



Planning and Zoning Adjustment Board - Regular Meeting

Tuesday, January 11, 2022 at 6:30 pm

34 Forbes Street, COURTHOUSE ANNEX, COMMISSION MEETING ROOM

*****Meeting Information*****

Meeting Information

Effective May 4, 2021, the general public will be allowed in the commission meeting room for meetings. The Planning & Zoning Commission encourages the public to continue the use of Zoom. Those wanting to view or participate virtually during the meeting should use the Zoom log-in/call-in information provided below. There is a link to a list of videos and Getting Started Resources on the main "Agenda and Minutes" webpage for those unfamiliar with Zoom. If you are experiencing issues with Zoom, call (850) 653-9783 option 3 or 2 for assistance.

To join Zoom via computer, use the link <https://us06web.zoom.us/j/84531222614> on the meeting date and time. If you do not have speakers or a microphone on your computer or prefer to call, you can dial in for audio. Call (301) 715-8592 or (312) 626- 6799 or (929) 205-6099 and enter ID number (845 3122 2614#). All attendees are muted by default.

You may address the Commission on an agenda action items for up to three minutes (which may change based on the number of speakers waiting to comment) during the meeting after a motion has been seconded and you are recognized by the Chairman. Once recognized by the Chairman, if you are on Zoom with a computer or smart device select the 'raise hand' icon. If you have dialed in to the meeting by phone press *9 to raise your hand, then *6 to unmute.

Public engagement is important to us and use of Zoom for public participation

- 1. Call To Order**
- 2. Pledge of Allegiance**

Variance Requests

- 3. 1432 CAMELLIA COURT, ST. GEORGE ISLAND**

Consideration of a request for a variance to construct a stairway 2.7 feet into the 10 feet side setback. Property described as Lot 29, Sea Palm Village, St. George Island. Request submitted by Southeastern Consulting Engineers, Inc., agent for Kevin R. & Barbara A. Sullivan, applicant.

4. 147, 155 & 163 W GULF BEACH DRIVE AND 140, 152, 156 & 160 W PINE AVENUE, ST. GEORGE ISLAND

Consideration of a request for a variance to construct 9 single family houses on 11 platted lots. Property described as Lots 1-5 and 27-32, Block 5 West, St. George Island Gulf Beaches, Unit 1. The two lots at 163 W Gulf Beach Drive and 160 W Pine Avenue are requesting to construct a house 20' into the 25" setback along 2nd Street West and 5' into the 10' side setback on the eastern side of the property. The lots at 147 & 155 W Gulf Beach Drive and 140, 152 & 156 W Pine Avenue are requesting to construct a house 5' into the 10' side setbacks on both sides of the lots. Request submitted by Bill Thomas, agent for The Ark Family Trust, applicant.

5. 1285 ANGUS MORRISON ROAD, ALLIGATOR POINT

Consideration of a request to install a two-car, metal carport 25 feet into the 25 feet front setback. Property described as Lot 2, Block E, Alligator Harbor Subdivision, Unit 2. Request submitted by Dorothy L. Gallant, property owner.

Sketch Plat Application

6. 33.44 acre parcel of land lying on the west end of St. George Island

Consideration of a request for sketch plat approval of a 33.44 acre parcel of land lying on the west end of St. George Island. The subdivision will be named Casa Del Mar Phase II and will consist of 31 lots and 2 blocks per the existing P.U.D. Amendment #9. Request submitted by Garlick Environmental Associates, Inc., agent for Mahr Development Corporation.

Critical Shoreline Applications

7. 209 SAND BAR ROAD, APALACHICOLA

Consideration of a request to construct a single-family residential dock consisting of a 23' X 6' access walkway, a 40' X 10' terminal platform, a 6' X 20' hinged dock and a 6' X 40' floating dock. The property is described as Lot 46, River's Edge Subdivision, Phase II. Both the FDEP and the COE permits have been issued. Request submitted by Dan Garlick, owner.

8. 11 BIG OAKS, APALACHICOLA - (Withdrawn)

Consideration of a request to construct a single-family residential dock consisting of a 4' X 22' access walkway, a 6' X 37' terminal platform, a 4' X 175' boardwalk and a 14 ½' X 22" covered boatlift. Property is described as Tract 1, River Bluff unrecorded subdivision in Section 21, Township 8 South, Range 8 West. Both the FDEP and the COE permits

have been issued. Request submitted by Garlick Environmental Associates, Inc., agent for Clay Palm, owner.

9. OFF OF LEISURE LANE, ST. GEORGE ISLAND

Consideration of a request to construct a pier and kayak launch consisting of a 4' X 408' access walkway and an 8' X 20' terminal platform. Property is east of the St. George Plantation Airport and north of Leisure Lane. Neither the FDEP nor the COE permits have been issued. Request submitted by Garlick Environmental Associates, Inc., agent for St. George Plantation Island Owners Association, owner.

10. 501 E. BAYSHORE DRIVE, ST. GEORGE ISLAND

Consideration of a request to construct a pier and kayak launch consisting of a 4' X 150' access walkway and an 8' X 20' terminal platform. Property is described as Lots 8-12. Block 30, St. George Island Gulf Beaches, Unit 4. Neither the FDEP nor the COE permits have been issued. Request submitted by Garlick Environmental Associates, Inc., agent for First Baptist Church of St. George Island, owner.

11. 311 RIVER ROAD, CARRABELLE

Consideration of a request to construct a single-family residential dock with covered boat lift consisting of a 4' X 19' access boardwalk, a 3' X 18' catwalk, two 3' X 28' catwalks, and a covered boat lift. Property is described as Lot 10, Block 5, Carrabelle River Subdivision. The COE permit has been issued, but the FDEP permit has not been issued. Request submitted by Garlick Environmental Associates, Inc., agent for Vincent Smith, owner.

12. 512 RIVER ROAD, CARABELLE

Consideration of a request to construct a single-family residential dock with covered boat lift consisting of a 4' X 47 ½ ' access walkway, a 8' X 10' terminal platform, 4' X 16' and 4' X 26' catwalks and a 14' X 26' covered boat lift. The property is described as a lot in Section 18, Township 7 South, Range 4 West. The FDEP permit has been issued, but the COE permit has not been issued. Request submitted by Garlick Environmental Associates, Inc., agent for Anthony Barlow, owner.

13. 1512 ALLIGATOR DRIVE, ALLIGATOR POINT

Consideration of a request to construct a single-family residential dock and covered boat lift consisting of a 4' X 384' access walkway, a 6' X 26' terminal platform, and a 14' X 20' covered boat lift. The property is described as Lot 3, Block K, Peninsular Point, Unit 2. The COE permit has been issued, but the FDEP permit has not been issued. Request submitted by Garlick Environmental Associates, Inc., agent for Nick Pappas, owner.

Re-Zoning & Land Use Change Applications

14. 79 Otter Slide Road, Eastpoint

Consideration of a request to change the land use and rezone 4 acres of land at 79

Otter Slide Road, Eastpoint, from Residential to Commercial and from R-4 Single Family Home Industry to C-4 Commercial Residential Mixed Use. Request submitted by Bruce Millender, agent for Eastpoint Lands LLC.

15. 478 Avenue A, Eastpoint

Consideration of a request to change the zoning on 1.39 acres of land at 478 Avenue A, Eastpoint from R-4 Single Family Home Industry to R-8 Multi-Family Medium Density. Request submitted by Bruce Millender, agent for Eastpoint Lands LLC.

16. 16 North Franklin Street, Eastpoint

Consideration of a request to change the land use and rezone 1 acre of land at 16 North Franklin Street, Eastpoint, from R-4 Single Family Home Industry to C-4 Commercial Residential Mixed Use. Request submitted by Bruce Millender, agent for Eastpoint Lands LLC.

Contact: Cortni Bankston (cortnib@franklincountyflorida.com 850-653-9783 ext 180) | Agenda
published on 01/04/2022 at 11:28 AM



SOUTHEASTERN CONSULTING ENGINEERS, INC.

LETTER OF TRANSMITTAL

To:
FRANKLIN COUNTY
34 FORBES STREET ST. 1
APALACHICOLA, FL 32320

DATE: 12/9/2021

RE: SULLIVAN RES

SCE JOB NUMBER: 21-1376-01

WE ARE SENDING YOU VIA:

<input type="checkbox"/> US MAIL	<input type="checkbox"/> UPS	<input type="checkbox"/> OTHER
<input type="checkbox"/> PICK UP	<input type="checkbox"/> FEDEX	
<input type="checkbox"/> PRIORITY MAIL	<input checked="" type="checkbox"/> HAND DELIVERY	

THE FOLLOWING ITEMS:

<input type="checkbox"/> SHOP DRAWINGS	<input type="checkbox"/> PRINTS	<input type="checkbox"/> PLANS	<input checked="" type="checkbox"/> OTHER: FEE CHECK
<input type="checkbox"/> COPY OF LETTER	<input type="checkbox"/> CHANGE ORDER	<input type="checkbox"/> SAMPLES	
<input checked="" type="checkbox"/> PERMIT APPLICATION	<input type="checkbox"/> RAI RESPONSE	<input type="checkbox"/> SPECIFICATION	

QUANTITY	DATE	DESCRIPTION
		VARIANCE APPLICATION
1	12/10/21	FEE CHECK #

COMMENTS:

COPY TO:

FILE

DEE MARSH



ADVISORY BOARD OF ADJUSTMENT APPLICATION

FRANKLIN COUNTY BUILDING DEPARTMENT

34 Forbes Street, Suite 1, Apalachicola, Florida 32320

Phone: 850-653-9783 Fax: 850-653-9799

http://www.franklincountyflorida.com/planning_building.aspx

RECEIVED
DEC 13 2021
BY: _____

ADVISORY BOARD OF ADJUSTMENT APPLICATION

PROPERTY OWNER'S NAME: Kevin and Barbara Sullivan

MAILING ADDRESS: 1432 Camellia Court

City/State/Zip: St. George Island, FL 32328

PHONE #: 740-504-8591

CELL #: _____

EMAIL: _____

AGENT'S NAME: Tyler R. Marsh, P. E.

MAILING ADDRESS: 115 Sailors Cove Road - Unit A

City/State/Zip: Port St. Joe, FL 32456

PHONE #: 850-227-1297

CELL #: _____

EMAIL: tyler.marsh@southeasternce.com

PROPERTY DESCRIPTION: 911 Address: 1432 Camellia Court

Lot/s: 28

Block: _____

Subdivision: Sea Palm Village

Unit: _____

Parcel Identification #: 29-09S-06W-7321-0000-0280

JURISDICTION: ☐ Franklin County

☐ Apalachicola ☒ Eastpoint ☐ St. George Island ☐ Carrabelle ☐ Dog Island ☐ Lanark/ St. James ☐ St. Teresa ☐ Alligator Point

LEGAL DESCRIPTION OF THE PROPERTY: (MUST ATTACH LEGAL DESCRIPTION)

DESCRIPTION OF REQUEST: Proposed demolition and reconstruction of the exterior stairs on the east side of the home.

The existing stairs encroach into the side setback of the residence as they are now. However, the existing stairs are in need of structural repairs due to deterioration from the harsh coastal environment and are unsafe in their current condition. In addition to the structural deficiencies, the stairs do not meet code requirements for minimum width (approximately 2'-4" in the clear between the handrails). The Client proposes to demolish and rebuild the stairs, which results in a total side setback encroachment of 7.7'.

ADVISORY BOARD OF ADJUSTMENT DATE: _____

RECOMMENDED APPROVAL: _____ **RECOMMENDED DENIAL:** _____ **RECOMMENDED TO TABLE:** _____

CONDITIONS: _____

BOARD OF COUNTY COMMISSION MEETING DATE: _____

APPROVED: _____

DENIED: _____

TABLED: _____

CONDITIONS: _____

Instructions: Complete application, including proof of ownership in the form of deed, detailed description of request including any necessary information supporting request (site plan/survey) and application fee of \$250.00. Return to the following address:

Franklin County
34 Forbes Street, Suite 1
Apalachicola, FL 32320

**THIS VARIANCE REQUEST WILL EXPIRE ONE YEAR FROM DATE OF APPROVAL
BY THE FRANKLIN COUNTY BOARD OF COUNTY COMMISSIONER.**

From: Dee Marsh <dee.marsh@southeasternc.com>
Sent: Thursday, December 9, 2021 3:43 PM
To: markc@franklincountyflorida.com
Cc: Heather Pippin; Jack Husband; Lance Watson; Lance Watson
Subject: Variance Application Package - 21-1376-01
Attachments: Variance Application Package - Sullivan.pdf; SCE XMIT Variance to Planning Department.docx

Attached is a new Variance Application Package for 1432 Camellia Court – Sullivan Res, documents and check will be dropped off in the morning. If you have any questions please don't hesitate to call.

Thank you,

Dee Marsh

CIVIL - LAND PLANNING - STRUCTURAL



DEE MARSH
Project Manager
Office 850.884.1287

Dee.Marsh@southeasternc.com

WWW.SOUTHEASTERNC.COM



1432 Camellia Court Variance Request (Parcel # 29-095-06W-7321-0000-0280) – Project Description

Kevin and Barbara Sullivan are proposing to demolish and reconstruct the exterior stairs on the east side of the existing residence. The existing stairs are currently encroaching into the eastern side setback and are in need of structural repairs due to deterioration and unsafe conditions. In addition to the structural deficiencies, the stairs do not meet the code requirements for minimum width (right now the stairs are only about 2'-4" in the clear between handrails). In an effort to meet code requirements and address structural concerns with the stairs, the Client has proposed to reconstruct the stair tower. The proposed reconstruction would increase the encroachment by approximately 3' into the side setback, but would also alleviate a safety concern for the owners. The total proposed encroachment into the 15' side setback would be approximately 7.7'. Please see photographs below.





115A SAILORS COVE DRIVE

P.O. Box 951

WWW.SOUTHEASTERNCCE.COM
850.227.1997



ADVISORY BOARD OF ADJUSTMENT APPLICATION

FRANKLIN COUNTY BUILDING DEPARTMENT

34 Forbes Street, Suite 1, Apalachicola, Florida 32320

Phone: 850-653-9783 Fax: 850-653-9799

http://www.franklincountyflorida.com/planning_building.aspx

ADVISORY BOARD OF ADJUSTMENT APPLICATION

PROPERTY OWNER'S NAME: Kevin and Barbara Sullivan

MAILING ADDRESS: 1432 Camellia Court City/State/Zip: St. George Island, FL 32328

PHONE #: 740-504-8591 CELL #: EMAIL:

AGENT'S NAME: Tyler R. Marsh, P. E.

MAILING ADDRESS: 115 Sailors Cove Road - Unit A City/State/Zip: Port St. Joe, FL 32456

PHONE #: 850-227-1297 CELL #: EMAIL: tyler.marsh@southeasternce.com

PROPERTY DESCRIPTION: 911 Address: 1432 Camellia Court

Lot/s: 28 Block: Subdivision: Sea Palm Village Unit:

Parcel Identification #: 29-09S-06W-7321-0000-0280

JURISDICTION: ☐ Franklin County

☐ Apalachicola ☒ Eastpoint ☐ St. George Island ☐ Carrabelle ☐ Dog Island ☐ Lanark/ St. James ☐ St. Teresa ☐ Alligator Point

LEGAL DESCRIPTION OF THE PROPERTY: (MUST ATTACH LEGAL DESCRIPTION)

DESCRIPTION OF REQUEST: Proposed demolition and reconstruction of the exterior stairs on the east side of the home. The existing stairs encroach into the side setback of the residence as they are now. However, the existing stairs are in need of structural repairs due to deterioration from the harsh coastal environment and are unsafe in their current condition. In addition to the structural deficiencies, the stairs do not meet code requirements for minimum width (approximately 2'-4" in the clear between the handrails. The Client proposes to demolish and rebuild the stairs, which results in a total side setback encroachment of 7.7'.

ADVISORY BOARD OF ADJUSTMENT DATE:

RECOMMENDED APPROVAL: RECOMMENDED DENIAL: RECOMMENDED TO TABLE:

CONDITIONS:

BOARD OF COUNTY COMMISSION MEETING DATE:

APPROVED: DENIED: TABLED:

CONDITIONS:

Instructions: Complete application, including proof of ownership in the form of deed, detailed description of request including any necessary information supporting request (site plan/survey) and application fee of \$250.00. Return to the following address:

Franklin County
34 Forbes Street, Suite 1
Apalachicola, FL 32320

**THIS VARIANCE REQUEST WILL EXPIRE ONE YEAR FROM DATE OF APPROVAL
BY THE FRANKLIN COUNTY BOARD OF COUNTY COMMISSIONER.**

AUTHORIZED REPRESENTATIVE

Franklin County
34 Forbes Street, Suite 1
Apalachicola, FL 32320

RE: PROJECT NAME: SULLIVAN RES - 1432 CAMELLIA COURT (VARIANCE)
PROJECT NUMBER: 21-1376-01

This form is to advise you that I hereby authorize Tyler R. Marsh, P.E. with Southeastern Consulting Engineers, Inc. to act as my authorized representative in all future dealings with Franklin County regarding the above-referenced project.


Signature

Kevin and Barbara Sullivan
1432 Camellia Court
Eastpoint, FL 32328

Date: 10/13/2021

Sworn and subscribed before me this 13 day of October, 2021
By Kevin Sullivan (Name of Affiant). S/he is personally known to me or has produced
FL Drivers License as identification.

State of Georgia

Signature of Notary: 

Notary's Printed Name: Jack R. Frank II

My Commission Expires: 06-20-2023



Prepared By and Return To:
Manausa, Shaw & Minacci, P.A.
140-O West First St
St. George Island, FL 32328

File No. 21-0228MJ

Property Appraiser's Parcel ID. (folio) Number(s)
29-09S-06W-7321-0000-0280

Inst: 202119003273 Date: 05/24/2021 Time: 10:57AM
Page 1 of 2 B: 1302 P: 125, Michele Maxwell, Clerk of Court Frank
County, By: SM
Deputy Clerk Doc Stamp Deed: 17675.00

WARRANTY DEED

THIS WARRANTY DEED dated May 17, 2021, by John A. Williams and Amy B. Williams, husband and wife, whose post office address is P.O. Box 452, Eastpoint, FL 32328, hereinafter called the grantor, to Kevin R. Sullivan and Barbara A. Sullivan, husband and wife, whose post office address is 1432 Camellia Court, St. George Island, FL 32328, hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the grantor, for and in consideration of the sum of \$10.00 and other valuable consideration, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys, and confirms unto the grantee, all the certain land situated in Franklin County, Florida, to wit:

Lot 28, Sea Palm Village, a subdivision as per map or plat thereof recorded in Plat Book 4, Pp.30-31 of the Public Records of Franklin County, Florida.

Subject to easements, restrictions, reservations and limitations of record, if any.

TO HAVE AND TO HOLD the same in Fee Simple forever.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2020.

Warranty Deed (Individual to Individual)

WARRANTY DEED

(Continued)

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

Kara Landiss
(Witness Signature)

Kara Landiss

Monique Jackson
(Witness Signature)

Monique Jackson

John A. Williams
John A. Williams

Arny B. Williams by John A. Williams, her attorney-in-fact
Arny B. Williams by John A. Williams, her attorney-in-fact

P.O. Box 452
(Address)

Eastpoint, FL 32328
(Address)

STATE OF FLORIDA
COUNTY OF FRANKLIN

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 11 day of May, 2021, by John A. Williams, individually and as Attorney-in-Fact for Arny B. Williams, who is personally known to me or who has produced DIC as identification.

