000-0131-0020

ENGINEERING DESIGNED BY:  
DR. RAOUF ARAFA, Ph.D., P.E.

DATE:  
3/30/2021

SCALE:  
AS SHOWN

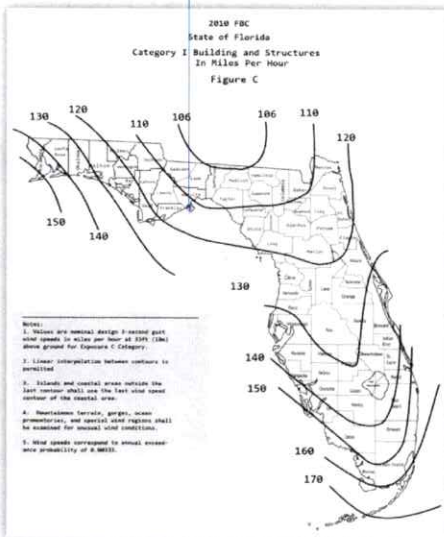
SHEET:  
PAGE 2



**SITE PLAN FOR WARD PROPERTY AT EAST POINT  
ENERGY CONSCIOUS DESIGN & CONSTRUCTION  
120 OLD FERRY DOCK RD., EASTPOINT, FL 32328  
PID#: 36-085-07W-0000-0131-0020**

- 1) Scope of Work
- 2) Site Data / Legal Description
- 3) Site Plan
- 4) 3D of Site Plan
- 5) Survey

Location: Corner of North Bay Shore Dr & Old Ferry Dock Rd



**SCOPE OF WORK & BUILDING SPECS**

**DESIGN THE SITE PLAN FOR RV & BOAT STORAGE PIN THE LOCATION OF AN OFFICE AND FEW**

**RV AND BOAT STORAGE'S AS WELL AS THE NECESSARY PARKING. THE FOLLOWING IS THE FOCUS OF THIS DESIGN:**

- CALCULATE THE RATIO OF IMPERVIOUS AREA.
- CONTAIN AND HANDLE THE RUN OFF WATER
- HANDLE THE STORM WATER THROUGH THE PROPER GRADING, SWALES, AND STORAGE

ECDC Inc.  
Seal

ECDC Energy Conscious Design & Construction  
2105 N. 93rd Street, Panama City, FL 32405  
(850) 914-0050, ecdc.egc@gmail.com

PROJECT: SITE PLAN FOR WARD PROPERTY AT EAST POINT  
ADDRESS: OLD FERRY DOCK ROAD & NORTH BAY SHORE DR  
PID#: 36-085-07W-0000-0131-0020

Scope of Work

ENGINEERING DESIGNED BY:  
DR. RAOUF ARAFA, Ph.D., P.E.

DATE:

3/30/2021

SCALE:

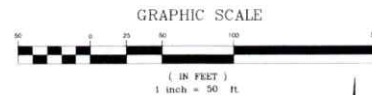
AS

SHEET:

PAGE 1



PLAT OF BOUNDARY SURVEY CERTIFIED TO:  
 EQUITY TRUST COMPANY CUSTODIAN FBO PAMELA D. WARD IRA 70%  
 UNDIVIDED INTEREST AND WARD REAL ESTATE INVESTMENTS, LLC, 30% UNDIVIDED INTEREST 706-616-5465  
 KRISTY BRANCH BANKS, P.A.,  
 OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY



- LEGEND**
- M MEASURED
  - RP RECORD PLAT
  - D RECORD DEED
  - FCM FOUND CONCRETE MONUMENT
  - FRIC FOUND IRON ROD AND CAP
  - SIRC SET (5/8") IRON ROD AND CAP #1150
  - FRP FOUND IRON ROD
  - FCM FOUND CONCRETE MONUMENT
  - FNC FOUND NAIL AND CAP
  - RW RIGHT-OF-WAY
  - NOT TO SCALE
  - POINT NOT SET OR FOUND



- NOTES:**
1. SURVEY SOURCE: Deed of record and a field survey performed by the undersigned surveyor.
  2. BEARING REFERENCE: Southerly right of way boundary of Old Ferry Dock Road being South 79 degrees 57 minutes 58 seconds East as per deed of record.
  3. NO IMPROVEMENTS have been located in this survey other than those shown herein.
  4. There are NO VISIBLE ENCROACHMENTS other than those shown herein.
  5. This survey is dependent upon EXISTING MONUMENTATION.
  6. Not valid without the signature and the original raised seal of a person licensed surveyor and mapper.
  7. See attached sheets for target descriptions.

**FLOOD ZONE INFORMATION:**  
 Subject property is located in Zones "X", "X-0.2%", and "AH (EL.1.3)" as per Flood Insurance Rate Map Community Panel No. 120088 0532F, index date: February 05, 2014, Franklin County, Florida.

THURMAN RODDENBERRY & ASSOCIATES, INC.			
PROFESSIONAL SURVEYORS AND MAPPERS			
P.O. BOX 100 • 121 SHELTON STREET • NOLAN, FLORIDA 32185			
PHONE: 904.962.1118 FAX: 904.962.1101			
E.O. 1349			
DATE: 01/21/21	DRAWN BY: BR/MD	N.B. PER PLAT	COUNTY: FRANKLIN
FILE: 18217.DWG	DATE OF LAST FIELD WORK: 01/20/21	JOB NUMBER: 18-217	

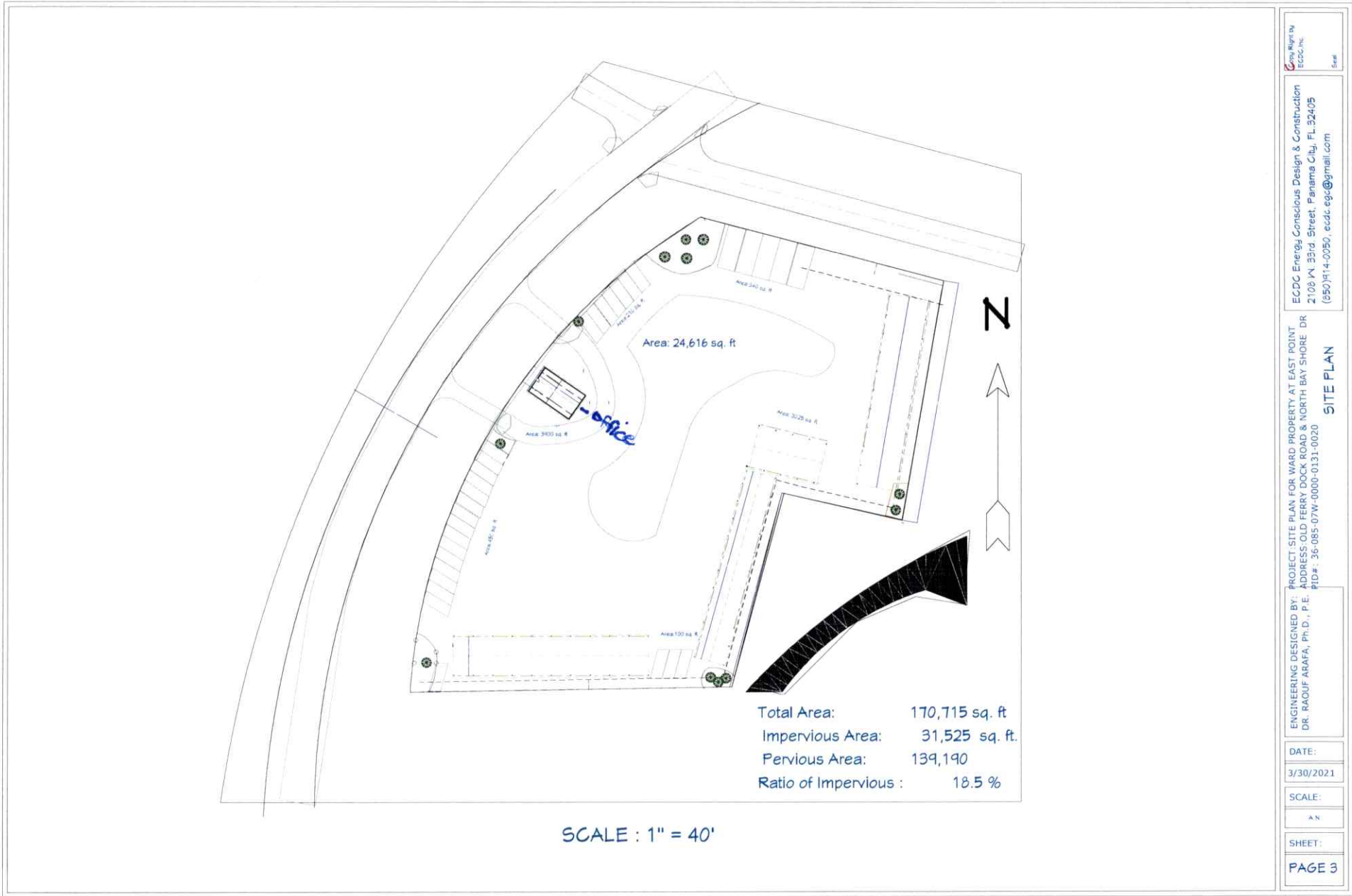
ECDC Inc.  
 Seal

ECDC Energy Conscious Design & Construction  
 2108 W. 33rd Street, Panama City, FL 32405  
 (850) 914-0050, ecdc.egc@gmail.com

ENGINEERING DESIGNED BY: PROJECT SITE PLAN FOR WARD PROPERTY AT EAST POINT  
 DR. RAOUF ARAFA, Ph.D., P.E.  
 PTD #: 36-085-07W-0000-0131-0020

DATE:  
 3/30/2021  
 SCALE:  
 A=N  
 SHEET:  
 PAGE 5

G-



The site plan illustrates the layout of the East Point property. It features a central building complex with several labeled areas: 'Area 24,616 sq. ft' for the main building, 'Area 3400 sq. ft' for an 'office' building, 'Area 340 sq. ft', 'Area 3025 sq. ft', 'Area 100 sq. ft', and 'Area 45 sq. ft'. A parking lot is situated to the left of the main building. A north arrow points towards the top right, and a scale bar indicates 1 inch equals 40 feet. A hatched area is shown at the bottom right corner of the property.