[Signature]
Notary Public



Warranty Deed (Individual to Individual)

1432 Camellia Ct - Franklin County GIS
Parcel ID: 29-095-06W-7321-0000-0280

[illegible]

Municipality: Franklin County

1432 Camellia Ct - Franklin County GIS
Parcel ID: 29-095-06W-7321-0000-0280



EXPOSURE: D

1432 Camellia Ct - Franklin County GIS
Parcel ID: 29-095-06W-7321-0000-0280



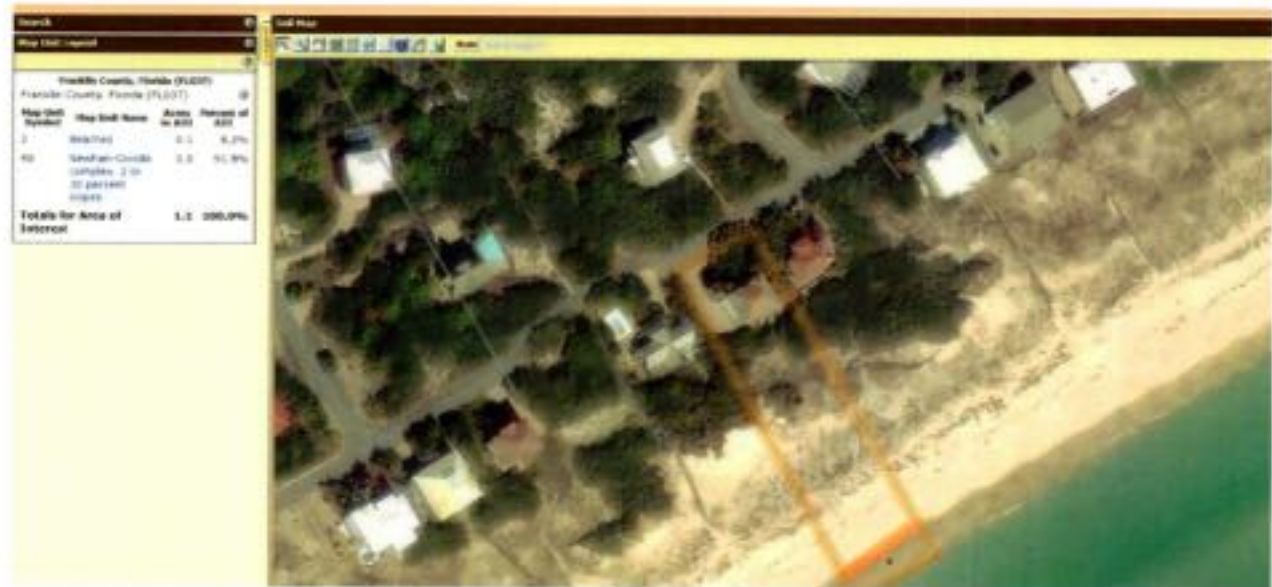
Map:

1432 Camellia Ct - Franklin County GIS
Parcel ID: 29-095-06W-7321-0000-0280



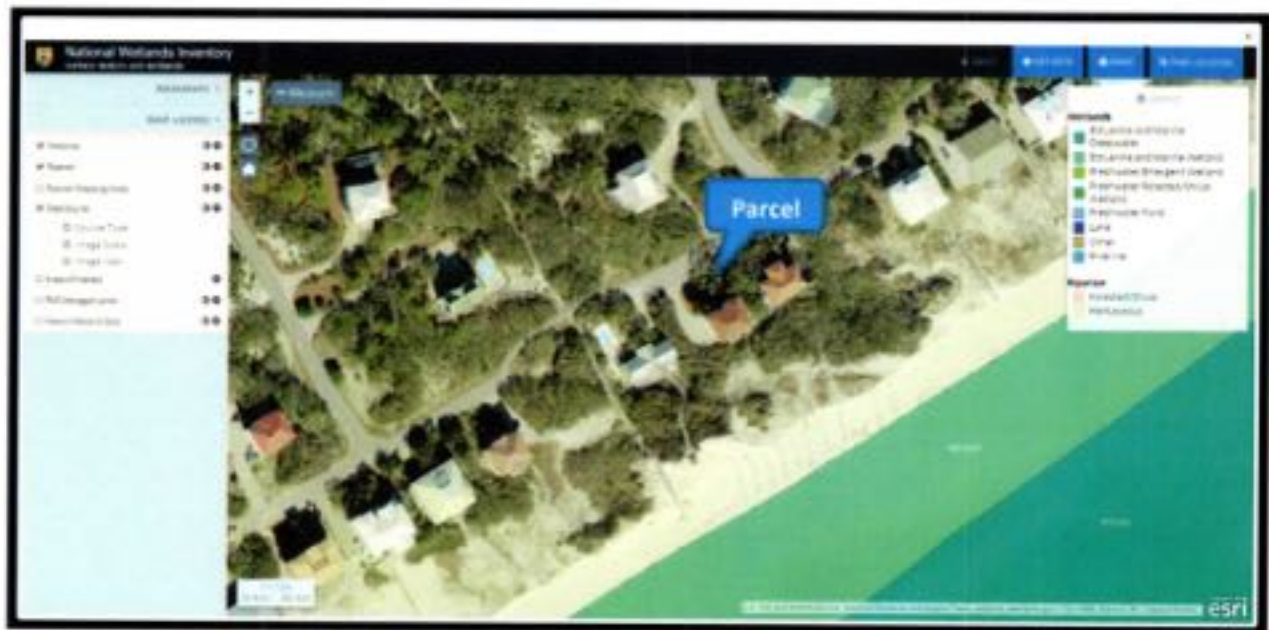
Contours:

1432 Camellia Ct - Franklin County GIS
Parcel ID: 29-095-06W-7321-0000-0280



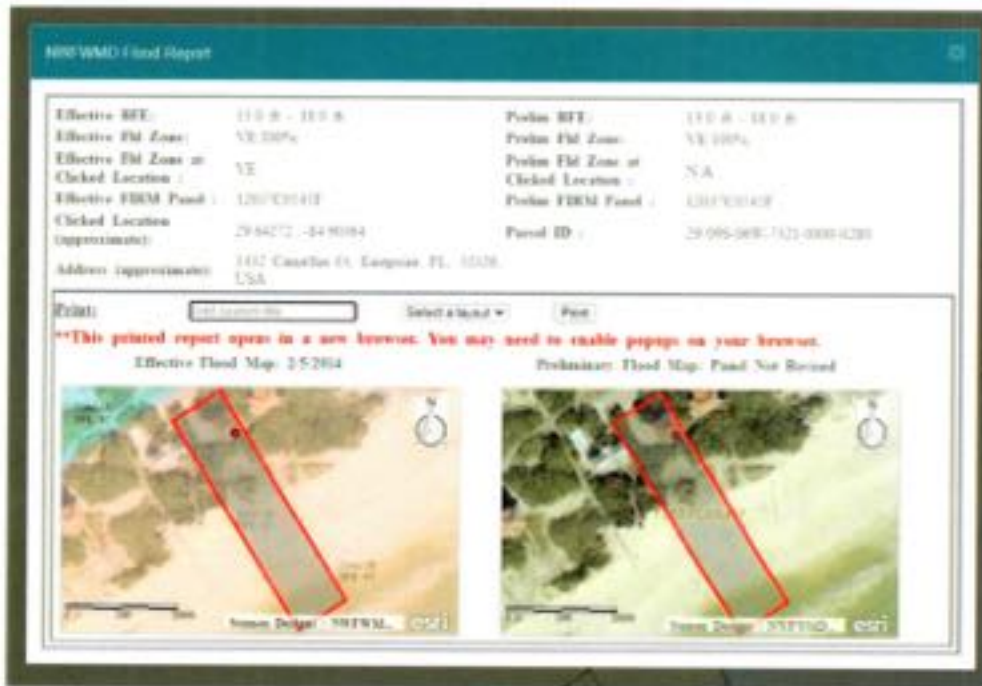
Soils: (Beaches), (Newhan-Corolla Complex, 2 to 30 percent slopes)

1432 Camellia Ct - Franklin County GIS
Parcel ID: 29-095-06W-7321-0000-0280



National Flood Map:

1432 Camellia Ct - Franklin County GIS
Parcel ID: 29-095-06W-7321-0000-0280



Flood Zone: VE
BFE: 13.0 ft. - 18.0 ft.
Preliminary Flood Zone: N/A
Preliminary BFE: 13.0 ft. - 18.0 ft.

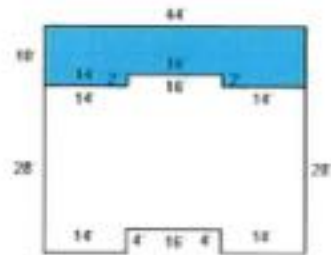
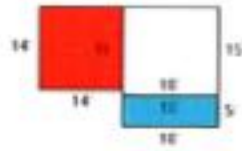
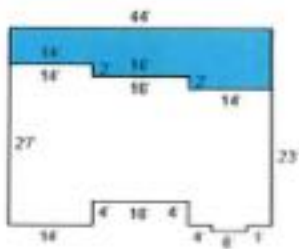
1432 Camellia Ct - Franklin County GIS
Parcel ID: 29-095-06W-7321-0000-0280



Inside CCCL and Coastal Monuments:

1432 Camellia Ct - Franklin County GIS
Parcel ID: 29-095-06W-7321-0000-0280

FOP	F OPN PRCH	152	1994
FOP	F OPN PRCH	488	1993
FST	F STORAGE	196	1993
BAS	BASE AREA	2482	1993



Footprint Sketch:

1432 Camellia Ct - Franklin County GIS
Parcel ID: 29-095-06W-7321-0000-0280

Interactive Map

Franklin County Future Land Use Map

Residential

This land use category ensures the health, safety, and well-being of residents by limiting the extent and density of residential development to those areas suitable for development. Single family units shall not exceed one unit per acre except on lots recorded before August 11, 1976, or on lots zoned as part of the T602 amendment to the St. George Island Development Order, or in subdivisions meeting the requirements of Franklin County Ordinance 65.17. The subdivision ordinance, high-density densities shall not exceed ten units per acre.



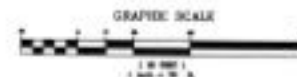
Future Land Use: Residential

1432 Camellia Ct - Franklin County GIS
Parcel ID: 29-095-06W-7321-0000-0280



Existing Land Use: R1

PLAT OF BOUNDARY SURVEY CERTIFIED TO:
KEVIN SULLIVAN & BARBARA SULLIVAN



SPRINKLER DESCRIPTION:
Set 10' of SEA PALM VILLAGE, a subdivision
as per map or plat thereof recorded in
Platbook A, Pages 30 & 31 of the Public
Records of Franklin County, Florida.

NOTES:

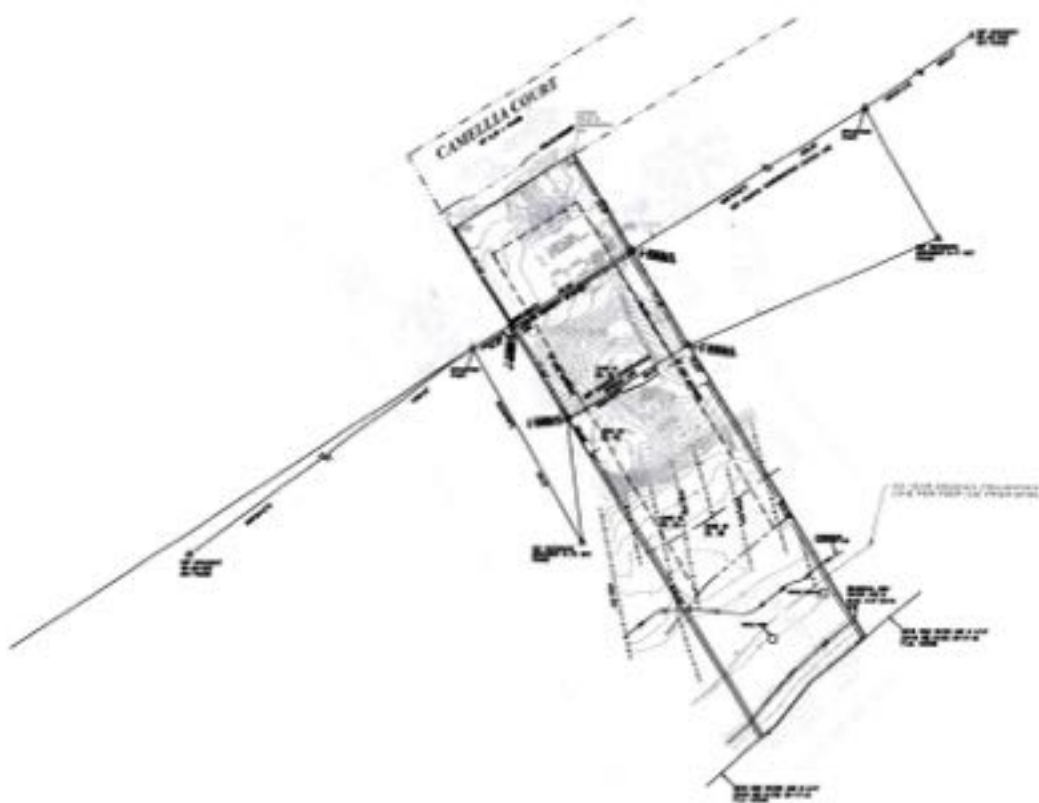
1. SURVEY SOURCE: Recent plat and a field survey performed by the undersigned surveyor.
2. SURVEY INFORMATION: Department of Environmental Protection (State) Construction Control Line along North 80 degrees 10 minutes 50 seconds East as per Coastal Construction Control Line Book, Pages 30-35, dated 05/05/00 in the Public Records of Franklin County, Florida.
3. NO IMPROVEMENTS have been located in this survey other than those shown herein.
4. There are NO VISIBLE ENCROACHMENTS other than those shown herein.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signatures and the original record seal of a Florida Licensed Surveyor and Mapper.

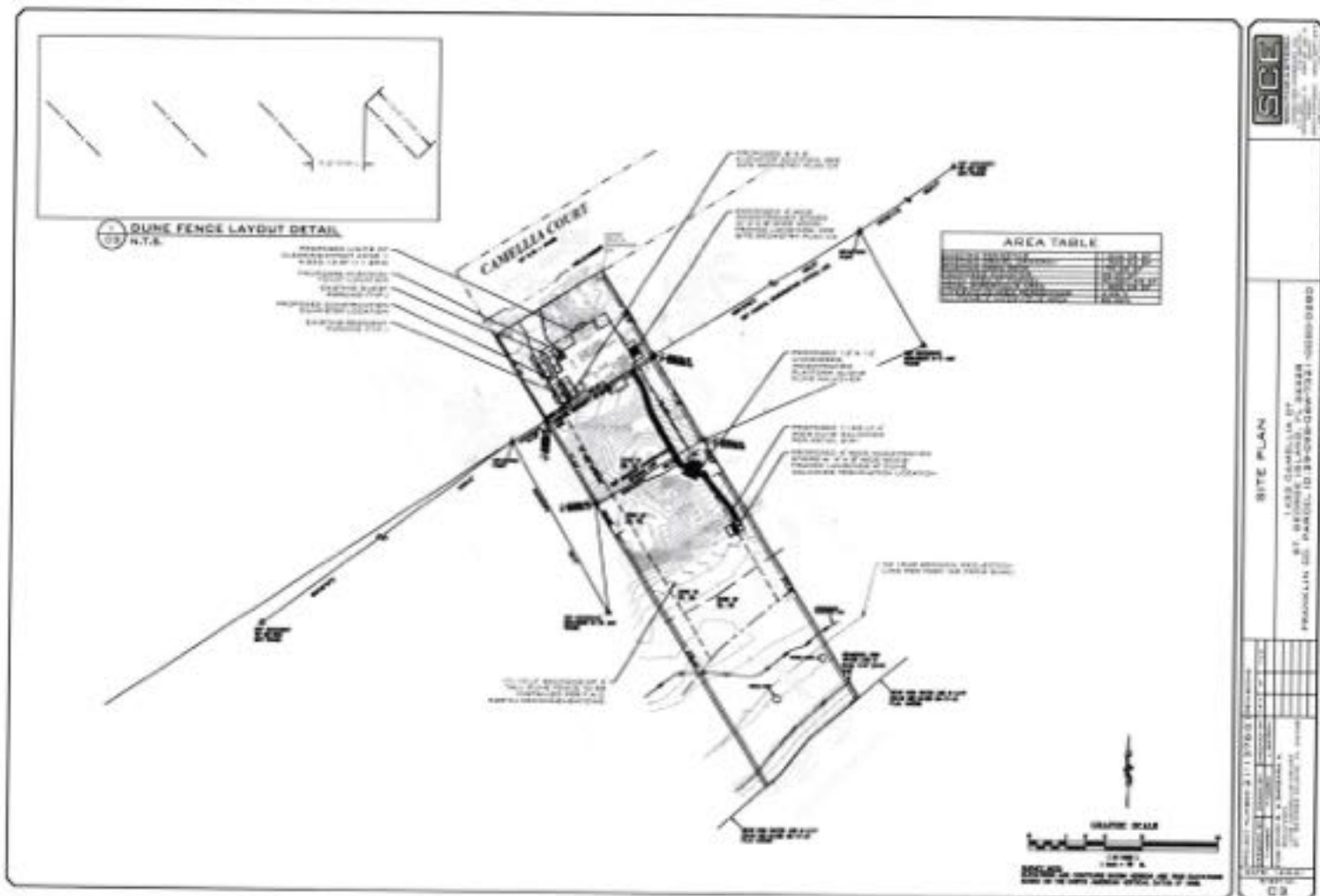
FLOOD ZONE INFORMATION:
Subject property is located in Zone VE-2, VE-1, VE-1A & VE-1B per Flood Insurance Rate Map Community Plan No. 00000 00007 under date February 5, 2014, Franklin County, Florida.

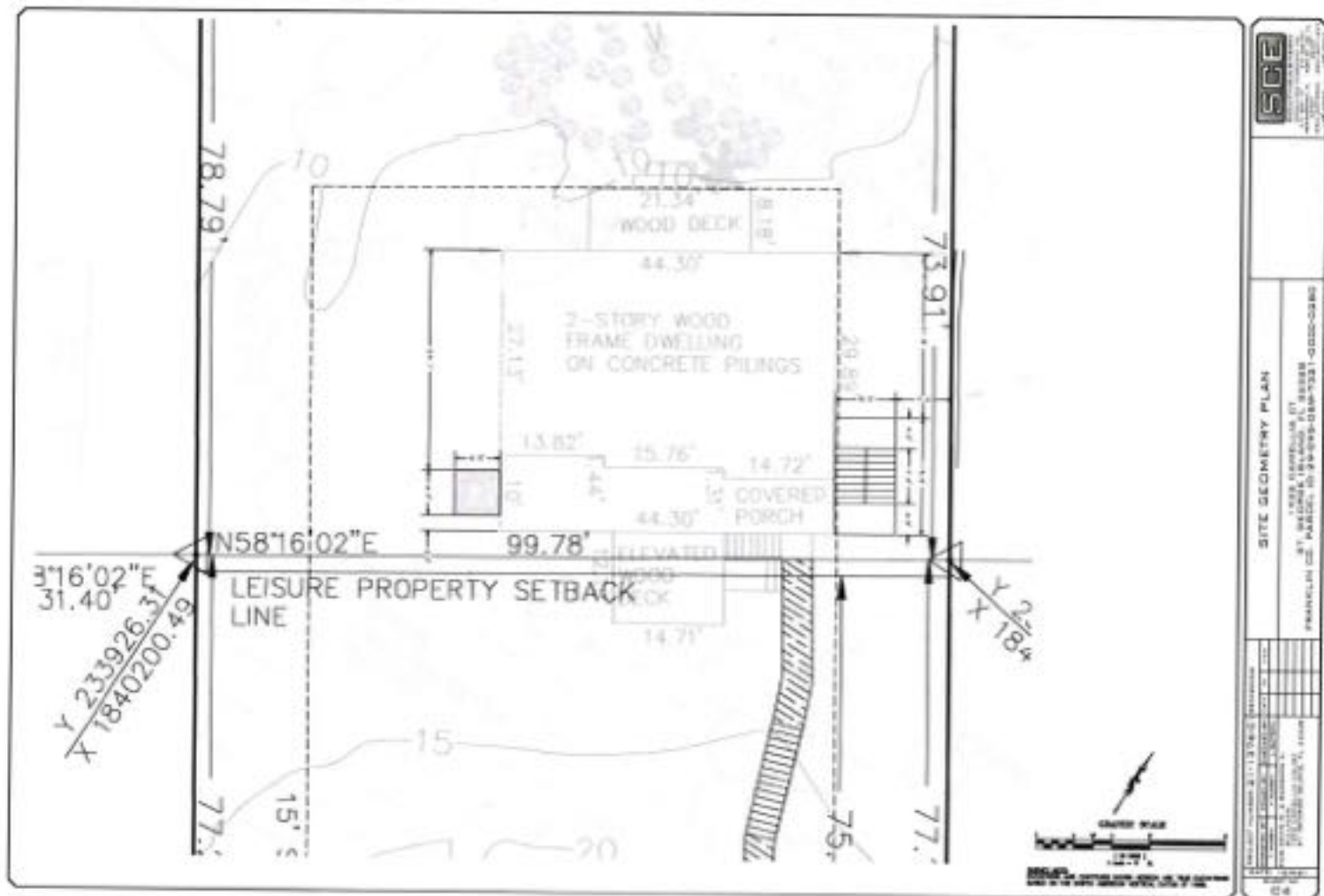
THIS PLAT AND THE SURVEY THEREON ARE THE PROPERTY OF THE SURVEYOR AND MAPPER. NO PART OF THIS PLAT OR SURVEY SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE SURVEYOR AND MAPPER.



DATE: 06/17/21 DATE OF LAST FIELD WORK: 06/09/21		FIELD BOOK: _____ PAGE: _____	DRAWING NAME: 21044.DWG DRAWN BY: KMD	CLIENT: KEVIN & BARBARA SULLIVAN	TR & A THURMAN RODDENBERRY & ASSOCIATES, INC. PROFESSIONAL SURVEYORS AND MAPPERS P.O. BOX 100 • 111 DELAWARE STREET • SUITE 200, FORT MYERS, FLORIDA 33901 PHONE: 888-222-2222 • FAX: 888-222-2222	JOB NO.: 21-009 SHEET: 1 OF 1
COUNTY: FRANKLIN		PLAT: _____	DATE: _____	APPROVED: _____		









1432 Camellia Court Variance Request (Parcel # 29-095-06W-7321-0000-0280) – Project Description

Kevin and Barbara Sullivan are proposing to demolish and reconstruct the exterior stairs on the east side of the existing residence. The existing stairs are currently encroaching into the eastern side setback and are in need of structural repairs due to deterioration and unsafe conditions. In addition to the structural deficiencies, the stairs do not meet the code requirements for minimum width (right now the stairs are only about 2'-4" in the clear between handrails). In an effort to meet code requirements and address structural concerns with the stairs, the Client has proposed to reconstruct the stair tower. The proposed reconstruction would increase the encroachment by approximately 3' into the side setback, but would also alleviate a safety concern for the owners. The total proposed encroachment into the 15' side setback would be approximately 7.7'. Please see photographs below.





115A SAILORS COVE DRIVE

P.O. Box 951

www.SOUTHEASTERNCCE.COM

850.227.1997

AUTHORIZED REPRESENTATIVE

Franklin County
34 Forbes Street, Suite 1
Apalachicola, FL 32320

RE: PROJECT NAME: SULLIVAN RES - 1432 CAMELLIA COURT (VARIANCE)
PROJECT NUMBER: 21-1376-01

This form is to advise you that I hereby authorize Tyler R. Marsh, P.E. with Southeastern Consulting Engineers, Inc. to act as my authorized representative in all future dealings with Franklin County regarding the above-referenced project.


Signature

Kevin and Barbara Sullivan
1432 Camellia Court
Eastpoint, FL 32328

Date: 10/13/2021

Sworn and subscribed before me this 13 day of October, 20 21
By Kevin Sullivan (Name of Affiant). S/he is personally known to me or has produced
FL Drivers License as identification.