Total Area:	170,715 sq. ft
Impervious Area:	31,525 sq. ft.
Pervious Area:	139,190
Ratio of Impervious :	18.5 %

SCALE : 1" = 40'

ENGINEERING DESIGNED BY : DR. RAOUF ARAFA, PH.D., P.E.

PROJECT: SITE PLAN FOR WARD PROPERTY AT EAST POINT  
ADDRESS: OLD FERRY DOCK ROAD & NORTH BAY SHORE DR  
PTD#: 36-085-07W-0000-0131-0020

ECDC Energy Conscious Design & Construction  
2108 W 33rd Street, Panama City, FL 32405  
(950)914-0050, ecdc.eg@gmail.com

DATE: 3/30/2021

SCALE: A N

SHEET: PAGE 3

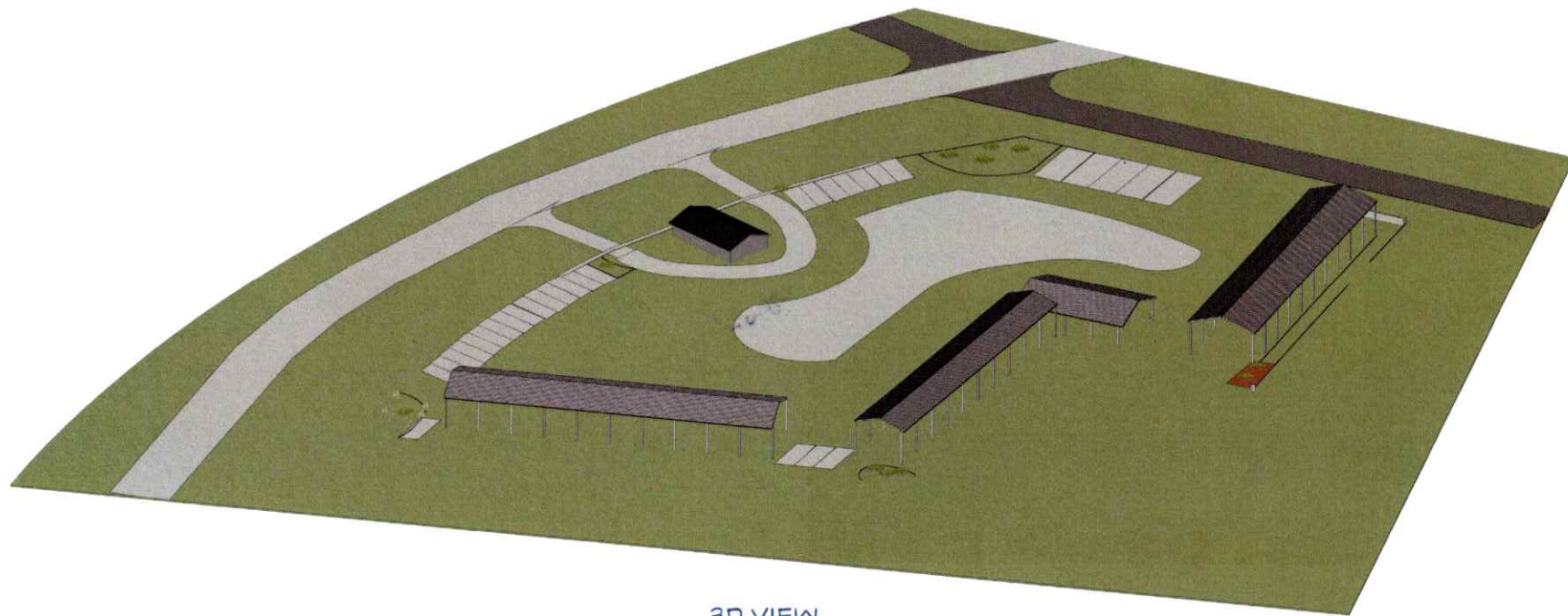
SITE PLAN

DATE:  
3/30/2021

SCALE:  
A N

SHEET:  
PAGE 3





3D VIEW

SCALE : 1" = 30'



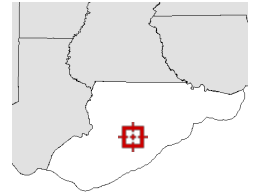
qPublic.net™

Franklin County, FL

H-



#### Overview



#### Legend

- Parcels
- Roads
- City Labels

Parcel ID 31-08S-06W-0000-2350-0000

Sec/Twp/Rng 31-8S-6W

Property Address 336 PATTON DR  
EASTPOINT

District 5

Brief Tax Description A TRIANGULAR PARCEL WITH

(Note: Not to be used on legal documents)

Alternate ID 06W08S31000023500000

Class STORES, 1

Acreage n/a

Owner Address MMSW HOLDINGS, LLC

3453 MAHONEY DRIVE

TALLAHASSEE, FL 32309

Date created: 4/8/2021

Last Data Uploaded: 4/8/2021 7:46:41 AM

Developed by  Schneider  
GEOSPATIAL





H-

**APPLICATION FOR RE-ZONING & LAND USE CHANGE****FRANKLIN COUNTY BUILDING DEPARTMENT**

34 Forbes Street, Suite 1, Apalachicola, Florida 32320

Phone: 850-653-9783 Fax: 850-653-9799

[http://www.franklincountyflorida.com/planning\\_building.aspx](http://www.franklincountyflorida.com/planning_building.aspx)

PROPERTY OWNER'S NAME: MMSW HOLDINGS, LLC  
MAILING ADDRESS: 3453 MAHONEY DR City/State/Zip: Tallahassee FL 32309  
PHONE #: 850-524-1872 CELL #: SAME EMAIL: MW294EVA@GMAIL.COM

AGENT'S NAME: MARSHA WATSON  
MAILING ADDRESS: 3453 MAHONEY DR City/State/Zip: Tallahassee FL 32309  
PHONE #: 850-524-1872 CELL #: SAME EMAIL: MW294EVA@GMAIL.COM

PROPERTY DESCRIPTION: 911 Address: 336 PATTON DRIVE, EASTPOINT, FL 32320

Lot/s: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_ Unit: \_\_\_\_\_

Parcel Identification #: 31-085-06W-000-2350-0000

JURISDICTION: ☒ Franklin County

☐ Apalachicola ☒ Eastpoint ☐ St. George Island ☐ Carrabelle ☐ Dog Island ☐ Lanark/ St. James ☐ St. Teresa ☐ Alligator Point

ACREAGE: 1.13

CURRENT ZONING: COMMERCIAL C1 CURRENT LAND USE: COMMERCIAL

REQUESTED ZONING: C3 REQUESTED LAND USE: COMMERCIAL

LEGAL DESCRIPTION OF THE PROPERTY: (Must Attach Legal Description)

PLANNING & ZONING DATE: \_\_\_\_\_

RECOMMENDED APPROVAL: \_\_\_\_\_ RECOMMENDED DENIAL: \_\_\_\_\_ RECOMMENDED TO TABLE: \_\_\_\_\_  
CONDITIONS: \_\_\_\_\_

BOARD OF COUNTY DATE: \_\_\_\_\_

RECOMMENDED APPROVAL: \_\_\_\_\_ RECOMMENDED DENIAL: \_\_\_\_\_ RECOMMENDED TO TABLE: \_\_\_\_\_  
CONDITIONS: \_\_\_\_\_

PUBLIC HEARING DATE: \_\_\_\_\_

☐ APPROVED ☐ DENIED ☐ TABLED

CONDITIONS: \_\_\_\_\_

Instructions: Complete application, including proof of ownership in the form of deed, detailed description of request including any necessary information supporting request (site plan/survey) and application fee of \$250.00 for Re-Zoning and \$250.00 for Land Use Change. Return to the following address:

Franklin County  
34 Forbes Street, Suite 1  
Apalachicola, FL 32320



Will provide 2 RV  
spaces & they would  
be expected to  
drop in county

H-

FRANKLIN COUNTY, FLORIDA  
REQUIRED ANALYSIS FOR LAND USE OR ZONING CHANGE

**Economic Development** – How will this change promote economic development in Franklin County?

**Water and Sewer** – Will the development be served by central water and sewer or will it be on individual water wells and septic tanks?

Yes -  
Eastpointe  
Water + Sewer

3/30/21



FRANKLIN COUNTY, FLORIDA  
REQUIRED ANALYSIS FOR LAND USE OR ZONING CHANGE

- yes* • **Eastpoint Urban Service Area** – Is the property located in the Eastpoint Urban Service Area?
- yes* • **Coastal High Hazard Area** – Is the property located in the Coastal High Hazard Area?
- yes* • **Critical Shoreline Zone** – Is the property located in the Critical Shoreline Zone?
- 1 • **Soil Conditions** – Copies of the 1994 Soil Survey of Franklin County are available from the Franklin County Planning Office.

*SLIGHTLY ON SLOPE OF PATTON TO BAY*  
• **Topography** – What is the topography of the property?

*NO* • **Drainage** – Are there any natural drainage features located on the property?

*NO* • **Wetlands** – The only way to definitively know if there are wetlands on the property is to have a qualified individual survey the site for wetlands, but the U. S. Fish and Wildlife Service's National Wetlands Inventory can give a general overview of what potential wetlands might be located on the property. The website can be accessed at :<https://www.fws.gov/wetlands/data/mapper.html>

• **Floodplains** – What flood zone is this property located in? The flood maps for Franklin County can be found at [portal.nwfwdmfloodmaps.com](http://portal.nwfwdmfloodmaps.com).

*NO* • **Potential Wildfire Areas** – Is the property susceptible to wildfires?

*NO* • **Historic or Cultural Sites** – Are there any historic or cultural sites located on the property? The Florida Master Site File keeps a list of recorded historic and cultural sites in Florida. They can be reached at 850-245-6440 or – called [sitefile@dos.myflorida.com](mailto:sitefile@dos.myflorida.com).