State of Georgia

Signature of Notary: 

Notary's Printed Name: Jack R. Frank II

My Commission Expires: 06-20-2023



Prepared By and Return To:
Manausa, Shaw & Minard, P.A.
140-D West First St.
St. George Island, FL 32328

File No. 21-0228MJ

Property Appraiser's Parcel ID. (folio) Number(s)
25-09S-06W-7321-0000-0280

Inst: 202119003273 Date: 05/24/2021 Time: 10:57AM
Page 1 of 2 B: 1302 P: 125, Michele Maxwell, Clerk of Court Frank
County, By: SM
Deputy ClerkDoc Stamp Deed: 17675.00

WARRANTY DEED

THIS WARRANTY DEED dated May 17, 2021, by John A. Williams and Amy B. Williams, husband and wife, whose post office address is P.O. Box 452, Eastpoint, FL 32328, hereinafter called the grantor, to Kevin R. Sullivan and Barbara A. Sullivan, husband and wife, whose post office address is 1432 Camellia Court, St. George Island, FL 32328, hereinafter called the grantees:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the grantor, for and in consideration of the sum of \$10.00 and other valuable consideration, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys, and confirms unto the grantee, all the certain land situated in Franklin County, Florida, to wit:

Lot 28, Sea Palm Village, a subdivision as per map or plat thereof recorded in Plat Book 4, Pp.30-31 of the Public Records of Franklin County, Florida.

Subject to easements, restrictions, reservations and limitations of record, if any.

TO HAVE AND TO HOLD the same in Fee Simple forever.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to: December 31, 2020.

Warranty Deed (Individual to Individual)

WARRANTY DEED

(Continued)

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

Kara Landiss
(Witness Signature)

Kara Landiss

Monique Jackson
(Witness Signature)

Monique Jackson

John A. Williams
John A. Williams

Amy B. Williams by John A. Williams, her attorney-in-fact
Amy B. Williams by John A. Williams, her attorney-in-fact

P.O. Box 452
(Address)

Eastpoint, FL 32328
(Address)

STATE OF FLORIDA
COUNTY OF FRANKLIN

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 17 day of May, 2021, by John A. Williams, individually and as Attorney-in-Fact for Amy B. Williams, who is personally known to me or who has produced DIC as identification.

[Signature]
Notary Public



Warranty Deed (Individual to Individual)

1432 Camellia Ct - Franklin County GIS
Parcel ID: 29-095-06W-7321-0000-0280

[illegible]

Municipality: Franklin County

1432 Camellia Ct - Franklin County GIS
Parcel ID: 29-095-06W-7321-0000-0280



EXPOSURE: D

1432 Camellia Ct - Franklin County GIS
Parcel ID: 29-095-06W-7321-0000-0280



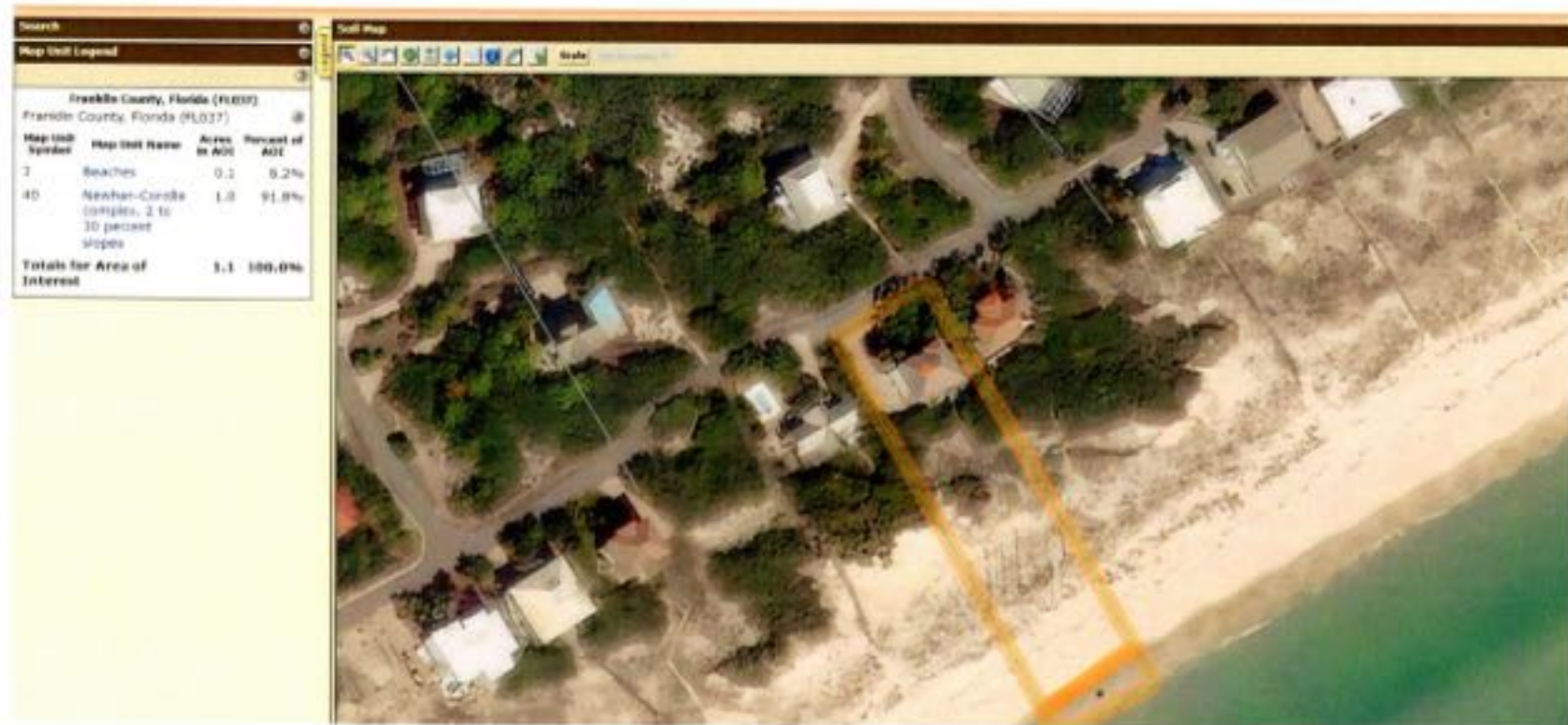
Map:

1432 Camellia Ct - Franklin County GIS
Parcel ID: 29-095-06W-7321-0000-0280



Contours:

1432 Camellia Ct - Franklin County GIS
Parcel ID: 29-095-06W-7321-0000-0280



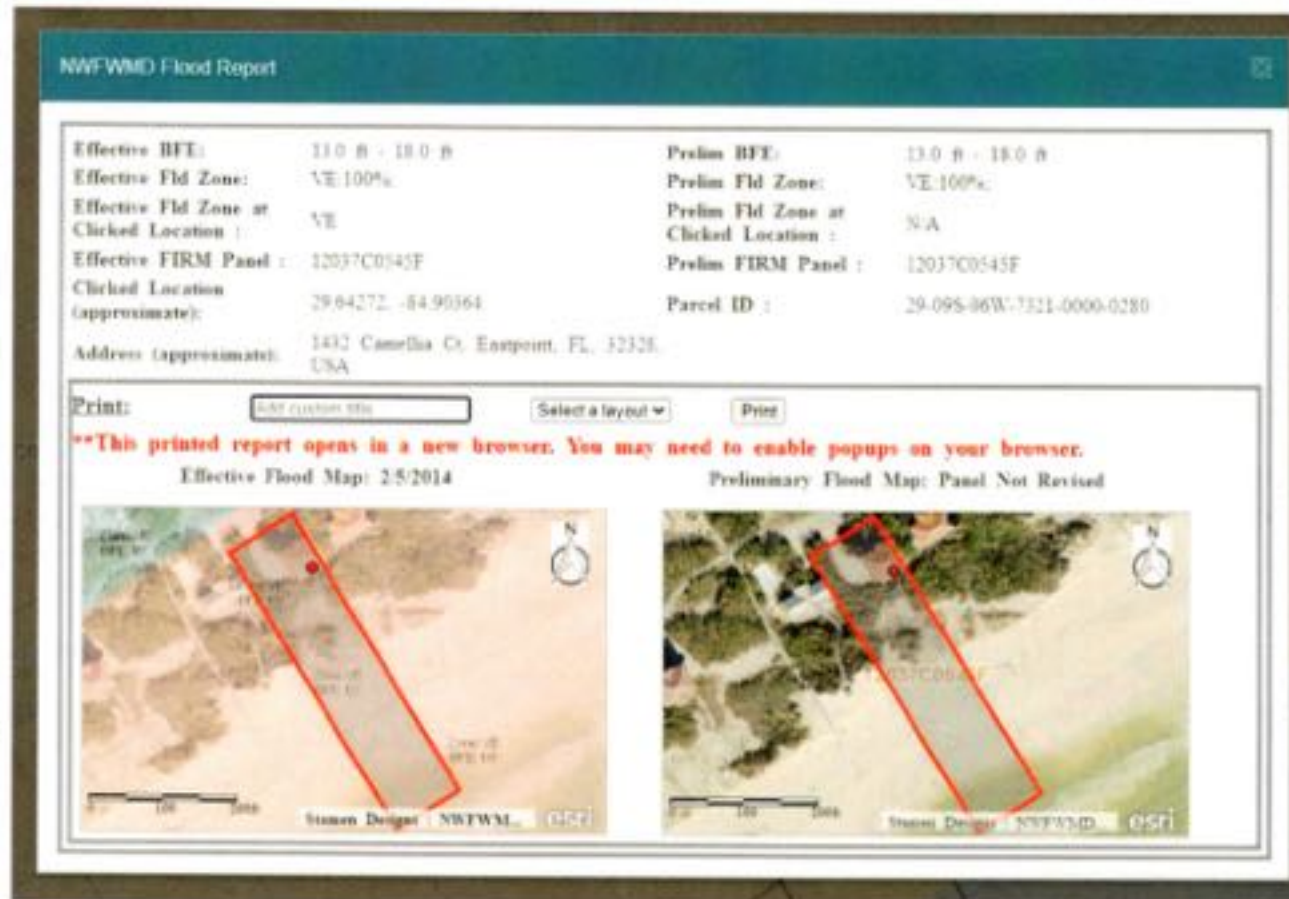
Soils: (Beaches), (Newhan-Corolla Complex, 2 to 30 percent slopes)

1432 Camellia Ct - Franklin County GIS
Parcel ID: 29-095-06W-7321-0000-0280



National Flood Map:

1432 Camellia Ct - Franklin County GIS
Parcel ID: 29-095-06W-7321-0000-0280



Flood Zone: VE
BFE: 13.0 ft. – 18.0 ft.
Preliminary Flood Zone: N/A
Preliminary BFE: 13.0 ft. – 18.0 ft.

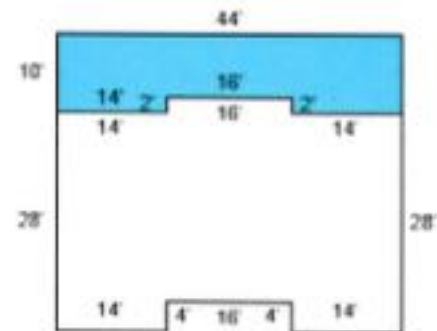
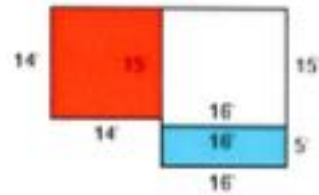
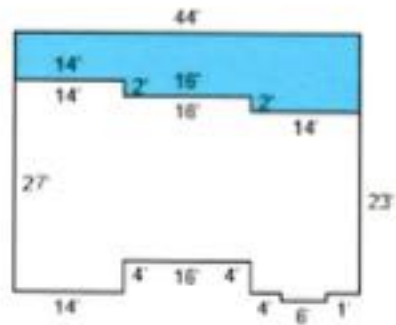
1432 Camellia Ct - Franklin County GIS
Parcel ID: 29-095-06W-7321-0000-0280



Inside CCCL and Coastal Monuments:

1432 Camellia Ct - Franklin County GIS
Parcel ID: 29-095-06W-7321-0000-0280

FOP	F OPN PRCH	352	1994
FOP	F OPN PRCH	488	1993
FST	F STORAGE	196	1993
BAS	BASE AREA	2482	1993



Footprint Sketch:

1432 Camellia Ct - Franklin County GIS
Parcel ID: 29-095-06W-7321-0000-0280

Webby Map

Franklin County Future Land Use Map

Residential

This land use category shall ensure the health, safety, and well being of residents by limiting the extent and density of residential development to those areas suitable for development. Single family units shall not exceed one unit per acre except on lots recorded before August 17, 1978, or in lots platted as part of the 1982 amendment to the St. George Island Development Order, or in subdivisions meeting the requirements of Franklin County Ordinance 99-7, the subdivision ordinance. Multi-family densities shall not exceed ten units per acre.

Legend

Future Land Use: Residential



Future Land Use: Residential

The screenshot displays a web-based GIS application interface. The top navigation bar includes the title "Franklin Existing Land Use" and a search bar. Below the navigation bar, there are tabs for "Layers", "Background pattern", "Mapbox", "Details", and "Print". The main map area shows a yellow-colored land use map of Franklin, Massachusetts, with a network of white roads. A pop-up window is visible over a specific parcel, displaying the text "Zoning: R1" and "Address: R1". On the right side, a legend panel lists various land use categories with corresponding color swatches: C1, C2, C3, C4, C5, C6, C7, C8, C9, C10, C11, C12, C13, C14, C15, C16, C17, C18, C19, C20, C21, C22, C23, C24, C25, C26, C27, C28, C29, C30, C31, C32, C33, C34, C35, C36, C37, C38, C39, C40, C41, C42, C43, C44, C45, C46, C47, C48, C49, C50, C51, C52, C53, C54, C55, C56, C57, C58, C59, C60, C61, C62, C63, C64, C65, C66, C67, C68, C69, C70, C71, C72, C73, C74, C75, C76, C77, C78, C79, C80, C81, C82, C83, C84, C85, C86, C87, C88, C89, C90, C91, C92, C93, C94, C95, C96, C97, C98, C99, C100. The bottom left corner features the Esri logo and the text "© 2019 Esri. All rights reserved. Esri, the Esri logo, and the ArcGIS logo are registered trademarks of Esri Inc. in the United States and other countries.".

Existing Land Use: R1



SOUTHEASTERN
CONSULTING ENGINEERS, INC.

F.D.E.P. BEACHES & COASTAL SYSTEMS PERMIT DRAWINGS

SECTION	29	TOWNSHIP	09S	RANGE	06W
---------	----	----------	-----	-------	-----

1432 CAMELLIA CT
ST. GEORGE ISLAND, FL 32328
FRANKLIN CO. PARCEL ID:29-09S-06W-7321-0000-0280

FOR

KEVIN R. & BARBARA A. SULLIVAN

PROJECT VICINITY



LOCATION MAP



SHEET INDEX

SHEET	SHEET NAME
CVR	COVER SHEET
G1	GENERAL NOTES
C1	EXISTING CONDITIONS
C2	DEMOLITION PLAN
C3	SITE PLAN
C4	SITE GEOMETRY PLAN
C5	GRADING PLAN

NOTE:

1. ALL SCALES HEREIN SHALL BE CONSIDERED APPROPRIATE FOR 24X36 SIZE PLOTS ONLY.
2. DUE TO REPRODUCTION, THE SCALES SHOWN ON THIS PLAN SET MAY HAVE BEEN COMPROMISED.

COVER SHEET

1432 CAMELLIA CT
ST. GEORGE ISLAND, FL 32328
FRANKLIN CO. PARCEL ID:29-09S-06W-7321-0000-0280

PROJECT NUMBER: 21-1376-01 REVISIONS:

DESIGNED BY	DRAWN BY	CHECKED BY	DATE	BY	ITEM
T. MARSH	T. MARSH	L. WATSON			

FOR: KEVIN R. & BARBARA A. SULLIVAN
1432 CAMELLIA COURT
ST. GEORGE ISLAND, FL 32328

DATE: 12/9/21

CVR

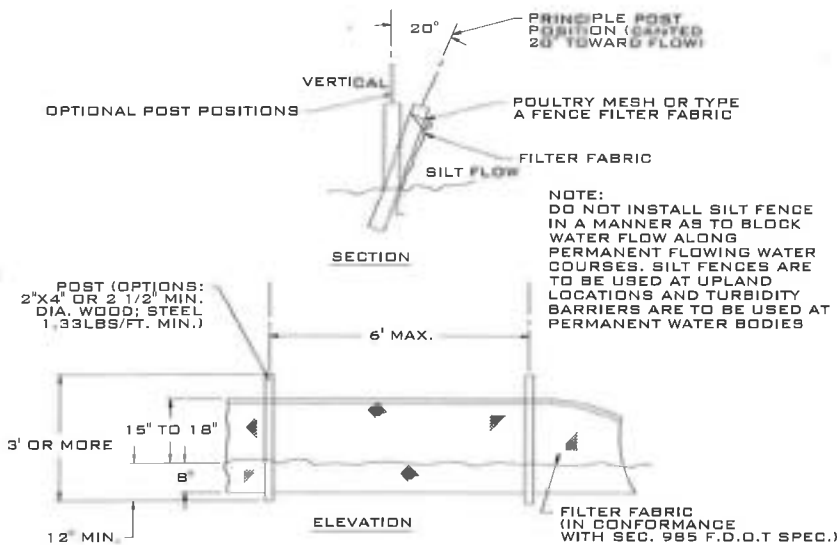
SCE
SOUTHEASTERN
P.O. BOX 141
WEAVER, FL 32328
(850) 246-9860 (850) 246-7297
LBN 29064

GENERAL NOTES

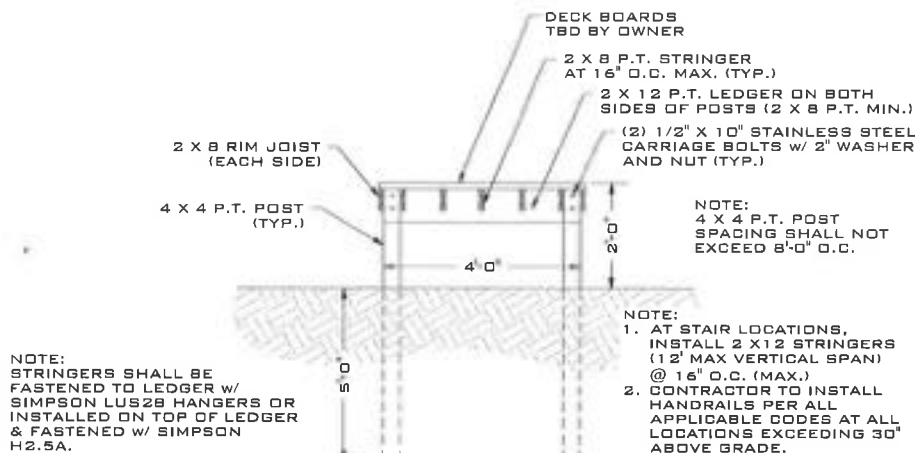
1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE TO INSURE THAT ALL NEW WORK WILL FIT IN THE MANNER INTENDED ON THE PLANS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND FRANKLIN COUNTY, FLORIDA OF SUCH DIFFERENCES IMMEDIATELY AND PRIOR TO PROCEEDING WITH THE WORK.
2. THE CONTRACTOR SHALL COMPLY WITH ALL CONDITIONS AS SET FORTH BY THE NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT AND FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
3. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION SITE IN A SECURE MANNER. ALL OPEN TRENCHES AND EXCAVATED AREAS SHALL BE PROTECTED FROM ACCESS BY THE GENERAL PUBLIC.
4. ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHOULD NOTIFY THE ENGINEER.
5. THE CONTRACTOR SHALL IMPLEMENT ALL COMPONENTS OF THE EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO ANY EARTH DISTURBING ACTIVITIES. ALL COMPONENTS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL ALL VEGETATION IS ESTABLISHED. THE ENTIRE PROJECT AREA IS STABILIZED AND THE OWNER HAS ACCEPTED OPERATION AND MAINTENANCE.
6. ALL DISTURBED AREAS NOT SOODED SHALL BE SEEDED WITH A MIXTURE OF LONG-TERM VEGETATION AND QUICK GROWING SHORT-TERM VEGETATION FOR THE FOLLOWING CONDITIONS. FOR THE MONTHS FROM SEPTEMBER THROUGH MARCH, THE MIX SHALL CONSIST OF 70 POUNDS PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF WINTER RYE. FOR THE MONTHS OF APRIL THROUGH AUGUST, THE MIX SHALL CONSIST OF 70 PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF MILLET.
7. THE LOCATION OF THE UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR DURING CONSTRUCTION. CONTRACTOR SHALL PROTECT ALL UTILITIES WITHIN THE PROJECT AREAS.
8. ALL UTILITY CONSTRUCTION SHALL MEET THE WATER AND WASTEWATER UTILITY STANDARDS OF THE UTILITY SERVICE PROVIDER IN THE PROJECT AREA.
9. THE CONTRACTOR SHALL WASTE ALL EXCESS EARTH ON SITE AS DIRECTED BY THE ENGINEER.
10. ALL SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL GOVERNING BODY'S LAND DEVELOPMENT REGULATIONS.
11. CONTRACTOR SHALL REVIEW AND BECOME FAMILIAR WITH ALL REQUIRED UTILITY CONNECTIONS PRIOR TO BIDDING. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS REQUIRED TO COMPLETE CONNECTION TO THE EXISTING UTILITIES. THIS INCLUDES BUT IS NOT LIMITED TO MANHOLE CORING, WET TAPS, PAVEMENT REPAIRS AND DIRECTIONAL BORING.
12. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS WITHIN PROJECT AREA.
13. CONTRACTOR SHALL PROVIDE ACTUAL INVERT ELEVATIONS ON ALL DRAINAGE STRUCTURES, INCLUDING CULVERTS, PRIOR TO PLACING ANY BASE MATERIAL. DEVIATIONS FROM THE PLANS SHALL BE APPROVED BY THE ENGINEER BEFORE CONTINUING WORK.
14. THIS PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION) AND THE F.D.O.T. DESIGN STANDARDS (CURRENT EDITION), AWWA SPECIFICATIONS, AND THE LOCAL GOVERNING BODY'S DEVELOPMENT STANDARDS UNLESS OTHERWISE NOTED.
15. IF UNSUITABLE MATERIAL IS ENCOUNTERED DURING GRADING, CONTRACTOR SHALL REMOVE UNSUITABLE MATERIAL TO A DEPTH OF 24" BELOW FINISHED GRADE WITHIN THE CONSTRUCTION LIMITS.
16. THE CONTRACTOR SHALL NOTIFY THE LOCAL GOVERNING BODY AT LEAST 48 HOURS IN ADVANCE PRIOR TO BEGINNING OF CONSTRUCTION.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION COMMENCEMENT NOTICE AND NOTIFYING THE ENGINEER OF THE CONSTRUCTION SCHEDULE.