*NO* • **Endangered Species** – Are there any endangered species located on this property? The Florida Fish and Wildlife Conservation Commission's website showing the location of Bald Eagle nests in the state can be found at : <http://myfwc.maps.arcgis.com/apps/webappviewer/index.html?id=253604118279431984e8bc3ebf1cc8e9>

*NO SIGNIFICANT IMPACT - 2 W/ 50 FT 3 SPACES*  
• **Traffic Circulation** – How will this development affect traffic on the roads that serve the development? The Florida Department of Transportation traffic counts can be found at <https://tdaappsprod.dot.state.fl.us/fto/>

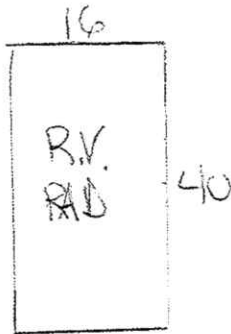
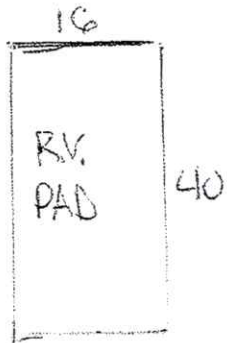
*NO* • **Affordable Housing** – Will this change increase the supply of affordable housing in Franklin County?



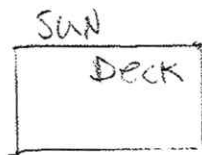
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PATTON DC - 336

73.26



154



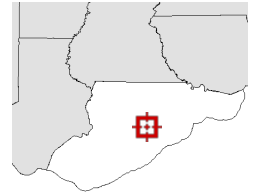
176

3/29/21





Overview



Legend

- Parcels
- Roads
- City Labels

Parcel ID 25-07S-05W-0000-0060-0000

Sec/Twp/Rng 25-7S-5W

Property Address 1865 HWY 98 W  
CARRABELLE

District 1

Brief Tax Description 200X300 FT OR/77/134 &

(Note: Not to be used on legal documents)

Alternate ID 05W07S25000000600000

Class VACANT

Acreage n/a

Owner Address BLAKEYS BEACH, LLC  
1891 HWY 98 W  
CARRABELLE, FL 32322

Date created: 4/8/2021

Last Data Uploaded: 4/8/2021 7:46:41 AM

Developed by  Schneider  
GEOSPATIAL



# **APPLICATION FOR RE-ZONING & LAND USE CHANGE**

## **FRANKLIN COUNTY BUILDING DEPARTMENT**

34 Forbes Street, Suite 1, Apalachicola, Florida 32320

Phone: 850-653-9783 Fax: 850-653-9799

[http://www.franklincountyflorida.com/planning\\_building.aspx](http://www.franklincountyflorida.com/planning_building.aspx)

PROPERTY OWNER'S NAME: BLAKEY'S BEACH LLC  
 MAILING ADDRESS: 1891 HWY 98 W City/State/Zip: CARRABELLE FL 32322  
 PHONE #: \_\_\_\_\_ CELL #: 933-4166 EMAIL: \_\_\_\_\_

AGENT'S NAME: Loren Whaley  
 MAILING ADDRESS: \_\_\_\_\_ City/State/Zip: \_\_\_\_\_  
 PHONE #: \_\_\_\_\_ CELL #: 363-3611 EMAIL: \_\_\_\_\_

**PROPERTY DESCRIPTION:** 911 Address: 1865 HWY 98 W, CARRABELLE FL 32322

Lot/s: Metes & Bounds Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_ Unit: \_\_\_\_\_

Parcel Identification #: 25-075-05W-0000-0060-0000

**JURISDICTION:** ☒ Franklin County

☐ Apalachicola ☐ Eastpoint ☐ St. George Island ☒ Carrabelle ☐ Dog Island ☐ Lanark/ St. James ☐ St. Teresa ☐ Alligator Point

ACREAGE: MA30 2.0

CURRENT ZONING: RES. / R-4 CURRENT LAND USE: R-4

REQUESTED ZONING: C-4 REQUESTED LAND USE: C-4

LEGAL DESCRIPTION OF THE PROPERTY: (Must Attach Legal Description) SEE ATTACHED

PLANNING & ZONING DATE: \_\_\_\_\_

RECOMMENDED APPROVAL: \_\_\_\_\_ RECOMMENDED DENIAL: \_\_\_\_\_ RECOMMENDED TO TABLE: \_\_\_\_\_  
 CONDITIONS: \_\_\_\_\_

BOARD OF COUNTY DATE: \_\_\_\_\_  
 RECOMMENDED APPROVAL: \_\_\_\_\_ RECOMMENDED DENIAL: \_\_\_\_\_ RECOMMENDED TO TABLE: \_\_\_\_\_  
 CONDITIONS: \_\_\_\_\_

PUBLIC HEARING DATE: \_\_\_\_\_  
☐ APPROVED ☐ DENIED ☐ TABLED  
 CONDITIONS: \_\_\_\_\_

Instructions: Complete application, including proof of ownership in the form of deed, detailed description of request including any necessary information supporting request (site plan/survey) and application fee of \$150.00 for Re-Zoning and \$150.00 for Land Use Change. Return to the following address:

**RECEIVED**  
 MAR 03 2021

Franklin County  
 34 Forbes Street, Suite 1  
 Apalachicola, FL 32320

BY: .....



Lighthouse  
Ridge Estates  
Unit 1

1-

25-07S-05W

36-07S-05W

GORDON  
JONSTON  
MUSEUM

DUMPSTER

PORTABLE  
BUILDING

PICNIC  
TABLES

FOOD  
TRAILER

PARKING

HANDICAP  
PARKING

DRIVE WAY

US Hwy 98



MARY LAWHON  
1891 HIGHWAY 98 W  
P. O. BOX 815  
CARRABELLE, FLORIDA 32322

March 2, 2021

Franklin County Board of County Commissioners  
Franklin County Planning & Zoning Board  
Franklin County Courthouse  
Apalachicola, Florida

Re: 1865 Highway 98 W  
Tax ID 25-07S-05W-0000-0060-0000

Dear Sirs:

As the owner of Blakey's Beach, LLC located at 1865 Highway 98 W, Carrabelle, Florida I am writing to let you know that I fully support the rezoning of the above referenced property from Residential to C4 mixed use. For reference, the property is directly east of the Camp Gordon Johnston Museum, across from the Carrabelle beach wayside park, and west of the Carrabelle Beach RV Resort.

Not only as owner of the property but as a resident located at 1891 Highway 98 West, my husband, Max Lawhon and I whole heartily endorse this effort. Also, I applaud the efforts of the Whaleys to bring a much needed business and tax revenue to the county.

Should you have any questions concerning this rezoning, please do not hesitate to contact me at 850-933-4166 or by email at [j.lawhon@mchsi.com](mailto:j.lawhon@mchsi.com).

Sincerely,

BLAKEY'S BEACH, LLC

*Mary Lawhon*  
Mary Lawhon

STATE OF FLORIDA  
COUNTY OF FRANKLIN

The foregoing instrument was acknowledged before on March 2, 2021 by MARY LAWHON who is personally known to me or has produced driver's license as identification.

*Kelly Collins*  
\_\_\_\_\_  
NOTARY

3.2.21  
\_\_\_\_\_  
DATE

STAMP





State of Florida

Rev. 133EF48

## LAND/GROUND LEASE AGREEMENT

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This Land/Ground Lease Agreement (this "Agreement") is entered into as of the 01 day of March, 2021, (the "Effective Date") by and between Blakey's Beach, LLC, ("Landlord") and True Grit Trucking, Inc DBA Up Grit Creek ("Tenant"). Each Landlord and Tenant may be referred to in this Agreement individually as a "Party" and collectively as the "Parties."

For good and valuable consideration stated herein, the sufficiency of which is hereby acknowledged, the Parties agree as follows:

**1. Agreement to Lease.** Landlord agrees to lease to Tenant and Tenant agrees to lease from Landlord, according to the terms and conditions set forth herein, the following real estate (the "Site"): 200X300 FT OR/77/134 & OR 90/600 113/314-315 635/640 791/607 ALSO A PARCEL PARTIALLY IN SEC 36 07S 05W OR 563/415 575/391 1250/437 25-07S-05W-0000-0060-0000.

**2. Purpose.** The Site may be used and occupied only for the following purpose (the "Permitted Use"): Rental for Food Trailer. Nothing herein shall give Tenant the right to use the Site for any other purpose without the prior written consent of Landlord. Landlord makes no representation or warranty regarding the legality of the Permitted Use, and Tenant will bear all risk of any adverse change in applicable laws.

**3. Term.** This Agreement will be for a term beginning on March 01, 2021 and ending on March 01, 2022 (the "Term"). The Parties hereto may elect to extend this Agreement upon such terms and conditions as may be agreed upon in writing and signed by the Parties at the time of any such extension.

**4. Rent.** Tenant will pay Landlord rent in advance \$500.00 in monthly installments due on the 1st day of each month during the Term. Rent for any period during the Term which is for less than one month will be a pro rata portion of the monthly installment. Rent of \$500 a month plus percentage of gross profits for previous month.

**5. Late Fee.** Rent paid after the 1st day of each month will be deemed as late; and if rent is not paid within ten (10) days after such due date, Tenant agrees to pay a late charge of \$50.00.

**6. Additional Rent.** There may be instances under this Agreement where Tenant may be required to pay additional charges to Landlord. All such charges are considered additional rent under this Agreement and will be paid with the next regularly scheduled rent payment. Landlord has the same rights and Tenant has the same obligations with respect to additional rent as they do with rent.

**7. Taxes.** Landlord shall pay all taxes or assessments which are levied or charged on the Site during the Term.

**8. Utilities.** Tenant shall pay the cost of all utility services during the Term, including but not limited to gas, water, and electricity used on the Site.

**9. Delivery of Possession.** Landlord will deliver exclusive and lawful possession of the Site to Tenant on the start date of the Term. In the event Landlord is unable to give possession of the Site to Tenant on such date, Landlord will not be subject to any liability for such failure, the validity of this Agreement will not be affected, and the Term will not be extended. Tenant will not be liable for rent until Landlord gives possession of the Site to Tenant.

**10. Holdover Tenancy.** Unless this Agreement has been extended by mutual written agreement of the Parties, there will be no holding over past the Term under the terms of this Agreement under any circumstances. If Tenant does retain possession past the Term, Tenant shall pay 100% of the then applicable rent computed on a monthly basis for each month or portion thereof during such holdover. In addition, Tenant shall be liable for any damages incurred by Landlord as a result of the holdover.

**11. Condition of the Site.** Tenant has examined the Site and accepts the Site in its current condition "AS IS" and "WITH ALL FAULTS." except as expressly set forth herein, landlord makes no representation OR warranty, express or implied, or arising by operation of law, including but not limited to, any warranty of fitness for a particular purpose, merchantability, habitability, SUITABILITY, or condition. tenant acknowledges that Tenant has not relied on any representations or warranties by Landlord in entering this Agreement.