EROSION CONTROL NOTES

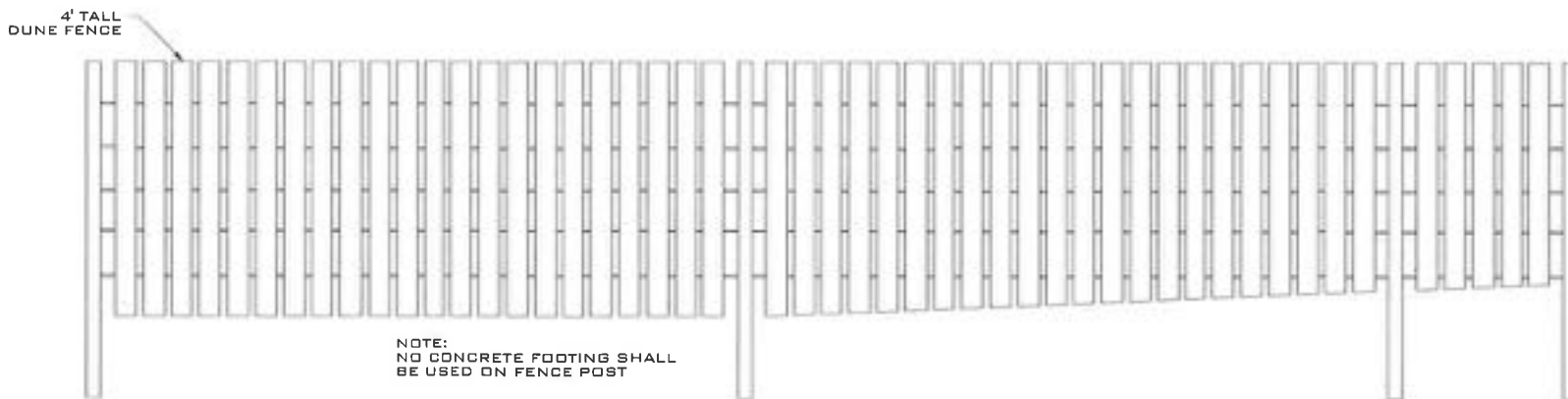
1. THIS EROSION AND SEDIMENTATION CONTROL PLAN COMPLIES WITH THE REQUIREMENTS OF THE FLORIDA DEVELOPMENT MANUAL AND THE FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL.
2. THE CONTRACTOR SHALL ADHERE TO THE LOCAL GOVERNING BODY, F.D.E.P. AND OTHER GOVERNING AUTHORITIES FOR EROSION AND SEDIMENT CONTROL REGULATIONS. IF THE CONTRACTOR NEEDS TO CHANGE THIS PLAN TO MORE EFFECTIVELY CONTROL EROSION AND SEDIMENTATION, THE CONTRACTOR SHALL USE BMPs FROM THE FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL.
3. THE CONTRACTOR SHALL ADJUST AND REVISE THIS PLAN TO MEET ACTUAL FIELD CONDITIONS. ANY REVISIONS SHALL BE APPROVED BY THE REVIEWING AGENCIES.
4. SEDIMENT AND EROSION CONTROL FACILITIES, STORM DRAINAGE FACILITIES AND DETENTION BASINS SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
5. EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL AND REPLACED AS NECESSARY.
6. SEDIMENT AND EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION IS COMPLETE AND UNTIL A PERMANENT GROUND COVER HAS BEEN ESTABLISHED.
7. ALL OPEN DRAINAGE SWALES SHALL BE GRASSED AND RIPRAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
8. SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT AND EROSION FROM LEAVING PROJECT LIMITS.
9. CONTRACTOR SHALL PLACE A DOUBLE ROW OF SILT FENCE IN AREAS WHERE RUNOFF FROM DISTURBED AREAS MAY ENTER WETLANDS.
10. DURING CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETE, ALL STRUCTURES SHALL BE CLEANED OF ALL DEBRIS AND EXCESS SEDIMENT.
11. ALL GRADED AREAS SHALL BE STABILIZED IMMEDIATELY WITH A TEMPORARY FAST-GROWING COVER AND/OR MULCH.
12. A PAD OF RUBBLE RIP RAP SHALL BE PLACED AT THE BOTTOM OF ALL COLLECTION FLUMES AND COLLECTION PIPE OUTLETS. GRANITE OR LIMESTONE RIPRAP IS REQUIRED, NO BROKEN CONCRETE WILL BE ACCEPTED.
13. ALL SIDE SLOPES STEEPER THAN 3:1 SHALL BE ADEQUATELY PROTECTED FROM EROSION THROUGH THE USE OF HAY BALES OR SODDING.
14. ALL STABILIZATION PRACTICES SHALL BE INITIATED AS SOON AS PRACTICABLE IN AREAS OF THE JOB WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY STOPPED, BUT IN NO CASE SHALL THE DISTURBED AREA BE LEFT UNPROTECTED FOR MORE THAN SEVEN DAYS.
15. ALL WASTE GENERATED ON THE PROJECT SHALL BE DISPOSED OF BY THE CONTRACTOR IN AREAS PROVIDED BY CONTRACTOR.
16. LOADED HAUL TRUCKS SHALL BE COVERED WITH TARPS.
17. EXCESS DIRT SHALL BE REMOVED DAILY.
18. THIS PROJECT SHALL COMPLY WITH ALL WATER QUALITY STANDARDS.
19. QUALIFIED PERSONNEL SHALL INSPECT THE AREA USED FOR STORAGE OF STOCK PILES, THE SILT FENCE AND STRAW BALES, THE LOCATION WHERE VEHICLES ENTER OR EXIT THE SITE, AND THE DISTURBED AREAS THAT HAVE NOT BEEN FINALLY STABILIZED, AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM OF 0.5 INCHES OR GREATER.
20. SITES THAT HAVE BEEN FINALLY STABILIZED WITH SOD OR GRASSING SHALL BE INSPECTED AT LEAST ONCE EVERY WEEK.



1 TYPE III SILT FENCE
G1 N.T.S.



2 TYPICAL DUNE WALKOVER DETAIL
G1 N.T.S.



3 TYPICAL DUNE FENCE SECTION
G1 N.T.S.

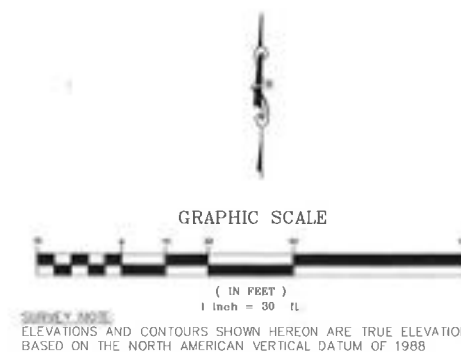
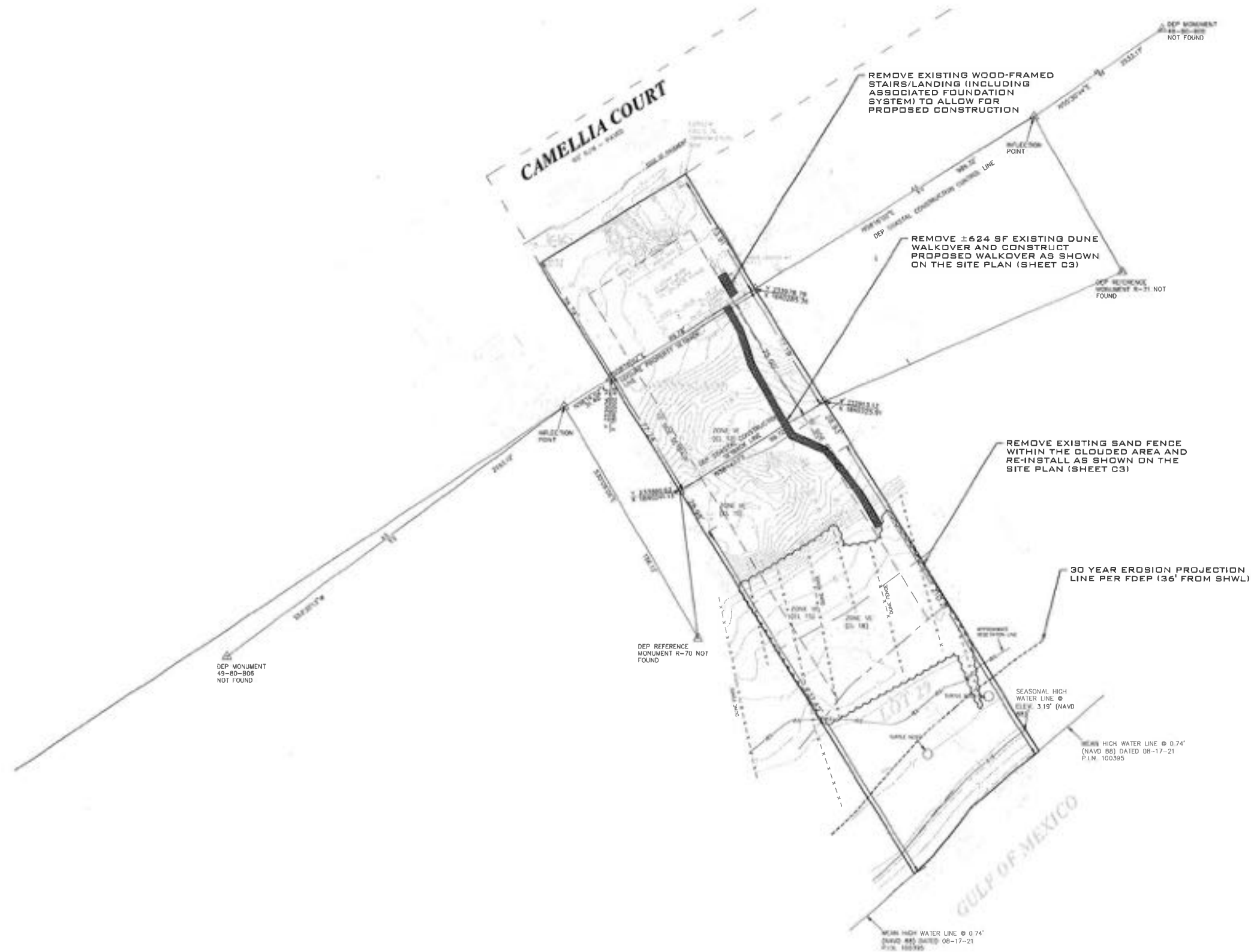
GENERAL NOTES

1432 CAMELLIA CT
ST. GEORGE ISLAND, FL 32328
FRANKLIN CO. PARCEL ID:29-09S-06W-7321-00000-0280

PROJECT NUMBER: 21-1376-01 REVISIONS:

DATE: 12/9/21
SHEET NO. G1

SCE
SOUTHEASTERN
P.O. BOX 141
PORT ST. JOE, FL 32457
(850) 836-8600
FAX: (850) 836-8601
WEB: www.sce.com



DEMOLITION PLAN

1432 CAMELLIA CT
ST. GEORGE ISLAND, FL 32328
FRANKLIN CO. PARCEL ID:29-09S-06W-7321-0000-0280

PROJECT NUMBER: 21-1376-01 REVISIONS:

DESIGNED BY	DRAWN BY	CHECKED BY	DATE	BY	ITEM
T. MARSH	T. MARSH	L. WATSON			

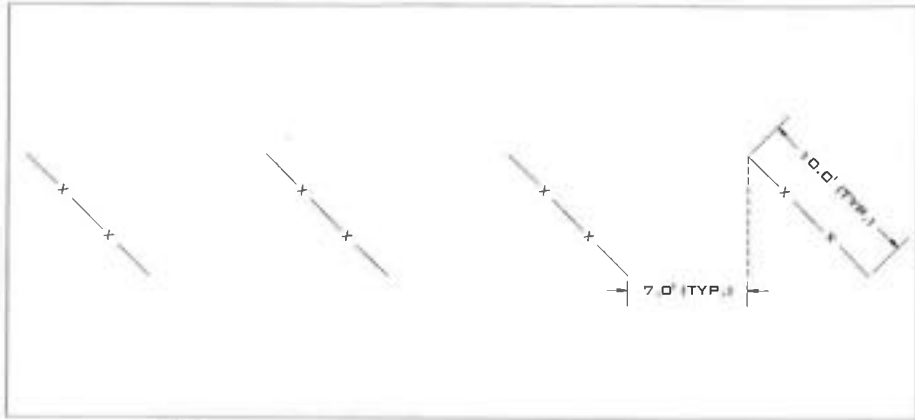
FOR: KEVIN R. & BARBARA A. SULLIVAN
1432 CAMELLIA COURT
ST. GEORGE ISLAND, FL 32328

DATE: 1/29/21
SHEET NO.

C2

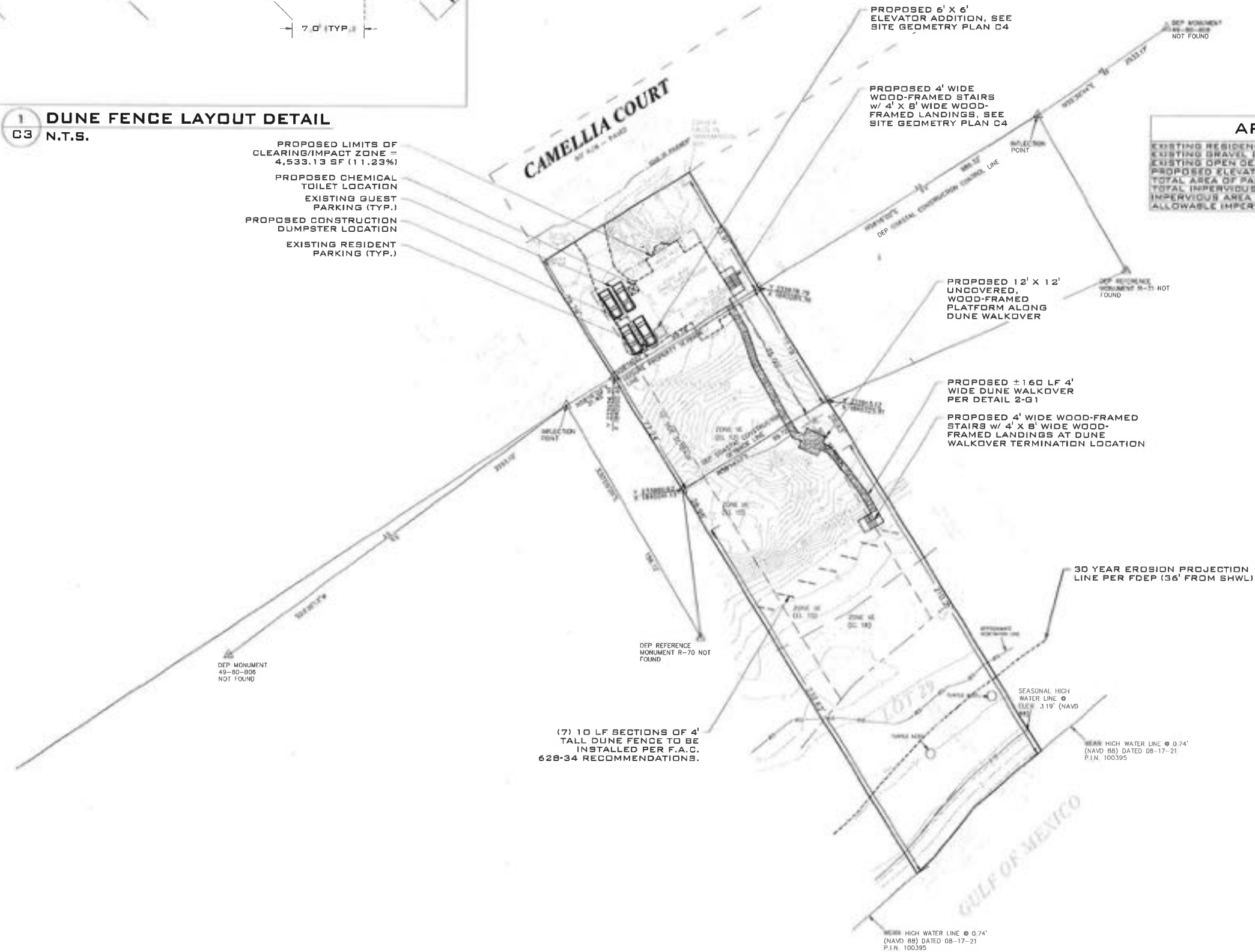
SCE

SOUTHEASTERN
P.O. BOX 141
WEAHTCHKA, FL 32989
(850) 297-1297
LAW 20064

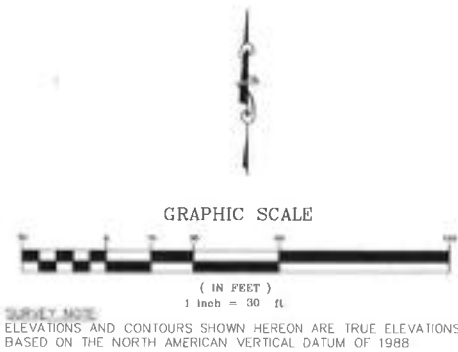


1 DUNE FENCE LAYOUT DETAIL
C3 N.T.S.

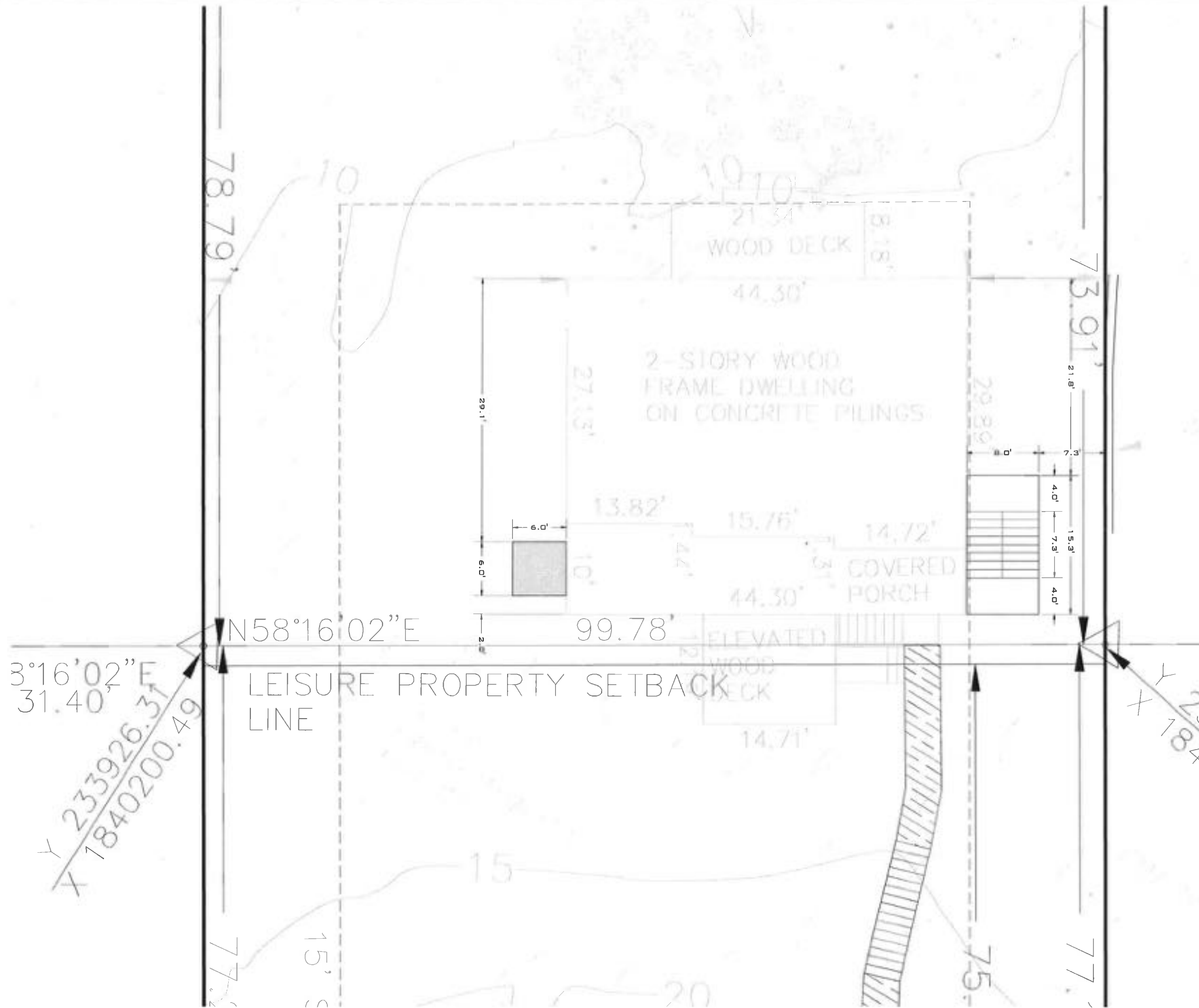
- PROPOSED LIMITS OF CLEARING/IMPACT ZONE = 4,533.13 SF (11.23%)
- PROPOSED CHEMICAL TOILET LOCATION
- EXISTING GUEST PARKING (TYP.)
- PROPOSED CONSTRUCTION DUMPSTER LOCATION
- EXISTING RESIDENT PARKING (TYP.)



AREA TABLE	
EXISTING RESIDENCE	1,846.39 SF
EXISTING GRAVEL DRIVEWAY	1,503.34 SF
EXISTING OPEN DECK	179.28 SF
PROPOSED ELEVATOR	36.00 SF
TOTAL AREA OF PARCEL	40,347.45 SF
TOTAL IMPERVIOUS AREA	1,884.39 SF
IMPERVIOUS AREA PERCENTAGE	4.66 %
ALLOWABLE IMPERVIOUS AREA	59.00%



SURVEY NOTE
ELEVATIONS AND CONTOURS SHOWN HEREON ARE TRUE ELEVATIONS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988



SURVEY NOTE:
ELEVATIONS AND CONTOURS SHOWN HEREON ARE TRUE ELEVATIONS
BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988



SOUTHEASTERN
CONSULTING ENGINEERS, INC.
P. O. BOX 111
WEAVER, FL 32457
32457
LBA# 20064

SITE GEOMETRY PLAN

1432 CAMELLIA CT
ST. GEORGE ISLAND, FL 32328
FRANKLIN CO. PARCEL ID: 29-09S-06W-7321-0000-0280

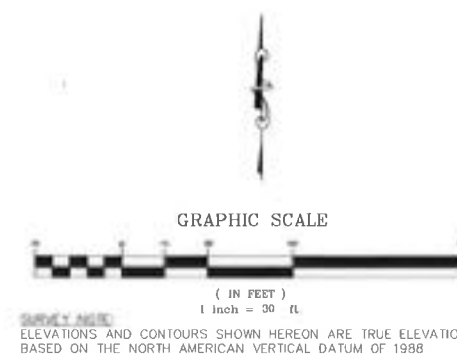
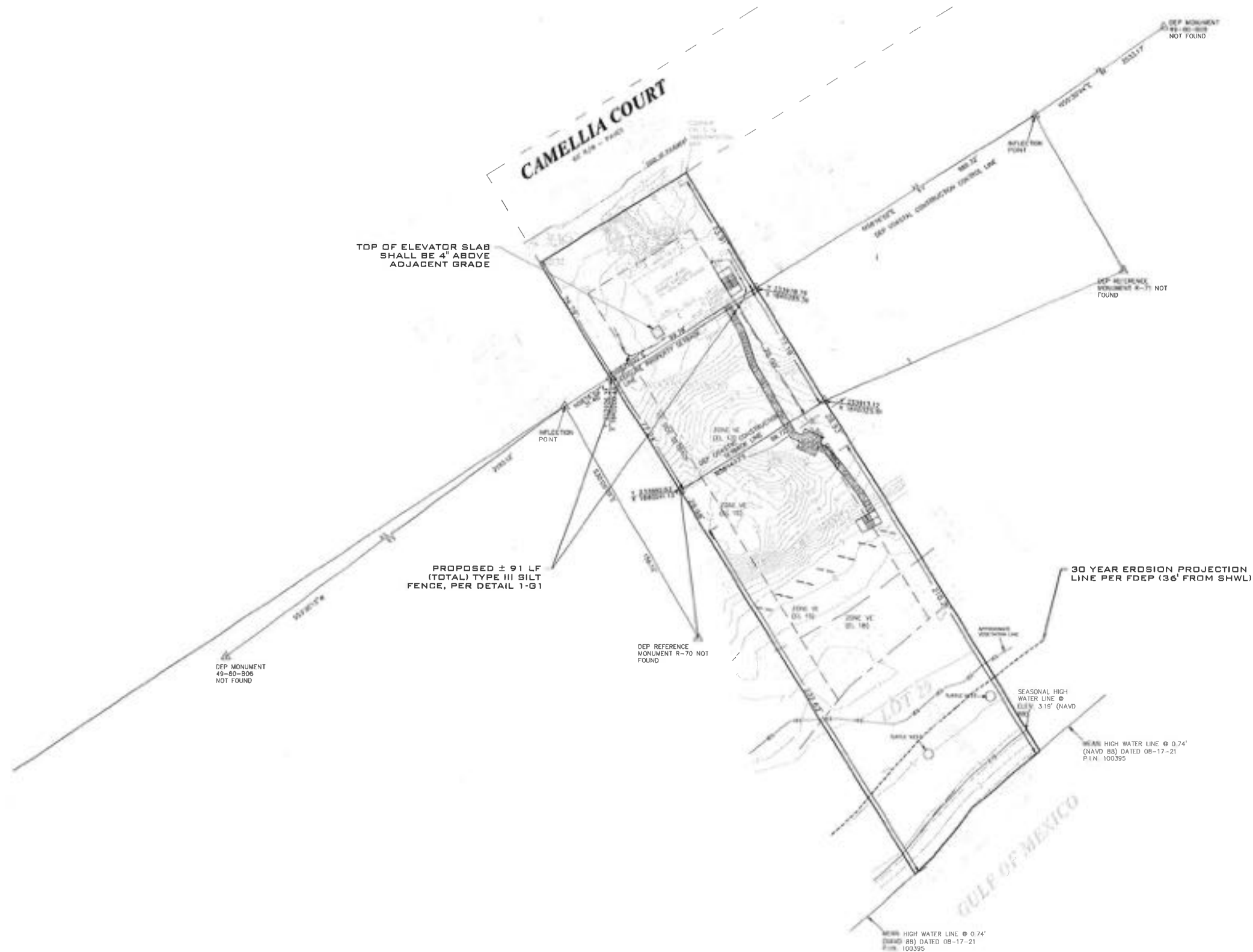
PROJECT NUMBER: 21-1376-01

DESIGNED BY: T. MARSH
CHECKED BY: L. WATSON
DATE: 12/9/21

REVISIONS:			
NO.	DATE	BY	ITEM

FOR: KEVIN R. & BARBARA A. SULLIVAN
1432 CAMELLIA COURT
ST. GEORGE ISLAND, FL 32328

C4



SURVEY NOTES:
ELEVATIONS AND CONTOURS SHOWN HEREON ARE TRUE ELEVATIONS
BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988

SCE

**SOUTHEASTERN
CONSULTING ENGINEERS, INC.**
 1432 CAMELLIA COURT
 ST. GEORGE ISLAND, FL 32457
 (850) 639-3860 (850) 227-1297
 FAX: (850) 227-1297

GRADING PLAN

1432 CAMELLIA CT
ST. GEORGE ISLAND, FL 32328
FRANKLIN CO. PARCEL ID: 29-09S-06W-7321-0000-0280

PROJECT NUMBER: 21-1376-01 REVISIONS:			
DESIGNED BY:	DRAWN BY:	CHECKED BY:	DATE
T. MARSH	T. MARSH	L. WATSON	
FOR: KEVIN R. & BARBARA A. 1432 CAMELLIA COURT ST. GEORGE ISLAND, FL 32328			
DATE: 12/9/21			
SHEET NO. 5			



PLANNING & ZONING ADJUSTMENT BOARD APPLICATION

FRANKLIN COUNTY BUILDING DEPARTMENT

34 Forbes Street, Suite 1, Apalachicola, FL 32320

PHONE: 850-653-9783 FAX: 850-653-9799

<https://www.franklincountyflorida.com/county-government/planning-building/planning-services/>

ADJUSTMENT BOARD VARIANCE APPLICATION

Instructions: Complete application, include a detailed description of request including any necessary information supporting your request, a site plan depicting the proposed request, boundary survey, and an application fee of \$250.00. Return to the following address:

Franklin County Building Department
34 Forbes Street, Suite 1
Apalachicola, FL 32320

RECEIVED
NOV 30 2021

BY:

PROPERTY OWNER'S INFORMATION

PROPERTY OWNER'S NAME: THE ARK FAMILY TRUST

MAILING ADDRESS: P.O. Box 386 CITY/STATE/ZIP: EASTPOINT, FL 32328

CONTACT NUMBER: 850-524-6018 EMAIL: bthomas68@gmail.com

AGENT'S NAME: BILL THOMAS

CONTACT NUMBER: 850-524-6018 EMAIL: SAME AS ABOVE

PROPERTY DESCRIPTION

911 ADDRESS: SEE ATTACHED CITY/STATE/ZIP: _____

LOT(S): SEE ATTACHED BLOCK: 5W SUBDIVISION: GULF BEACHES UNIT: 1

PARCEL IDENTIFICATION NUMBER: SEE ATTACHED

JURISDICTION

☐ APALACHICOLA ☐ EASTPOINT ☒ ST. GEORGE ISLAND ☐ CARRABELLE ☐ DOG ISLAND ☐ LANARK
☐ ST. JAMES ☐ ST. THERESA ☐ ALLIGATOR POINT

DESCRIPTION OF REQUEST

SEE ATTACHED

OFFICE USE ONLY

ADJUSTMENT BOARD MEETING DATE: _____ APPROVED/DENIED/TABLED: _____

BOARD OF COUNTY COMMISSION DATE: _____ APPROVED/DENIED/TABLED: _____

THIS VARIANCE REQUEST WILL EXPIRE ONE YEAR FROM DATE OF APPROVAL BY THE FRANKLIN COUNTY BOARD OF COUNTY COMMISSION. EXPIRATION DATE: _____

St George Island Live/Work

Property Description/Legal

147 W Gulf Beach- 29-09S-06W-7311-005W-0050 (UNIT 1 BL 5W Lot 5)
155 W Gulf Beach- 29-09S-06W-7311-005W-0030 (UNIT 1 BL 5W Lots 3 & 4)
163 W Gulf Beach- 29-09S-06W-7311-005W-0010 (UNIT 1 BL 5W Lots 1 & 2)
140 W Pine Ave- 29-09S-06W-7311-005W-0270 (UNIT 1 BL 5W Lots 27, 28, & 29)
152 W Pine Ave- 29-09S-06W-7311-005W-0300 (UNIT 1 BL 5W Lot 30)
156 W Pine Ave- 29-09S-06W-7311-005W-0310 (UNIT 1 BL 5W Lot 31)
160 W Pine Ave- 29-09S-06W-7311-005W-0320 (UNIT 1 BL 5W Lot 32)

November 30, 2021

Setback Variance Request

Consideration of a request for a variance to construct 9 Single Family houses across 11 platted commercial lots on SGI. The variance request is based upon the hardship created by the County regulations imposed on the development of 25' wide lots. The variance request is consistent with what the county has granted in the past for development in the C-4 district. This revised site plan does not require variances off Gulf Beach drive or Pine Avenue.

-The 2 lots shown along 2nd Avenue will require a 20' variance into Western side setback and a 5' variance into the Eastern side setback.

-The remaining 7 lots shown on site plan will require a variance of 5' into both the Eastern and Western side setback of the lots.



PLANNING & ZONING ADJUSTMENT BOARD APPLICATION

FRANKLIN COUNTY BUILDING DEPARTMENT

34 Forbes Street, Suite 1, Apalachicola, FL 32320

PHONE: 850-653-9783 FAX: 850-653-9799

<https://www.franklincountyflorida.com/county-government/planning-building/planning-services/>

ADJUSTMENT BOARD VARIANCE APPLICATION

Instructions: Complete application, include a detailed description of request including any necessary information supporting your request, a site plan depicting the proposed request, boundary survey, and an application fee of \$250.00. Return to the following address:

Franklin County Building Department
34 Forbes Street, Suite 1
Apalachicola, FL 32320

RECEIVED
DEC 01 2021
BY: 12:25 (29)

PROPERTY OWNER'S INFORMATION

PROPERTY OWNER'S NAME: Dorothy L. GALLANT
MAILING ADDRESS: 1285 Angus Morrison Rd CITY/STATE/ZIP: Panama FL 32346
CONTACT NUMBER: 850-519-3230 EMAIL: geelouiscusa@yahoo.com
AGENT'S NAME: _____
CONTACT NUMBER: _____ EMAIL: _____

PROPERTY DESCRIPTION

911 ADDRESS: 1285 Angus Morrison Rd CITY/STATE/ZIP: Alligator Point / Panama FL 32346
LOT(S): 2 BLOCK: E SUBDIVISION: Alligator Harbor UNIT: 2 BEE
PARCEL IDENTIFICATION NUMBER: 06-075-01W1012-00EO-0020

JURISDICTION

☐ APALACHICOLA ☐ EASTPOINT ☐ ST. GEORGE ISLAND ☐ CARRABELLE ☐ DOG ISLAND ☐ LANARK
☐ ST. JAMES ☐ ST. THERESA ☒ ALLIGATOR POINT

DESCRIPTION OF REQUEST

To Have a 2 car carport installed in front of House as elevation of Garage is too low for cars to Access and my Frince is total Handicapped using wheelchair/walker and this is Awkward getting in and out of car in the rain. VA Disability for my Frince [entrance to Garage is less than 6 feet.] Enclosure of garage was placed by prior owner with storage in mind.

OFFICE USE ONLY

ADJUSTMENT BOARD MEETING DATE: _____ APPROVED/DENIED/TABLED: _____
BOARD OF COUNTY COMMISSION DATE: _____ APPROVED/DENIED/TABLED: _____

THIS VARIANCE REQUEST WILL EXPIRE ONE YEAR FROM DATE OF APPROVAL BY THE FRANKLIN COUNTY BOARD OF COUNTY COMMISSION. **EXPIRATION DATE:** _____

From: markc@franklincountyflorida.com
Sent: Thursday, December 9, 2021 2:30 PM
To: 'geelouiseusa@yahoo.com'
Subject: Proposed Variance at Alligator Point in Franklin County, Florida

Dear Ms. Gallant,

I was reviewing your application for a setback variance for a carport on your property at 1285 Angus Morrison Road. What I do not see included in the application is exactly how much of a variance you are requesting. Do you propose extending the carport all the way to your front property line? The plans you included in your application are generic plans that do not state what size of a carport you are proposing. Please provide me the information of what size carport you are proposing and how close it will go to your front property line along Angus Morrison Road so I can ensure you are on the agenda for the January 11 meeting.

Sincerely,
Mark C. Curenton
County Planner
Franklin County, Florida
850-653-9783 x-160

Parcel Summary

Parcel ID: 06-075-01W-1012-0060-0020
 Location Address: 1285 ANGUS MORRISON RD RD 32346
 Brief Tax Description: UNIT 2 BLE LOT 2 ALLIGATOR HARBOR OR 140/533 OR 162/137 OR 248/80 OR 303/199 OR 484/100 OR 484/101 654/66 1206/398
 *The Description above is not to be used on legal documents.
 Property Use Code: SINGLE FAM (000100)
 Sec/Twp/Rng: 6-75-1W
 Tax District: Alligator Point (District 7)
 Millage Rate: 13.022
 Acreage: 0.198
 Homestead: Y

[View Map](#)

Owner Information

Primary Owner
 Gallant Dorothy Louise
 1285 Angus Morrison Rd
 Alligator Point, FL 32346

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000131	SFR CANAL	8,625.00	SF	75	115

Residential Buildings

Building 1
 Type: ALPT PILIN
 Total Area: 1.770
 Heated Area: 1.011
 Exterior Walls: VINYL SIDE
 Roof Cover: COMP SHINGL
 Interior Walls: DRYWALL
 Frame Type: N/A
 Floor Cover: SHT VINYL-CARPET
 Heat: AIR DUCTED
 Air Conditioning: CENTRAL
 Bathrooms: 1
 Bedrooms: 2
 Stories: 1
 Effective Year Built: 1979

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0300	STEPS	1	13 x 3 x 0	39	UT	1992
0320	CONCRETE	1	0 x 0 x 0	66	UT	1992
0080	DECK	1	12 x 22 x 0	264	UT	0

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	11/17/2017	\$110,000	WD	1206	398	Qualified (Q)	Improved	BROWN	GALLANT
N	12/13/2000	\$88,000	WD	654	66	Qualified (Q)	Improved	BROWN	BROWN
N	01/26/1995	\$60,000	WD	484	101	Qualified (Q)	Improved	LANGE	BROWN
N	09/27/1989	\$850	WD	303	199	Unqualified (U)	Improved	LANGE	LANGE

Dorothy Gallant

1285 Angus Morrison Road

Panacea, FL 32346

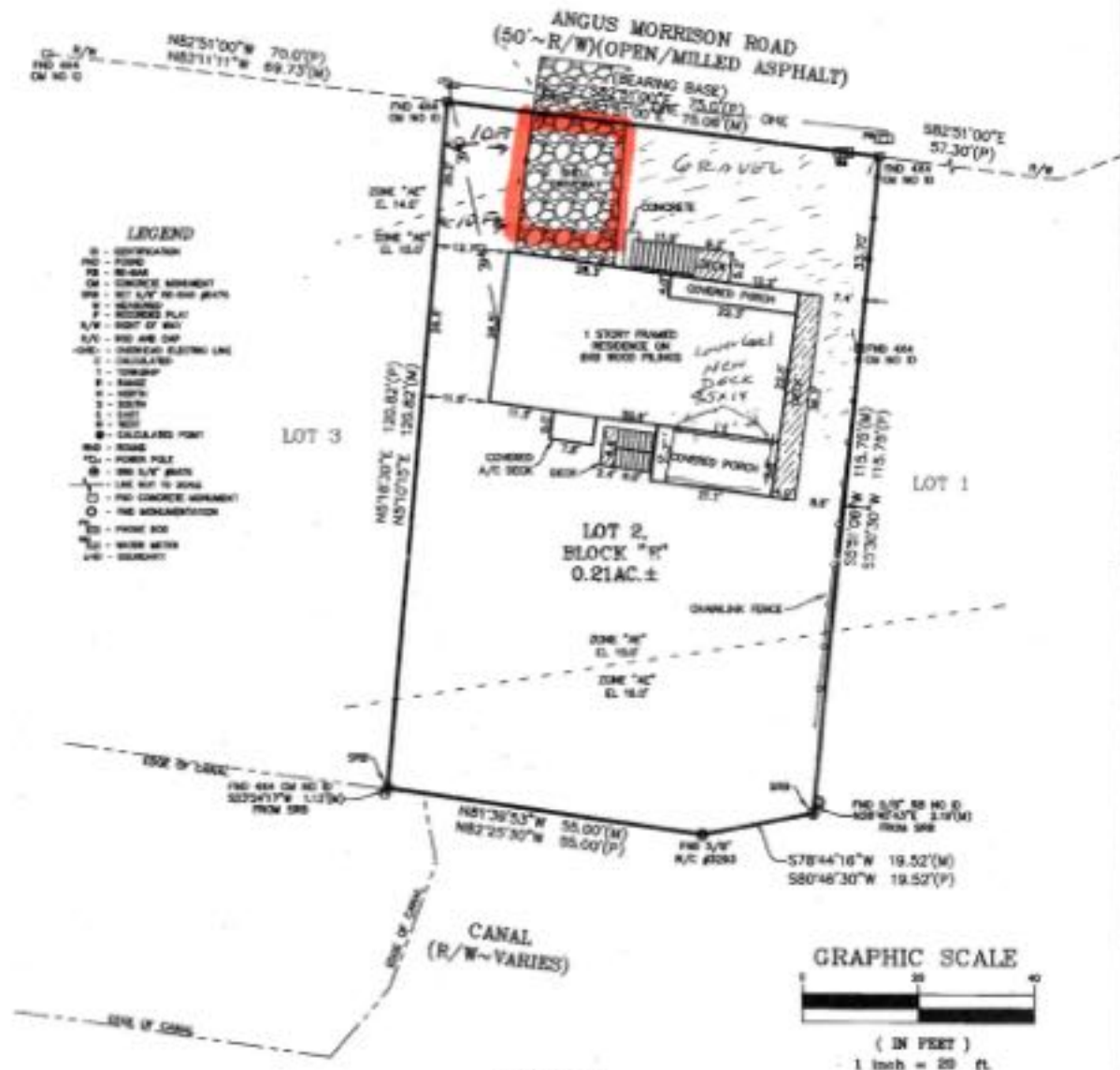


LEGAL DESCRIPTION

Lot 2, Block "E", Alligator Harbor Unit #2, a subdivision as per map or plat thereof recorded in Plat Book 4, page 7 in the Public Records of Franklin County, Florida.

NOTES:

1. No improvements were located in this survey other than those shown herein.
2. No underground encroachments, utilities or foundations were located in this survey.
3. All measurements shown herein are Standard U.S. Survey Feet, and decimals thereof.
4. As noted from Flood Insurance Rate Map for Franklin County, Florida, Community-Panel Number 125070 0315 F; Date of Firm Index: February 5, 2014. This Property is located in Zone "AE", elevations 14.0', 15.0' & 16.0'.
5. The use of this survey is limited to the specific transaction shown herein.
6. Subject to zoning setbacks, easements and restrictions of record.
7. Adjacent deeds of record were not provided to this firm.
8. No building setbacks are shown on this survey. Contact the Franklin County Planning Zoning Department prior to design & construction to verify building setbacks.



EDWIN BROWN & ASSOCIATES
SURVEYORS • MAPPERS • ENGINEERS
2000 4th St. SE, Suite 200, Tallahassee, FL 32309
P: 904.438.2000 F: 904.438.2001

The undersigned certifier has not been a party to any other survey or plat of record affecting this or any other property, and is not aware of any other survey or plat of record affecting this or any other property, and is not aware of any other survey or plat of record affecting this or any other property.

Not valid without the signature and seal of a Florida Licensed Surveyor.