**12. Use of the Site.** Tenant agrees to use the Site only for the Permitted Use and will not commit waste upon the Site. Tenant will, at its sole expense, maintain the Site in good repair and make all necessary repairs thereto. Tenant will not use the Site for any unlawful purpose or in any manner that will materially harm Landlord's interest in the Site.

**13. Improvements and Alterations.** Tenant may not make improvements, alterations, additions, or other changes to the Site without the written approval of the Landlord. Tenant agrees that any construction will be performed in a good and workmanlike manner and will comply with all applicable laws. All improvements, alterations, additions, or other changes to the Site shall become the property of Landlord upon the termination of this Agreement. Tenant shall have the right to erect any sign related to its business, on the condition that such signs comply with the law.

**14. Leasehold Mortgage.** Tenant does not have the right to grant a mortgage, deed of trust, or other security instrument in Tenant's interest to the Site created by this Agreement (the "Leasehold Mortgage") to secure repayment of a loan made to Tenant to finance construction of any improvements made to the Site during the Term. In no event will any interest of Landlord in the Site be pledged as collateral for or be subordinate to any Leasehold Mortgage.

**15. No Mechanics Lien.** Tenant will not permit any mechanics or other liens to be filed against Landlord's interest to the Site as a result of any work performed for or obligations incurred by Tenant. Tenant will indemnify Landlord for any liability, cost, or expense, including attorney's fees, in the event any such lien is filed.



**16. Permits and Approvals.** Tenant will be responsible for obtaining all licenses, permits, and approvals required by any federal, state or local authority in connection with its use of the Site. Landlord will cooperate with Tenant and provide the necessary documents to obtain such licenses, permits, and approvals.

**17. Compliance with Laws.** Tenant covenants and agrees to comply with all federal, state and local laws, regulations and ordinances affecting the Site and use of the Site, including applicable environmental laws. In addition, Tenant will comply with all requirements necessary to keep in force fire and liability insurance covering the Site.

**18. Hazardous Substances.** Tenant will not keep or store on the Site any item of a dangerous, flammable, or explosive character that might unreasonably increase the danger of fire or explosion on the Site or that might be considered hazardous or extra hazardous by any responsible insurance company.

**19. Insurance.** At all times during the Term, Tenant will maintain insurance for the Site covering:

**I. Property Insurance.** Property insurance covering all of Tenant's improvements, equipment, and other personal property located on the Site.

**II. General Liability.** Commercial liability insurance covering bodily injury, death, or property damage in an amount not less than \$1,000,000.00 per occurrence.

All insurance policies shall name Landlord as an additional insured or interested party. Tenant will provide Landlord certificates evidencing the required insurance policies prior to the start date of the Term.

**20. Waiver of Subrogation.** Landlord and Tenant each waive any and all claims or rights to recovery against the other Party for any loss or damage to the extent such loss or damage is covered by insurance or would be covered by insurance as required under this Agreement. Landlord and Tenant will cause each insurance policy carried by Landlord or Tenant relating to the Site to include or allow a full waiver of any subrogation claims.

**21. Indemnification.** To the extent permitted by law, Tenant agrees to indemnify, defend, and hold harmless Landlord from any and all claims, actions, liabilities, suits, demands, damages, losses, or expenses, including attorneys' fees, arising out of or relating to (i) Tenant's use and occupancy of the Site, (ii) any work done by or on behalf of Tenant on the Site, (iii) Tenant's negligence or willful misconduct, and/or (iv) Tenant's breach or default of any of the terms of this Agreement, provided however, Tenant's obligations under this section shall not extend to any claims actions, liabilities, suits, demands, damages, losses, or expenses arising from the sole negligence or willful misconduct of Landlord.

**22. Access to Site.** Landlord or its agents may have access to the Site at reasonable times to inspect the Site, to make any necessary repairs, to show the Site to prospective lenders or buyers, and as otherwise needed to perform its obligations under this Agreement.

**23. Default.** The following shall each constitute an "Event of Default" by Tenant:

- A. Tenant fails to make any required payment due under this Agreement.
- B. Tenant fails to perform any obligation or condition or to comply with any term or provision of this Agreement.
- C. Tenant files a petition for bankruptcy, reorganization or similar relief, or makes an assignment for the benefit of creditors.

**24. Termination by Landlord.** Upon the occurrence of an Event of Default by Tenant which continues for a period of thirty (30) days after receiving written notice of the default from Landlord, Landlord has the right to terminate this Agreement and take possession of the Site. Landlord's rights hereunder shall be in addition to any other right or remedy now or hereafter existing at law or equity.

**25. Termination by Tenant.** In the event of a breach by Landlord of any of its obligations, covenants, or agreements under this Agreement which continues for a period of thirty (30) days after receiving written notice of the breach from Tenant, Tenant has the right to terminate this Agreement, upon written notice to Landlord, without penalty. Landlord shall return to Tenant any prepaid or prorated rent if Tenant terminates this Agreement pursuant to this section.