EDWIN G. BROWN
Surveyor & Mapper
Florida Certificate No. 5088
(28 0475)

PREPARED BY:
DOROTHY GALLANT
BANK OF AMERICA
NATIONAL TITLE COMPANY
CHICAGO TITLE INSURANCE COMPANY

PLAT OF BOUNDARY SURVEY PREPARED FOR DOROTHY GALLANT

PREPARED BY
EDWIN G. BROWN AND ASSOCIATES, INC.

2013 CHAMFORDVILLE HWY. P.O. BOX 820 CHAMFORDVILLE, FL 32008 (904) 928-3010

BOOK/PAGE/2004/2004	COUNTY: FRANKLIN	DRAWN BY: J.A.	REVIEWED BY: WGB
BOOK/PAGE/2004/2004	SUBDIVISION: E	SCALE: 1"=20'	REVIEWED BY: WGB
BOOK/PAGE/2004/2004	TOWNSHIP: 7-SOUTH	SURVEY DATE: NOVEMBER 8, 2007	JOB NUMBER
SHEET: 1 OF 1	RANGE: 1-WEST		
		87-049	38286

FBC APPROVED PRODUCTS LIST

MAXIMUM ALLOWABLE
WIND SPEED

RAFTER FRAME, END POST, GROUND ANCHOR AND PANEL FASTENER SPACING SPECIFICATIONS

TABLE 1

PRODUCT CATEGORY	SUB CATEGORY	MANUFACTURER	APPROVAL No. & DATE	QA EXPIRATION DATE	OPEN	ENCLOSED	PARTIALLY ENCLOSED	RAFTER CATEGORY	WIND EXPOSURE CATEGORY	ULTIMATE WIND SPEED (MPH)	NOMINAL WIND SPEED (MPH)	MAXIMUM POST / RAFTER SPACING (FEET)	AVERAGE FASTENER SPACING ON CENTERS ALONG RAFTERS OR PANELS, AND POSTS OR CHIEFS (INCHES)	INTERIOR POSTS/RAFTERS	END POSTS/RAFTERS
STRUCTURAL COMPONENTS	ROOF DECK	CAROLINA CARPORTS, INC. 26 Gauge AG Panel	FL0001-1-RE 12/15/20	04/05/22	160	180	180	B	C	110 TO 150	80 TO 110	5.0	6	6	6
STRUCTURAL COMPONENTS	STRUCTURAL WALL	CAROLINA CARPORTS, INC. 26 Gauge AG Panel	FL0001-1-RE 12/15/20	03/14/22	160	180	180	B	C	110 TO 150	80 TO 110	5.0	6	6	6
STRUCTURAL COMPONENTS	STRUCTURAL WALL	CAROLINA CARPORTS, INC. 26 Gauge AG Panel	FL0001-1-RE 12/15/20	03/14/22	160	180	180	B	C	110 TO 150	80 TO 110	5.0	6	6	6
STRUCTURAL COMPONENTS	FLOOD VENT	CRYVAL SPACE LOCK SYSTEMS, INC. Wall Flood Vent	FL2002-1-RI 02/08/21	09/09/22	N/A	N/A	N/A	B	C	110 TO 150	80 TO 110	5.0	6	6	6
EXTERIOR DOORS	SWINGING	ELDER DOOR AND METAL COMPANY Series 402-10	FL1700-3-FD 02/08/21	04/05/22	N/A	130	130	B	C	110 TO 150	80 TO 110	5.0	6	6	6
EXTERIOR DOORS	SWINGING	ELDER DOOR AND METAL COMPANY Series 407	FL1700-5-FD 02/08/21	04/05/22	N/A	174	174	B	C	110 TO 150	80 TO 110	5.0	6	6	6
EXTERIOR DOORS	ROLL UP	ASTA INDUSTRIES INC. Model 200 (17 Max. Width)	FL2005-1-RE 02/08/21	12/01/21	N/A	160	174	B	C	110 TO 150	80 TO 110	5.0	6	6	6
EXTERIOR DOORS	ROLL UP	CAROLINA CARPORTS, INC. Steel Roll-Up Steel Door (2" Max. Width)	FL1800-1-FD 12/10/20	04/05/22	N/A	175	180	B	C	110 TO 150	80 TO 110	5.0	6	6	6
EXTERIOR DOORS	ROLL UP	CAROLINA CARPORTS, INC. Steel Roll-Up Steel Door (3" Max. Width)	FL1800-2-FD 12/10/20	04/05/22	N/A	180	180	B	C	110 TO 150	80 TO 110	5.0	6	6	6
EXTERIOR DOORS	ROLL UP	CAROLINA CARPORTS, INC. Steel Roll-Up Steel Door (17" Max. Width)	FL1800-4-FD 12/10/20	04/05/22	N/A	180	172	B	C	110 TO 150	80 TO 110	5.0	6	6	6
WINDOWS	SPRING HUNG	MI WINDOWS AND DOORS Model 10000	FL1700-1-FD 11/27/20	04/05/22	N/A	175	157	B	C	110 TO 150	80 TO 110	5.0	6	6	6

NOTES:

1. THESE PLANS AND SPECIFICATIONS ARE BASED ON THE ASSUMPTIONS OF THE DESIGNER AND ARE NOT TO BE USED FOR ANY OTHER PURPOSES.

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GENERAL NOTES:

- THESE PLANS PERTAIN ONLY TO THE STRUCTURE, INCLUDING WIND-RESISTING SYSTEM COMPONENTS AND CLADDING, AND BASE RAIL ANCHORAGE. OTHER DESIGN DETAILS, INCLUDING BUT NOT LIMITED TO, PLUMBING, ELECTRICAL, MECHANICAL, PROPERTY SET-BACKS, FLOOD ELEVATION AND SLOPE, OR OTHER LOCAL ORDINANCE REQUIREMENTS ARE THE RESPONSIBILITY OF OTHERS.
- THESE PLANS ARE BASED ON THE ASSUMPTIONS OF THE DESIGNER AND ARE NOT TO BE USED FOR ANY OTHER PURPOSES.
- ALL STEEL TUBING SHALL BE 40% GALVANIZED STEEL. ALL FASTENERS SHALL BE GALVANIZED OR STAINLESS STEEL OR ZINC PLATED.
- ALL COMPONENTS AND CLADDING SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTALLATION INSTRUCTIONS, AND SHALL MEET THE DESIGN PRESSURES REQUIRED BY THE FLOOR LOADS CODE (SCL) AT THE LOCATION OF THE MEMBER WITHIN THE SCOPE OF THE PLAN.
- ALL FIELD BRACING CONNECTIONS SHALL BE 1/2" x 1/2" x 1/2" SELF-DRILLING SCREWS (SCL) OR 1/2" x 1/2" x 1/2"

<p>BOW FRAME RAFTER OPEN CARPORT - HORIZONTAL ROOF</p> <p>TYPICAL SIDE ELEVATION NOT TO SCALE</p> <p>TYPICAL END ELEVATION NOT TO SCALE</p>	<p>BOW FRAME RAFTER ENCLOSED BUILDING - HORIZONTAL ROOF</p> <p>TYPICAL SIDE ELEVATION NOT TO SCALE</p> <p>TYPICAL END ELEVATION NOT TO SCALE</p>	<p>BOW FRAME RAFTER UTILITY BUILDING - HORIZONTAL ROOF</p> <p>TYPICAL SIDE ELEVATION NOT TO SCALE</p> <p>TYPICAL END ELEVATION NOT TO SCALE</p>											
<p>BOX EAVE FRAME RAFTER OPEN CARPORT - HORIZONTAL ROOF</p> <p>TYPICAL SIDE ELEVATION NOT TO SCALE</p> <p>TYPICAL END ELEVATION NOT TO SCALE</p>	<p>BOX EAVE FRAME RAFTER ENCLOSED BLDG - HORIZONTAL ROOF</p> <p>TYPICAL SIDE ELEVATION NOT TO SCALE</p> <p>TYPICAL END ELEVATION NOT TO SCALE</p>	<p>BOX EAVE FRAME RAFTER UTILITY BLDG - HORIZONTAL ROOF</p> <p>TYPICAL SIDE ELEVATION NOT TO SCALE</p> <p>TYPICAL END ELEVATION NOT TO SCALE</p>											
<p>BOX EAVE FRAME RAFTER OPEN CARPORT - VERTICAL ROOF</p> <p>TYPICAL SIDE ELEVATION NOT TO SCALE</p> <p>TYPICAL END ELEVATION NOT TO SCALE</p>	<p>BOX EAVE FRAME RAFTER ENCLOSED BLDG - VERTICAL ROOF</p> <p>TYPICAL SIDE ELEVATION NOT TO SCALE</p> <p>TYPICAL END ELEVATION NOT TO SCALE</p>	<p>BOX EAVE FRAME RAFTER UTILITY BLDG - VERTICAL ROOF</p> <p>TYPICAL SIDE ELEVATION NOT TO SCALE</p> <p>TYPICAL END ELEVATION NOT TO SCALE</p>											
<p>TYPICAL BOW RAFTER GABLE END ELEVATION NOT TO SCALE</p> <p>TYPICAL BOX EAVE RAFTER GABLE END ELEVATION NOT TO SCALE</p> <p>TYPICAL BOX EAVE RAFTER GABLE END ELEVATION NOT TO SCALE</p>			<p>CAROLINA CARPORTS, INC. GENERIC PLANS FOR USE IN THE STATE OF FLORIDA</p> <table border="1"> <tr> <td>DATE</td> <td>01-03-2021</td> </tr> <tr> <td>DESIGN</td> <td>1/15</td> </tr> <tr> <td>CHECK</td> <td>02/10/21</td> </tr> <tr> <td>DATE</td> <td>02/10/21</td> </tr> <tr> <td>DATE</td> <td>02/10/21</td> </tr> </table>	DATE	01-03-2021	DESIGN	1/15	CHECK	02/10/21	DATE	02/10/21	DATE	02/10/21
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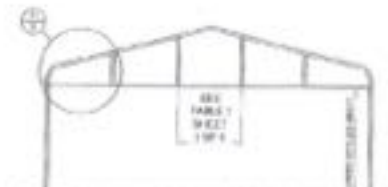
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NOT TO SCALE



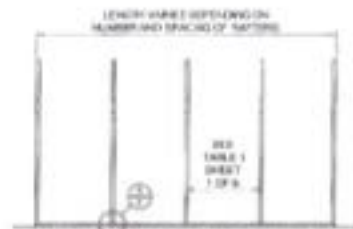
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NOT TO SCALE



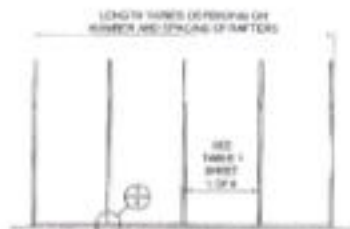
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NOT TO SCALE



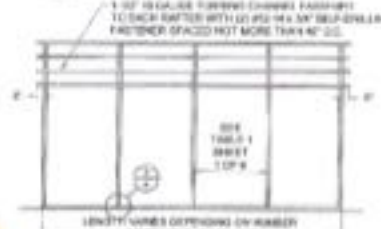
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NOT TO SCALE



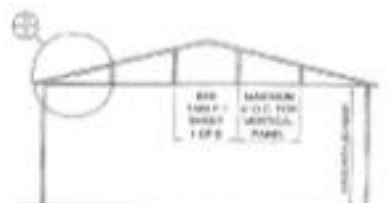
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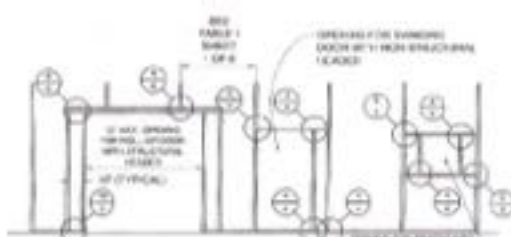
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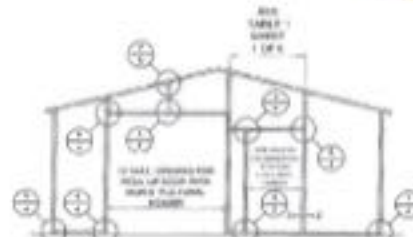
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NOT TO SCALE



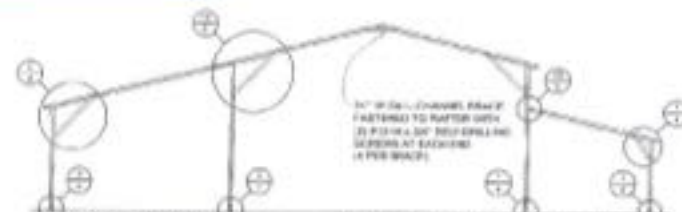
TYPICAL BOX EAVE RAFTER GABLE END FRAMING PLAN
NOT TO SCALE



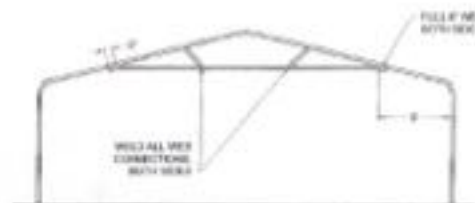
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NOT TO SCALE



TYPICAL END WALL OPENINGS POST-RAFTER FRAMING PLAN
NOT TO SCALE



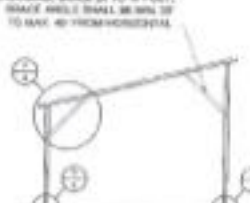
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NOT TO SCALE



OPTIONAL 24\"/>



OPTIONAL 24\"/>



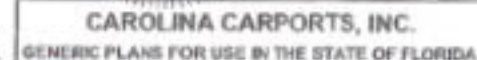
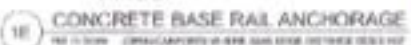
FREESTANDING LEAN-TO FRAMING PLAN
NOT TO SCALE




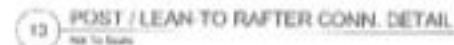
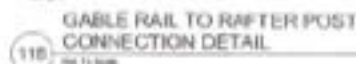
CAROLINA CARPORTS, INC.
GENERIC PLANS FOR USE IN THE STATE OF FLORIDA


DATE	REV	DESCRIPTION
01/10	01	ISSUED
02/10	02	REVISED
03/10	03	REVISED
04/10	04	REVISED
05/10	05	REVISED
06/10	06	REVISED
07/10	07	REVISED
08/10	08	REVISED
09/10	09	REVISED
10/10	10	REVISED
11/10	11	REVISED
12/10	12	REVISED

BECHTOL ENGINEERING AND TESTING, INC.
401 WEST HORTON AVENUE
DELAWARE, OHIO 43015
PHONE: 614.291.1234
FAX: 614.291.1235
WWW.BECHTOL-ENGINEERING.COM

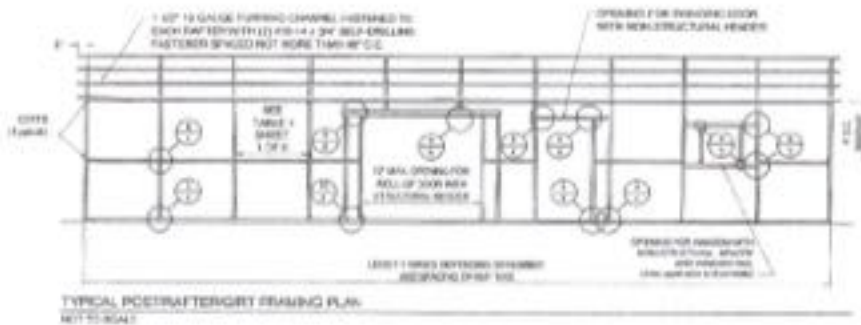
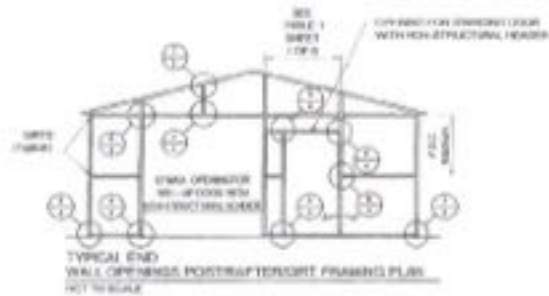


 BECHTEL ENGINEERING AND TESTING, INC. <small>Bechtel Engineering and Testing, Inc., has completed work on numerous projects in the United States and abroad.</small>	AREA	NO. 00050021
	DATE	NOV 84
	ISSUED BY	NOV 84
	PROJECT NO.	021301
	PROJECT TITLE	UNIT 4 O&M

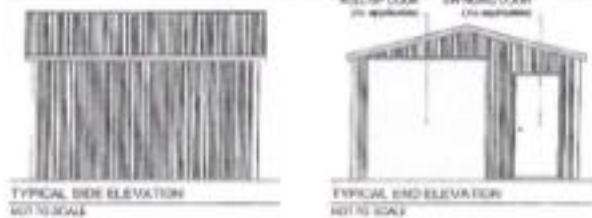


 SECURITY ENGINEERING AND PLANNING, INC. <small>10000 WILSON AVENUE, SUITE 100, WILSON, N.C. 27158 (919) 271-1111</small>	NAME	JOHN J. HARRIS
	ADDRESS	10000 WILSON AVENUE, SUITE 100, WILSON, N.C. 27158
	CITY	WILSON, N.C.
	STATE	N.C.
	ZIP	27158

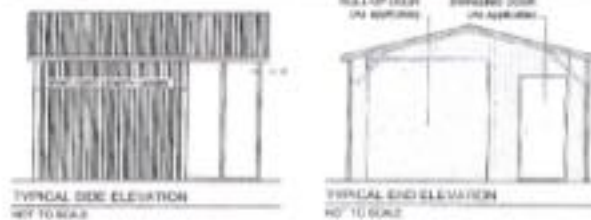
VERTICAL SIDE OPTION




BOX EAVE FRAME RAFTER ENCLOSED BLDG - VERTICAL SIDES



BOX EAVE FRAME RAFTER UTILITY BLDG - VERTICAL SIDES



CAROLINA CARPORTS, INC.
GENERIC PLANS FOR USE IN THE STATE OF FLORIDA

	BECHTEL ENGINEERING AND TESTING, INC.		DATE	02/20/21
	4401 Highway 100, Suite 100	Fort Lauderdale, FL 33309	PROJECT NO.	12547
DESIGNED BY: [Signature]		CHECKED BY: [Signature]	DATE	02/20/21
DRAWN BY: [Signature]		DATE	02/20/21	SHEET 6 OF 8



GARLICK ENVIRONMENTAL ASSOCIATES, INC.

SPECIALIZING IN: REGULATORY PERMITS • WETLANDS/UPLAND JURISDICTIONAL
DELINEATIONS • SUBMERGED LAND LEASES • ECOLOGICAL INVENTORY ASSESSMENTS •
CONSERVATION AND OTHER EASEMENTS • EXPERT WITNESS AND ENVIRONMENTAL
LITIGATION SERVICES • MITIGATION • CULTURAL RESOURCE ANALYSIS • CREATIVE
MARINA, DOCK, AND SUBDIVISION DESIGN

LETTER OF TRANSMITTAL

December 10, 2021

Mark Currenton
Franklin County Planning Department
34 Forbes Street, Suite 1
Apalachicola, FL 32320

RE: Casa Del Mar Phase II Sketch Plan

Mark,

Please find attached the sketch plan for the Casa Del Mar Phase II subdivision on St George Island. Parcel 29-09S-06W-7318-0010-0013 is 33.44 acres and is proposed to be split into 31 lots and 2 blocks per the existing P.U.D. amendment number 9.

If you have any questions or need any additional assistance, please do not hesitate to call us at (805) 653-8899 or email us derek@garlickenv.com or dan@garlickenv.com.

Sincerely,

Derek Roberts
Garlick Environmental Associates, Inc.

Attachments

RECEIVED
DEC 13 2021
BY:

APPLICATION FOR SUBDIVISION SKETCH PLAT APPROVAL

DATE: December 10, 2021

PROPOSED SUBDIVISION NAME:

Casa Del Mar Phase II

AGENT'S NAME:

Garlick Environmental Associates,

ADDRESS:

P.O. Box 130

Apalachicola FL, 32329

TELEPHONE NUMBER:

850-653-8899

OWNER'S NAME:

Mahr Development Corp

ADDRESS:

P.O. Box 139

Apalachicola FL, 32329

TELEPHONE NUMBER:

972-770-2062

WHAT IS THE RELATIONSHIP OF APPLICANT TO OWNER? Authorized Agent

LOCATION OF PROPOSED SUBDIVISION: St George Island, Parcel# 29-095-06W-7318-0010-0013

AREA OF PROPOSED SUBDIVISION: _____ ACRES: 33.44

CURRENT ZONING: P.U.D

CURRENT LAND USE CLASSIFICATION: Vacant

CURRENT USE OF THE SITE: Vacant

PLEASE NOTE: PLANNING AND ZONING COMMISSION MAKES RECOMMENDATIONS TO THE FRANKLIN COUNTY BOARD OF COMMISSIONERS REGARDING YOUR APPLICATION. ALL APPLICANTS ARE NOTIFIED THAT IF YOUR APPLICATION IS DENIED, IT SHALL NOT BE RESUBMITTED FOR ONE YEAR. ALSO, ANY PERSON WISHING TO APPEAL THE RECOMMENDATION OF THE PLANNING AND ZONING COMMISSION OR THE DECISION OF THE FRANKLIN COUNTY BOARD OF COUNTY COMMISSION ARE RESPONSIBLE TO ENSURE THAT A VERBATIM TRANSCRIPT OF THE PROCEEDINGS IS MADE.

I hereby certify, as a representative for Mahr Development Corp.,
that the information given is true and accurate to the best of our knowledge.



Agent's Signature



Owner's Signature

.....
TO BE FILLED IN BY PLANNING OFFICIAL

Major or Minor Subdivision: _____

Planning & Zoning Commission Recommendation: _____

Date: _____

Board of County Commissioners Action: _____

Date: _____

Comments: _____

**CHECKLIST OF INFORMATION REQUIRED FOR
SKETCH PLAT APPROVAL**

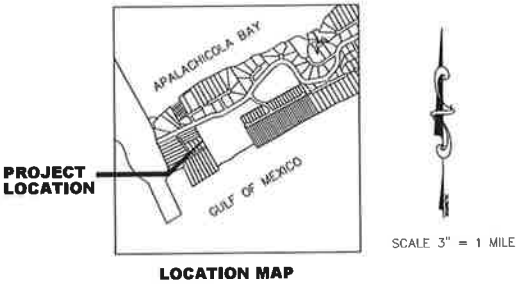
- ☒ NAME OF PROPOSED SUBDIVISION
- ☒ NORTH ARROW
- ☒ GRAPHIC & WRITTEN SCALE
- ☒ BOUNDARY SURVEY & LEGAL DESCRIPTION
- ☒ CURRENT ZONING
- ☒ NUMBER OF ACRES & NUMBER OF PROPOSED LOTS
- ☒ PRELIMINARY STREET & LOT LAYOUT
- ☒ VICINITY MAP SHOWING ALL LAND WITHIN 100 FEET OF PROPOSED SUBDIVISION

AND

- ☒ 1. AREA PROPOSED FOR DEVELOPMENT
 - ☒ 2. SURROUNDING STREETS
 - ☒ 3. PUBLIC FACILITIES
 - ☒ 4. ADJACENT WETLANDS
 - ☒ 5. ADJACENT SUBDIVISIONS, IF ANY
 - ☒ 6. SURROUNDING PROPERTY OWNERS
- ☒ A STATEMENT REGARDING AVAILABILITY AND SOURCE OF POTABLE WATER AND HOW SEWER AND STORMWATER WILL BE HANDLED.

SKETCH PLAN
CASA DEL MAR PHASE II
LOTS 1-31

FRANKLIN COUNTY FLORIDA
PARCEL: 29-09S-06W-7318-0010-0013
SECTION 29 T9S R6W



GENERAL NOTES
PARCEL ID: 29-09S-06W-7318-0010-0013
ZONING: D0 (NINTH AMENDMENT TO ST. GEORGE ISLAND
DEVELOPMENT ORDER)
TOTAL AREA: 33.44 ACRES
TOTAL LOTS PROPOSED 31
THIS AREA IS SERVICED BY ISLAND WATER SERVICES
ALL LOTS WILL BE AEROBIC SEPTIC

PREPARED BY:

GARLICK ENVIRONMENTAL ASSOCIATES, INC.
P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385
(850) 653-8899 FAX (850) 653-9856
garlick@garlickenv.com
LB No. 7415
LAND PLANNING : ENVIRONMENTAL PERMITTING



PREPARED FOR:

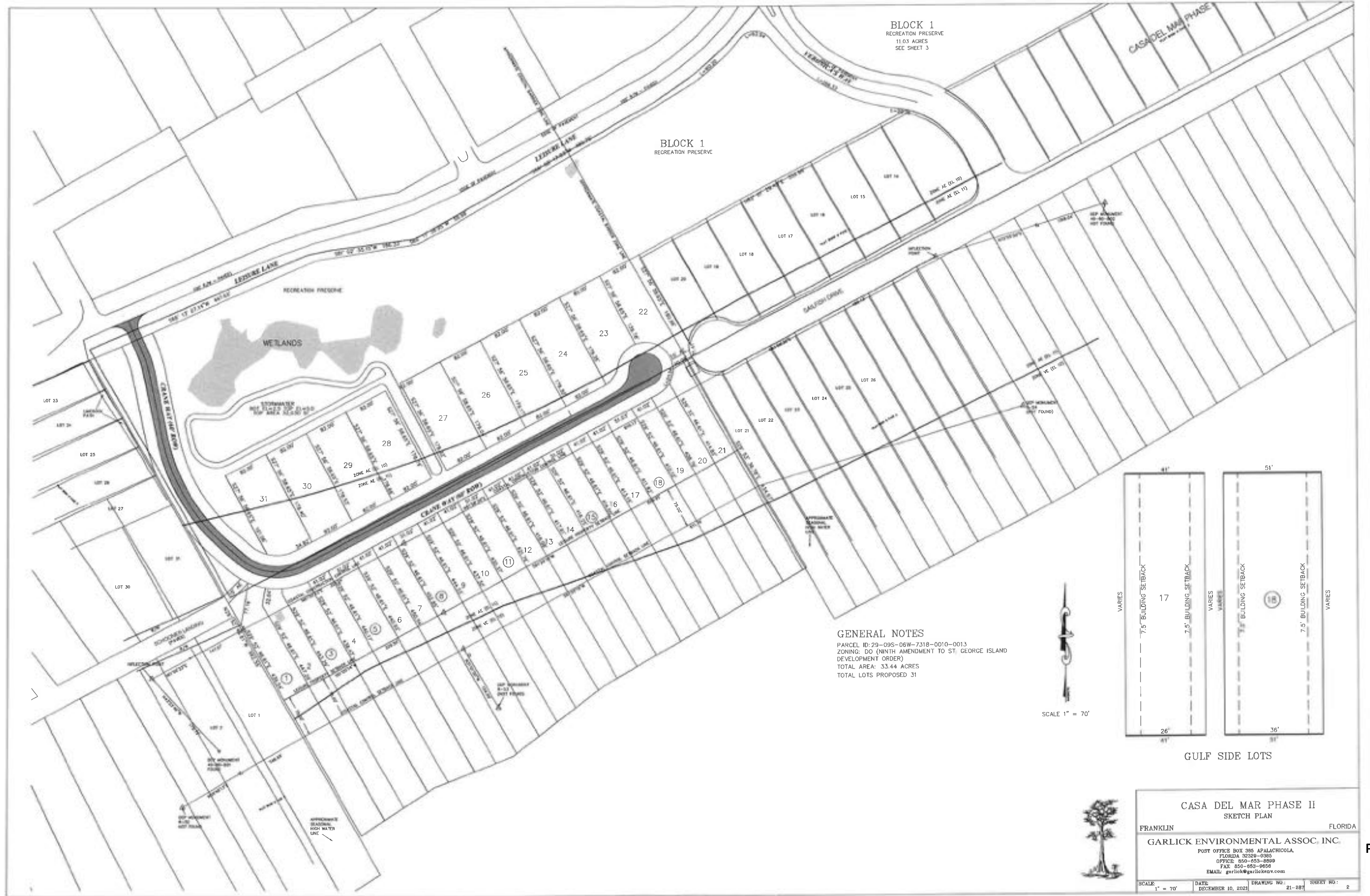
MAHR DEVELOPMENT CORP.
C/O RALPH RISH
P.O. BOX 130
APALACHICOLA, FL 32329

SHEET INDEX

- 1 COVER SHEET
- 2 SKETCH PLAN
- 3 SKETCH PLAN



CASA DEL MAR PHASE II SKETCH PLAN			
FRANKLIN		FLORIDA	
GARLICK ENVIRONMENTAL ASSOC. INC.			
POST OFFICE BOX 385 APALACHICOLA FLORIDA 32329-0385 OFFICE: 850-653-8899 FAX: 850-653-9856 EMAIL: garlick@garlickenv.com			
SCALE: 1" = 100'	DATE: DECEMBER 10, 2021	DRAWING NO.: 21-287	SHEET NO.: 1





GARLICK ENVIRONMENTAL ASSOCIATES, INC.

SPECIALIZING IN: REGULATORY PERMITS • WETLANDS/UPLAND JURISDICTIONAL
DELINEATIONS • SUBMERGED LAND LEASES • ECOLOGICAL INVENTORY ASSESSMENTS •
CONSERVATION AND OTHER EASEMENTS • EXPERT WITNESS AND ENVIRONMENTAL
LITIGATION SERVICES • MITIGATION • CULTURAL RESOURCE ANALYSIS • CREATIVE
MARINA, DOCK, AND SUBDIVISION DESIGN

LETTER OF TRANSMITTAL

December 7,, 2021

Mr. Allan Pierce
34 Forbes Street, Suite 1
Apalachicola, FL 32320

RE: Dock w/1 Boat Lift
Apalachicola / Franklin County

By this letter we are requesting you to place the referenced project on the next Franklin County Planning and Zoning meeting agenda to be held on January 11, 2022 and Board of County Commissioners meeting to be held on January 18, 2022 for the construction of a Single Family Residential Dock with (1) one dock slip for the referenced project as shown on the attached drawings.

The water body at the project site is the Apalachicola River, Class II, OFW not an Aquatic Preserve. The proposed project is located on Lot 46, River's Edge Phase II, in Section 27, Township 8 South Range 8 West, Apalachicola, and Franklin County FL.

The proposed location of the dock will be located on a sandy substrate spoil mound. The soils consist of coarse sand with virtually no organics. The proposed dock will be located 75 ft. from the Federal Channel, as noted on the attached drawings. The river's Ordinary High Water Line is indicated on the attached drawings, as well. No sewage pump out facilities, fish cleaning facilities or liveboards are proposed.

The type of wood that will be used for the decking of the proposed dock will consist of treated wood. The floating portion will be constructed of "TREX" material. The piles will be jetted. Provisions will include maintaining State Water Quality Standards for turbidity by installing turbidity curtains. Please find attached copies of the permits from FDEP, and the COE.

If you have any questions or need any additional assistance, please do not hesitate to call us at (805) 653-8899 or email us dan@garlickenv.com or maryann@garlickenv.com.

Sincerely,

Dan Garlick, PWS
Garlick Environmental Associates, Inc.

RECEIVED
DEC 08 2021
BY: *alm*



DOCK PERMIT APPLICATION

FRANKLIN COUNTY BUILDING DEPARTMENT

34 Forbes Street, Suite 1, Apalachicola, Florida 32320

Phone: 850-653-9783 Fax: 850-653-9799

http://www.franklincountyflorida.com/planning_building.aspx

PERMIT # _____

FEE: \$ _____

C.S.I. : \$ _____

TOTAL: \$ _____

NOTE TO APPLICANTS AND PERMIT HOLDERS:

VIOLATIONS OF THE TERMS AND CONDITIONS OF THIS PERMIT MAY WARRANT A STOP WORK ORDER OR REVOCATION OF THIS PERMIT. THIS PERMIT IS VALID FOR ONE YEAR FROM THE DATE OF ISSUANCE.

CONSTRUCTION MUST COMMENCE WITHIN SIX MONTHS OF THIS DATE:

ISSUANCE DATE: _____ EXPIRES: _____

EXISTING HOUSE: ☐ Yes ☐ No

DEP PERMIT: ☐ Yes ☐ No

ARMY COE PERMIT: ☐ Yes ☐ No

APPROVED: ☐ Yes ☐ No

APPLICATION MUST BE COMPLETE:

Property Owner/s: Dan Garlick

Contact Information: Home #: _____ Cell #: 850-899-5252

Mailing Address: P O Box 385 City/State/Zip: Apalachicola, FL 32320

EMAIL Address: dan@garlickenv.com

Contractor Name: _____ Business Name: _____

Contact Information: Office #: _____ Cell #: _____

State License #: _____ County Registration #: _____

Mailing Address: _____ City/State/Zip: _____

EMAIL Address: _____ @ _____

PROPERTY DESCRIPTION: 911 Address: 154 Bay Avenue

Lot/s: 46 Block: _____ Subdivision: River's Edge Unit: PH. 2

Parcel Identification #: 27-08S-08W-1001-0000-0460

JURISDICTION: ☒ Franklin County ☐ City of Apalachicola ☐ City of Carrabelle

☒ Apalachicola ☐ Eastpoint ☐ St. George Island ☐ Carrabelle ☐ Dog Island ☐ Lanark/ St. James ☐ St. Teresa ☐ Alligator Point

☒ **SINGLE FAMILY DOCK/PIER** ☐ **MULTI-FAMILY DOCK/PIER** ☐ **COMMERCIAL**

DESCRIPTION: Single Family Dock with one boat slip. The Access Walkway will be constructed 23' X 6' and a terminus 40'x10' for a total of 538 Sq Ft.

ZONING DISTRICT: _____ CONTRACT COST: _____

TOTAL SQUARE FOOT: _____ FOUNDATION TYPE: _____

ROOF MATERIAL: _____

APPROVED BY: ☐ Planning & Zoning Date: _____ ☐ County Commissioners Date: _____

☐ City of Carrabelle Date: _____ ☐ City of Apalachicola Date: _____

WATER BODY: _____

CRITICAL SHORELINE DISTRICT: YES OR NO CRITICAL HABITAT ZONE: YES OR NO

BUILDING OFFICIAL _____ Date _____

OWNER (Required) _____ Date _____

CONTRACTOR (Required) _____ Date _____

FRANKLIN COUNTY DOCK CHECKLIST & FEE SCHEDULE

CHECKLIST:

X Application

X DEP

X Army CORPS

X Site Plan

X Drawings (Approved by all entities)

☐ Approvals from local jurisdictions

FEE SCHEDULE:

DOCKS	SQUARE FOOT		X	\$5.00	=	\$
BOAT LIFTS	SQUARE FOOT		X	\$5.00	=	\$
TOTAL VALUATION:						\$
Critical Shoreline Fee:						\$ 100.00
PERMIT FEE:						\$



FLORIDA DEPARTMENT OF Environmental Protection

Northwest District
160 W. Government Street, Suite 308
Pensacola, FL 32502

Ron DeSantis
Governor

Jeanette Núñez
Lt. Governor

Noah Valenstein
Secretary

Wednesday, February 5, 2020

Dan Garlick
PO Box 385
Apalachicola, Florida 32329
dan@garlickenv.com

File No.: 0377913-002-EG/19, Franklin County

Dear Mr. Garlick:

On December 5, 2019, we received your notice of intent to use a General Permit (GP) pursuant to Rule 62-330.427, Florida Administrative Code (F.A.C.) to construct a single-family dock totaling less than 2,000 square feet within the Apalachicola River, Class III Outstanding Florida Waters, Prohibited Shellfish Harvesting Area. The project is located at River's Edge Phase II Lot 46, Apalachicola, Florida 32320, Parcel No. 27-08S-08W-1001-0000-0460, in Section 27, Township 08 South, Range 08 West of Franklin County; at approximately 29°45'46" North Latitude, 85°01'45" West Longitude.

Your intent to use a general permit has been reviewed by Department staff for three types of authorization: (1) regulatory authorization, (2) proprietary authorization (related to state-owned submerged lands), and (3) federal authorization. The authority for review and the outcomes of the reviews are listed below. Please read each section carefully.

Your project did not qualify for the federal authorization, therefore additional authorization must be obtained prior to commencement of the proposed activity. This letter does not relieve you from the responsibility of obtaining other federal, state, or local authorizations that may be required for the activity. Please refer to the specific section(s) dealing with that portion of the review below for advice on how to proceed.

If you change the project from what you submitted, the authorization(s) granted may no longer be valid at the time of commencement of the project. Please contact us prior to beginning your project if you wish to make any changes.

1. Regulatory Review – Approved

Based on the forms, drawings, and documents submitted with your notice, it appears that the project meets the requirements for the General Permit under Rule 62-330.427, F.A.C. Any activities performed under a general permit are subject to general conditions required in Rule 62-330.405, F.A.C. (attached) and the specific conditions of Rule 62-330.427, F.A.C. (attached). Any deviations from these conditions may subject the permittee to enforcement action and possible penalties.

Please be advised that the construction phase of the GP must be completed within five years from the date the notice to use the GP was received by the Department. If you wish to continue this GP beyond the expiration date, you must notify the Department at least 30 days before its expiration.

Authority for review – Part IV of Chapter 373, Florida Statutes (F.S.), Title 62, F.A.C., and in accordance with the operating agreements executed between the Department and the water management districts, as referenced in Chapter 62-113, F.A.C.

2. Proprietary Review – Granted

The Department acts as staff to the Board of Trustees of the Internal Improvement Trust Fund (Board of Trustees) and issues certain authorizations for the use of sovereign submerged lands. The Department has the authority to review activities on sovereign submerged lands under Chapters 253 and 258, F.S. and Chapters 18-20 and 18-21, F.A.C.

The activity appears to be located on sovereign submerged lands owned by the Board of Trustees. The activity is not exempt from the need to obtain the applicable proprietary authorization. As staff to the Board of Trustees, the Department has reviewed the activity described above and has determined that the activity qualifies for a Letter of Consent under Section 253.77, F.S. to construct and use the activity on the specified sovereign submerged lands, as long as the work performed is located within the boundaries as described herein and is consistent with the terms and conditions herein.

During the term of this Letter of Consent you shall maintain satisfactory evidence of sufficient upland interest as required by paragraph 18-21.004(3)(b), F.A.C. If such interest is terminated or the Board of Trustees determines that such interest did not exist on the date of issuance of this Letter of Consent, this Letter of Consent may be terminated by the Board of Trustees at its sole option. If the Board of Trustees terminates this Letter of Consent, you agree not to assert a claim or defense against the Board of Trustees arising out of this Letter of Consent.

Please be advised that any use of sovereign submerged lands without specific prior authorization from the Board of Trustees will be considered a violation of Chapter 253, F.S. and may subject the affected upland riparian property owners to legal action as well as potential fines for the prior unauthorized use of sovereign land.

Authority for review – Chapter 253, F.S., Chapter 18-21, F.A.C., and Section 62-330.075, F.A.C., as required.

3. Federal Review –SPGP Not Approved

Your proposed activity as outlined on your application and attached drawings **does not qualify** for Federal authorization pursuant to the State Programmatic General Permit and a **SEPARATE permit** or authorization **shall be required** from the Corps. You must apply separately to the Corps using their APPLICATION FOR DEPARTMENT OF THE ARMY PERMIT, ENG FORM 4345, or alternative as allowed by their regulations. More information on Corps permitting may be found online in the Jacksonville District Regulatory Division Source Book at: <https://www.saj.usace.army.mil/Missions/Regulatory/Source-Book>.

Authority for review - an agreement with the USACOE entitled "Coordination Agreement Between the U.S. Army Corps of Engineers (Jacksonville District) and the Florida Department of Environmental Protection (or Duly Authorized Designee), State Programmatic General Permit", Section 10 of the Rivers and Harbor Act of 1899, and Section 404 of the Clean Water Act.

Additional Information

Please retain this general permit. The activities may be inspected by authorized state personnel in the future to ensure compliance with appropriate statutes and administrative codes. If the activities are not in compliance, you may be subject to penalties under Chapter 373, F.S. and Chapter 18-14, F.A.C.

NOTICE OF RIGHTS

This action is final and effective on the date filed with the Clerk of the Department unless a petition for an administrative hearing is timely filed under Sections 120.569 and 120.57, F.S., before the deadline for filing a petition. On the filing of a timely and sufficient petition, this action will not be final and effective until a subsequent order of the Department. Because the administrative hearing process is designed to formulate final agency action, the subsequent order may modify or take a different position than this action.

Petition for Administrative Hearing

A person whose substantial interests are affected by the Department's action may petition for an administrative proceeding (hearing) under Sections 120.569 and 120.57, F.S. Pursuant to Rules 28-106.201 and 28-106.301, F.A.C., a petition for an administrative hearing must contain the following information:

- (a) The name and address of each agency affected and each agency's file or identification number, if known;
- (b) The name, address, and telephone number of the petitioner; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding; and an explanation of how the petitioner's substantial interests are or will be affected by the agency determination;
- (c) A statement of when and how the petitioner received notice of the agency decision;
- (d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate;
- (e) A concise statement of the ultimate facts alleged, including the specific facts that the petitioner contends warrant reversal or modification of the agency's proposed action;
- (f) A statement of the specific rules or statutes that the petitioner contends require reversal or modification of the agency's proposed action, including an explanation of how the alleged facts relate to the specific rules or statutes; and
- (g) A statement of the relief sought by the petitioner, stating precisely the action that the petitioner wishes the agency to take with respect to the agency's proposed action.

The petition must be filed (received by the Clerk) in the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, or via electronic correspondence at Agency_Clerk@FloridaDEP.gov. Also, a copy of the petition shall be mailed to the applicant at the address indicated above at the time of filing.

Time Period for Filing a Petition

In accordance with Rule 62-110.106(3), F.A.C., petitions for an administrative hearing by the applicant and persons entitled to written notice under Section 120.60(3), F.S., must be filed within 21 days of receipt of this written notice. Petitions filed by any persons other than the applicant, and other than those entitled to written notice under Section 120.60(3), F.S., must be filed within 21 days of publication of the notice or within 21 days of receipt of the written notice, whichever occurs first. You cannot justifiably rely on the finality of this decision unless notice of this decision and the right of substantially affected persons to challenge this decision has been duly published or otherwise provided to all persons substantially affected by the decision. While you are not required to publish notice of this action, you may elect to do so pursuant Rule 62-110.106(10)(a).

The failure to file a petition within the appropriate time period shall constitute a waiver of that person's right to request an administrative determination (hearing) under Sections 120.569 and 120.57, F.S., or to intervene in this proceeding and participate as a party to it. Any subsequent intervention (in a proceeding initiated by another party) will be only at the discretion of the presiding officer upon the filing of a motion in compliance with Rule 28-106.205, F.A.C. If you do not publish notice of this action, this waiver may not apply to persons who have not received a clear point of entry.

Extension of Time

Under Rule 62-110.106(4), F.A.C., a person whose substantial interests are affected by the Department's action may also request an extension of time to file a petition for an administrative hearing. The Department may, for good cause shown, grant the request for an extension of time. Requests for extension of time must be filed with the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, or via electronic correspondence at Agency_Clerk@FloridaDEP.gov, before the deadline for filing a petition for an administrative hearing. A timely request for extension of time shall toll the running of the time period for filing a petition until the request is acted upon.

Mediation

Mediation is not available in this proceeding.