**26. Surrender of the Site.** Tenant shall return the Site to Landlord upon termination of this Agreement in good condition and repair, ordinary wear and tear excepted. Within ten (10) days following the termination of this Agreement, Tenant will remove all equipment, materials, fixtures and other personal property belonging to Tenant from the Site. Any property left on the Site after ten (10) days following the termination of this Agreement will be deemed to have been abandoned by Tenant and may be retained by Landlord.

**27. Registration of the Lease.** The parties shall, to the extent required by law and practice, properly register this Lease Agreement with the relevant Land Registry Office, and any other relevant government office that may serve as a place for registering or recording leases, within 45 days from the date that this Lease Agreement is executed.

**28. Subordination.** This Agreement and Tenant's right hereunder shall be subject and subordinate in all respects to any mortgage, deed of trust, or other lien now or hereinafter incurred by Landlord. Upon request of Landlord, Tenant will enter into a subordination agreement or other customary form as required by the lien holder.

**29. No Partnership.** Nothing contained in this Agreement shall be deemed or construed to create a partnership, joint venture or any other fiduciary relationship between the Parties other than that of Landlord and Tenant. Neither Party is authorized to act as an agent or on behalf of the other Party.

**30. Condemnation.** In the event that all or a material portion of the Site necessary for Tenant's Permitted Use of the Site is taken for any public or quasi-public use under any governmental law, ordinance or regulation or by the right of eminent domain, this Agreement shall terminate on the date of such taking, and all rent under this Agreement shall be prorated and paid to such date. In the event such taking is less than a material portion of the Site, this Agreement shall remain in full force and effect; provided however, the rent due under this Agreement shall be reduced to such extent as may be fair and reasonable under



the circumstances. Landlord and Tenant shall each be entitled to receive and retain such separate awards and portions of lump sum awards as may be allocated to their respective interests in any condemnation proceedings.

**31. Limitation of Liability.** Landlord is not responsible or liable for any loss, claim, damage or expense as a result of any accident, injury or damage to any person or property occurring anywhere on the Premises, unless resulting from the negligence or willful misconduct of Landlord.

**32. Assignment and Subletting.** Tenant will not assign this Agreement as to all of or any portion or the Site or make or permit any total or partial sublease or other transfer of all of or any portion of the Site without Landlord's consent.

**33. Quiet Enjoyment.** If Tenant pays the rent and performs all other obligations under this Agreement, Tenant may peaceably and quietly hold and enjoy the Site during the Term.

**34. Force Majeure.** In the event that Landlord or Tenant shall be delayed or hindered in or prevented from the performance of any act other than Tenant's obligation to make payments of rent, additional rent, and other charges required hereunder, by reason of strikes, lockouts, unavailability of materials, failure of power, restrictive governmental laws or regulations, riots, insurrections, the act, failure to act, or default of the other Party, war or other reason beyond its control, then performance of such act shall be excused for the period of the delay and the period for the performance of such act shall be extended for a period equivalent to the period of such delay.

**35. Notices.** All notices given under this Agreement must be in writing. A notice is effective upon receipt and shall be delivered in person, sent by overnight courier service or sent via certified or registered mail, addressed to Landlord or Tenant at the address stated above, or to another address that either Party may designate upon reasonable notice to the other Party.

**36. Further Assurances.** Each Party hereto agrees to execute and deliver any additional documents and to do all such other acts as may be necessary to carry out this Agreement and each Party's rights and interests in this Agreement.

**37. No Waiver.** No Party shall be deemed to have waived any provision of this Agreement or the exercise of any rights held under this Agreement unless such waiver is made expressly in writing.

**38. Severability.** If any provision of the Agreement is held to be invalid, illegal, or unenforceable in whole or in part, the remaining provisions shall not be affected and shall continue to be valid, legal, and enforceable as though the invalid or unenforceable parts had not been included in this Agreement.

**39. Successors and Assignees.** This Agreement will inure to the benefit of and be binding upon the Parties and their respective permitted successor and assigns.

**40. Governing Law.** The terms of this Agreement shall be governed exclusively by the laws of the State of Florida, without regard to its conflicts of laws rules.

**41. Disputes.** Any dispute arising from this Agreement shall be resolved through mediation. If the dispute cannot be resolved through mediation, then the dispute will be resolved through binding arbitration conducted in accordance with the rules of the American Arbitration Association.

**42. Amendments.** This Agreement may not be modified except in writing signed and acknowledged by both Parties.

**43. Counterparts.** This Agreement may be executed in one or more counterparts, each of which shall be deemed an original, and all of which together, shall constitute one and the same document.

**44. Headings.** The section heading herein are for reference purposes only and shall not otherwise affect the meaning, construction, or interpretation of any provision in this Agreement.

**45. Entire Agreement.** This Agreement constitutes the entire understanding between the Parties and supersedes and cancels all prior agreements of the Parties, whether oral or written, with respect to the Site.

IN WITNESS WHEREOF, the Parties hereto, individually or by their duly authorized representatives have executed this Agreement as of the Effective Date.

  
 \_\_\_\_\_  
**Landlord Signature**

\_\_\_\_\_  
 Blakey's Beach, LLC  
**Landlord Full Name**

  
 \_\_\_\_\_  
**Tenant Signature**

\_\_\_\_\_  
 True Grit Trucking, Inc DBA Up Grit  
 Creek  
**Tenant Full Name**