FLAWAC Review

The applicant, or any party within the meaning of Section 373.114(1)(a) or 373.4275, F.S., may also seek appellate review of this order before the Land and Water Adjudicatory Commission under Section 373.114(1) or 373.4275, F.S. Requests for review before the Land and Water Adjudicatory Commission must be filed with the Secretary of the Commission and served on the Department within 20 days from the date when this order is filed with the Clerk of the Department.

Judicial Review

Once this decision becomes final, any party to this action has the right to seek judicial review pursuant to Section 120.68, F.S. by filing a Notice of Appeal pursuant to Florida Rules of Appellate Procedure 9.110 and 9.190 with the Clerk of the Department in the Office of General Counsel (Station #35, 3900 Commonwealth Boulevard, Tallahassee, Florida 32399-3000) and

by filing a copy of the Notice of Appeal accompanied by the applicable filing fees with the appropriate district court of appeal. The notice must be filed within 30 days from the date this action is filed with the Clerk of the Department.

If you have any questions regarding this matter, please contact Jacob Hullett at the letterhead address, at (850)595-0638, or at Jacob.Hullett@FloridaDEP.gov

EXECUTION AND CLERKING

Executed in Orlando, Florida.

STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION



Jacob Hullett
Environmental Specialist
Submerged Lands and Environmental Resources Program

Attachments:

1. Rule 62-330.427, F.A.C., 2 pages
2. General Conditions for All General Permits, Rule 62-330.405, F.A.C., 3 pages
3. Special Consent Conditions for Use of Sovereignty Submerged Lands, 1 page
4. General Consent Conditions for Use of Sovereignty Submerged Lands, 2 pages
5. Project Drawings, 6 pages

CERTIFICATE OF SERVICE

The undersigned duly designated deputy clerk hereby certifies that this document and all attachments were sent on the filing date below to the following listed persons:

Wade Dandridge, DEP, Wade.Dandridge@FloridaDEP.gov

Waylon Register, US Army Corps of Engineers, Waylon.T.Register@usace.army.mil

Franklin County, malley@cityofapalachicola.com, michael@franklincountyflorida.com

FILING AND ACKNOWLEDGMENT

FILED, on this date, pursuant to Section 120.52, F.S., with the designated Department Clerk, receipt of which is hereby acknowledged.



Clerk

February 5, 2020
Date

62-330.427 General Permit for Docks, Piers and Associated Structures.

(1) A general permit is granted to any person to construct, extend, or remove a dock or pier and associated structures as described below:

(a) A private, single-family pier or dock with up to two boat lifts that, together with all existing structures on the shoreline of the property, does not exceed a total area of 2,000 square feet over surface waters. Such a structure:

1. Shall not accommodate the mooring of more than two vessels, either in the water or on a boat lift. Solely for purposes of this general permit, up to two personal watercraft as defined in section 327.02(33), F.S., may be moored in lieu of either or both allowable vessels of another type.

These limits shall not apply to the mooring, storage or other use of the dock or pier by:

a. Non-motor-powered vessels less than 16 feet in length that are stored on or under the dock or pier, or within an authorized mooring area; or

b. Personal watercraft, dinghies or similar small vessels that are stowed out of the water, upon a larger parent vessel that is moored at the dock in compliance with this general permit.

2. Shall be located such that all areas used for vessel mooring and navigational access already provide a minimum depth of two feet below the mean low water level for tidal waters, or two feet below the expected average low water depth for non-tidal waters as determined based on best available information for the water body at the project location; and

3. May include a roof over the vessel mooring areas, boat lifts, and terminal platform, or any portions thereof, subject to the applicable provisions of chapters 253 and 258, F.S., and the rules adopted thereunder. Portions of such roofs that overhang beyond the edge of decked portions of the pier or dock shall be included in the calculation of the total square footage of over-water structure allowed under paragraph (1)(a), above.

(b) A public fishing pier that does not exceed a total area of 2,000 square feet provided the structure is designed and built to discourage boat mooring by elevating the fishing pier to a minimum height of five feet above mean high water or ordinary high water, surrounding the pier with handrails, and installing and maintaining signs that state "No Boat Mooring Allowed."

(2) This general permit shall be subject to the following specific conditions:

(a) Construction or extension of the boat lift, boat mooring locations, or terminal platform, shall not occur over submerged grassbeds, coral communities or wetlands. However, the access walkway portion of the pier may traverse these resources provided it is elevated a minimum of five feet above mean high water or ordinary high water, contains handrails that are maintained in such a manner as to prevent use of the access walkways for boat mooring or access, and does not exceed a width of six feet, or a width of four feet in Aquatic Preserves;

(b) There shall be no structures enclosed by walls, screens, or doors on any side;

(c) The dock or pier will not facilitate vessel rentals, charters, or serve any other commercial purpose;

(d) There shall be no fish cleaning facilities, boat repair facilities or equipment, or fueling facilities on the structures authorized by this general permit. In addition, no overboard discharges of trash, human or animal waste, or fuel shall occur from any structures authorized by this general permit;

(e) This general permit shall not authorize the construction or extension of more than one dock or pier per parcel of land or individual lot. For the purposes of this general permit, multi-family living complexes shall be treated as one parcel of property regardless of the legal division of ownership or control of the associated property; and

(f) Notwithstanding any other provisions of this general permit, the design, construction and operation of the dock or pier and associated vessels shall not conflict with any manatee protection plan approved and adopted under section 379.2431(2)(t), F.S.

Rulemaking Authority 373.026(7), 373.043, 373.118(1), 373.406(5), 373.4131, 373.414(9), 373.418, 403.805(1) FS. Law Implemented 373.118(1), 373.406(5), 373.413, 373.4131, 373.414(9), 373.416, 373.418, 373.426, 403.814(1) FS. History—New 10-3-95, Formerly 62-341.427, Amended 10-1-13, 6-1-18.

62-330.405 General Conditions for All General Permits.

The following general permit conditions are binding upon the permittee and are enforceable under chapter 373, F.S. These conditions do not apply to the general permit for stormwater management systems under section 403.814(12), F.S.

- (1) The general permit is valid only for the specific activity indicated. Any deviation from the specified activity and the conditions for undertaking that activity shall constitute a violation of the permit and may subject the permittee to enforcement action and revocation of the permit under chapter 373, F.S.
- (2) The general permit does not eliminate the necessity to obtain any required federal, state, local and special district authorizations prior to the start of any construction, alteration, operation, maintenance, removal or abandonment authorized by this permit; and it does not authorize any violation of any other applicable federal, state, local, or special district laws (including, but not limited to, those governing the "take" of listed species).
- (3) The general permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the general permit.
- (4) The general permit does not relieve the permittee from liability and penalties when the permitted activity causes harm or injury to: human health or welfare; animal, plant or aquatic life; or property. It does not allow the permittee to cause pollution that violates state water quality standards.
- (5) Section 253.77, F.S., provides that a person may not commence any excavation, construction, or other activity involving the use of state-owned or other lands of the state, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required consent, lease, easement, or other form of authorization authorizing the proposed use. Therefore, the permittee is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on state-owned lands.
- (6) The authorization to conduct activities under a general permit may be modified, suspended or revoked in accordance with chapter 120, F.S., and section 373.429, F.S.
- (7) The general permit is not transferable to a new third party. To be used by a different permittee, a new notice to use a general permit must be submitted in accordance with rule 62-330.402, F.A.C. Activities constructed in accordance with the terms and conditions of a general permit are automatically authorized to be operated and maintained by the permittee and subsequent owners in accordance with subsection 62-330.340(1), F.A.C. Any person holding the general permit, persons working under the general permit, and owners of land while work is conducted under the general permit shall remain liable for any corrective actions that may be required as a result of any permit violations prior to sale, conveyance, or other transfer of ownership or control of the permitted project, activity, or the real property at which the permitted project or activity is located.
- (8) Upon reasonable notice to the permittee, Agency staff with proper identification shall have permission to enter, inspect, sample and test the permitted system to ensure conformity with the plans and specifications approved by the general permit.
- (9) The permittee shall maintain any permitted project or activity in accordance with the plans submitted to the Agency and authorized in the general permit.
- (10) A permittee's right to conduct a specific activity under the general permit is authorized for a duration of five years.

(11) Activities shall be conducted in a manner that does not cause or contribute to violations of state water quality standards. Performance-based erosion and sediment control best management practices shall be implemented and maintained immediately prior to, during, and after construction as needed to stabilize all disturbed areas, including other measures specified in the permit to prevent adverse impacts to the water resources and adjacent lands. Erosion and sediment control measures shall be installed and maintained in accordance with the *State of Florida Erosion and Sediment Control Designer and Reviewer Manual* (Florida Department of Environmental Protection and Florida Department of Transportation, June 2007), available at <https://www.flrules.org/Gateway/reference.asp?No=Ref-04227>, and the *Florida Stormwater Erosion and Sedimentation Control Inspector's Manual* (Florida Department of Environmental Protection, Nonpoint Source Management Section, Tallahassee, Florida, July 2008), available at http://publicfiles.dep.state.fl.us/DEAR/Stormwater_Training_Docs/erosion-inspectors-manual.pdf.

(12) Unless otherwise specified in the general permit, temporary vehicular access within wetlands during construction shall be performed using vehicles generating minimum ground pressure to minimize rutting and other environmental impacts. Within forested wetlands, the permittee shall choose alignments that minimize the destruction of mature wetland trees to the greatest extent practicable. When needed to prevent rutting or soil compaction, access vehicles shall be operated on wooden, composite, metal, or other non-earthen construction mats. In all cases, access in wetlands shall comply with the following:

- (a) Access within forested wetlands shall not include the cutting or clearing of any native wetland tree having a diameter four inches or greater at breast height;
- (b) The maximum width of the construction access area shall be limited to 15 feet;
- (c) All mats shall be removed as soon as practicable after equipment has completed passage through, or work has been completed, at any location along the alignment of the project, but in no case longer than seven days after equipment has completed work or passage through that location; and
- (d) Areas disturbed for access shall be restored to natural grades immediately after the maintenance or repair is completed.

(13) Barges or other work vessels used to conduct in-water activities shall be operated in a manner that prevents unauthorized dredging, water quality violations, and damage to submerged aquatic communities.

(14) The construction, alteration, or use of the authorized project shall not adversely impede navigation or create a navigational hazard in the water body.

(15) Except where specifically authorized in the general permit, activities must not:

- (a) Impound or obstruct existing water flow, cause adverse impacts to existing surface water storage and conveyance capabilities, or otherwise cause adverse water quantity or flooding impacts to receiving water and adjacent lands; or
- (b) Cause an adverse impact to the maintenance of surface or ground water levels or surface water flows established pursuant to section 373.042, F.S., or a Works of the District established pursuant to section 373.086, F.S.

(16) If prehistoric or historic artifacts, such as pottery or ceramics, projectile points, stone tools, dugout canoes, metal implements, historic building materials, or any other physical remains that could be associated with Native American, early European, or American settlement are encountered at any time within the project site area, the permitted project shall cease all activities involving subsurface disturbance in the vicinity of the discovery. The permittee or other designee

shall contact the Florida Department of State, Division of Historical Resources, Compliance Review Section (DHR), at (850)245-6333, as well as the appropriate permitting agency office. Project activities shall not resume without verbal or written authorization from the Division of Historical Resources. If unmarked human remains are encountered, all work shall stop immediately and the proper authorities notified in accordance with section 872.05, F.S.

(17) The activity must be capable, based on generally accepted engineering and scientific principles, of being performed and of functioning as proposed, and must comply with any applicable District special basin and geographic area criteria.

(18) The permittee shall comply with the following when performing work within waters accessible to federally- or state-listed aquatic species, such as manatees, marine turtles, smalltooth sawfish, and Gulf sturgeon:

(a) All vessels associated with the project shall operate at "Idle Speed/No Wake" at all times while in the work area and where the draft of the vessels provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.

(b) All deployed siltation or turbidity barriers shall be properly secured, monitored, and maintained to prevent entanglement or entrapment of listed species.

(c) All in-water activities, including vessel operation, must be shut down if a listed species comes within 50 feet of the work area. Activities shall not resume until the animal(s) has moved beyond a 50-foot radius of the in-water work, or until 30 minutes elapses since the last sighting within 50 feet. Animals must not be herded away or harassed into leaving. All onsite project personnel are responsible for observing water-related activities for the presence of listed species.

(d) Any listed species that is killed or injured by work associated with activities performed shall be reported immediately to the Florida Fish and Wildlife Conservation Commission (FWC) Hotline at 1(888)404-3922 and ImperiledSpecies@myFWC.com.

(e) Whenever there is a spill or frac-out of drilling fluid into waters accessible to the above species during a directional drilling operation, the FWC shall be notified at ImperiledSpecies@myfwc.com with details of the event within 24 hours following detection of the spill or frac-out.

(19) The permittee shall hold and save the Agency harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any activity authorized by the general permit.

(20) The permittee shall immediately notify the Agency in writing of any submitted information that is discovered to be inaccurate.

Rulemaking Authority 373.026(7), 373.043, 373.118(1), 373.406(5), 373.4131, 373.414(9), 373.4145, 373.418, 403.805(1) FS. Law Implemented 373.044, 373.118(1), 373.129, 373.136, 373.406(5), 373.413, 373.4131, 373.414(9), 373.4145, 373.416, 373.422, 373.423, 373.429, 403.814(1) FS. History—New 10-3-95, Amended 10-1-07, Formerly 62-341.215, Amended 10-1-13, 6-1-18.

Special Consent Conditions

1. The applicant agrees to indemnify, defend and hold harmless the Board of Trustees and the State of Florida from all claims, actions, lawsuits and demands in any form arising out of the authorization to use sovereignty submerged lands or the applicant's use and construction of structures on sovereignty submerged lands. This duty to indemnify and hold harmless will include any and all liabilities that are associated with the structure or activity including special assessments or taxes that are now or in the future assessed against the structure or activity during the period of the authorization.
2. Failure by the Board of Trustees to enforce any violation of a provision of the authorization or waiver by the Board of Trustees of any provision of the authorization will not invalidate the provision not enforced or waived, nor will the failure to enforce or a waiver prevent the Board of Trustees from enforcing the unenforced or waived provision in the event of a violation of that provision.
3. Applicant binds itself and its successors and assigns to abide by the provisions and conditions set forth in the authorization. If the applicant or its successors or assigns fails or refuses to comply with the provisions and conditions of the authorization, the authorization may be terminated by the Board of Trustees after written notice to the applicant or its successors or assigns. Upon receipt of such notice, the applicant or its successors or assigns will have thirty (30) days in which to correct the violations. Failure to correct the violations within this period will result in the automatic revocation of this authorization.
4. All costs incurred by the Board of Trustees in enforcing the terms and conditions of the authorization will be paid by the applicant. Any notice required by law will be made by certified mail at the address shown on page one of the authorization. The applicant will notify the Board of Trustees in writing of any change of address at least ten days before the change becomes effective.
5. This authorization does not allow any activity prohibited in a conservation easement or restrictive covenant that prohibits the activity.

General Conditions for Authorizations for Activities on State-Owned Submerged Lands:

All authorizations granted by rule or in writing under rule 18-21.005, F.A.C., except those for geophysical testing, shall be subject to the general conditions as set forth in paragraphs (a) through (j) below. The general conditions shall be part of all authorizations under this chapter, shall be binding upon the grantee, and shall be enforceable under chapter 253 or 258, part II, F.S.

- (a) Authorizations are valid only for the specified activity or use. Any unauthorized deviation from the specified activity or use and the conditions for undertaking that activity or use shall constitute a violation. Violation of the authorization shall result in suspension or revocation of the grantee's use of the sovereignty submerged land unless cured to the satisfaction of the Board.
- (b) Authorizations convey no title to sovereignty submerged land or water column, nor do they constitute recognition or acknowledgment of any other person's title to such land or water.
- (c) Authorizations may be modified, suspended or revoked in accordance with their terms or the remedies provided in sections 253.04 and 258.46, F.S., or chapter 18-14, F.A.C.
- (d) Structures or activities shall be constructed and used to avoid or minimize adverse impacts to sovereignty submerged lands and resources.
- (e) Construction, use, or operation of the structure or activity shall not adversely affect any species which is endangered, threatened or of special concern, as listed in rules 68A-27.003, 68A-27.004 and 68A-27.005, F.A.C.
- (f) Structures or activities shall not unreasonably interfere with riparian rights. When a court of competent jurisdiction determines that riparian rights have been unlawfully affected, the structure or activity shall be modified in accordance with the court's decision.
- (g) Structures or activities shall not create a navigational hazard.
- (h) Activities shall not interfere with the public easement for traditional uses of the sandy beaches provided in section 161.141, F.S.
- (i) Structures shall be maintained in a functional condition and shall be repaired or removed if they become dilapidated to such an extent that they are no longer functional. This shall not be construed to prohibit the repair or replacement subject to the provisions of rule 18-21.005, F.A.C., within one year, of a structure damaged in a discrete event such as a storm, flood, accident, or fire.
- (j) Structures or activities shall be constructed, operated, and maintained solely for water dependent purposes, or for non-water dependent activities authorized under paragraph 18-21.004(1)(g), F.A.C., or any other applicable law.

Rulemaking Authority 253.03(7), 253.73 FS. Law Implemented 253.001, 253.03, 253.141, 253.0347, 253.665, 253.71, 253.68, 253.72, 253.74, 253.75, 253.77 FS. History—New 3-27-82,

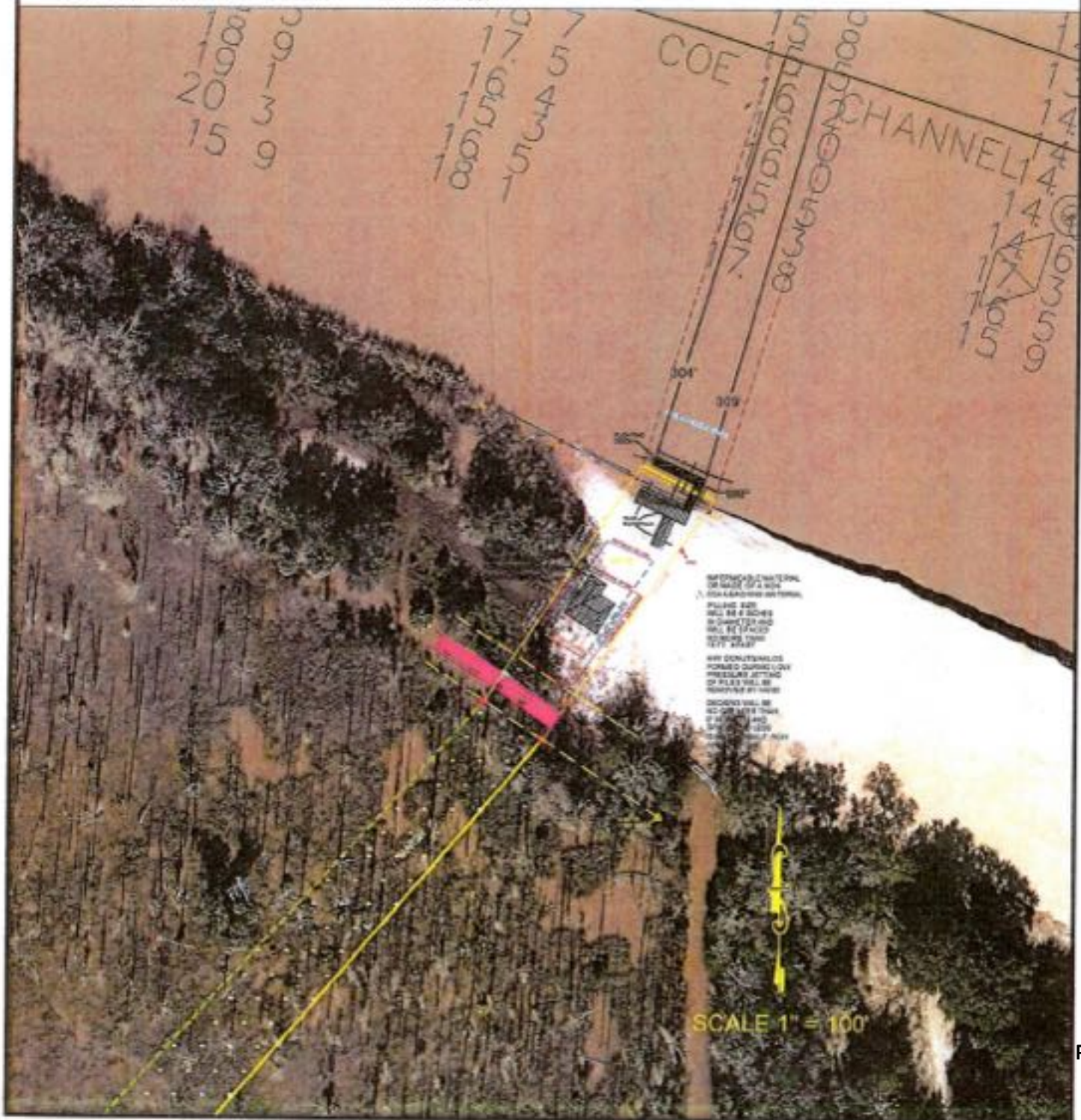
Amended 8-1-83, Formerly 16Q-21.04, 16Q-21.004, Amended 12-25-86, 1-25-87, 3-15-90, 8-18-92, 10-15-98, 12-11-01, 10-29-03, 12-16-03, 3-8-04, 10-27-05, 4-14-08, 9-1-09, 3-21-19.

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.



APPLICANT/CLIENT: Dan Garlick
WATERBODY/CLASS: Apalachicola River / OFW
PURPOSE: Environmental Permitting
PROJECT LOCATION / USGS: Apalachicola / Franklin County
LATITUDE: 29° 45' 46.63"
LONGITUDE: 85° 1' 44.93"
SECTION: 27 TOWNSHIP: 8 South RANG: 8 West

JOB: 19-075
DEP:
COE:
OTHER:
DATE: February 5, 2020
SHEET: 2/4

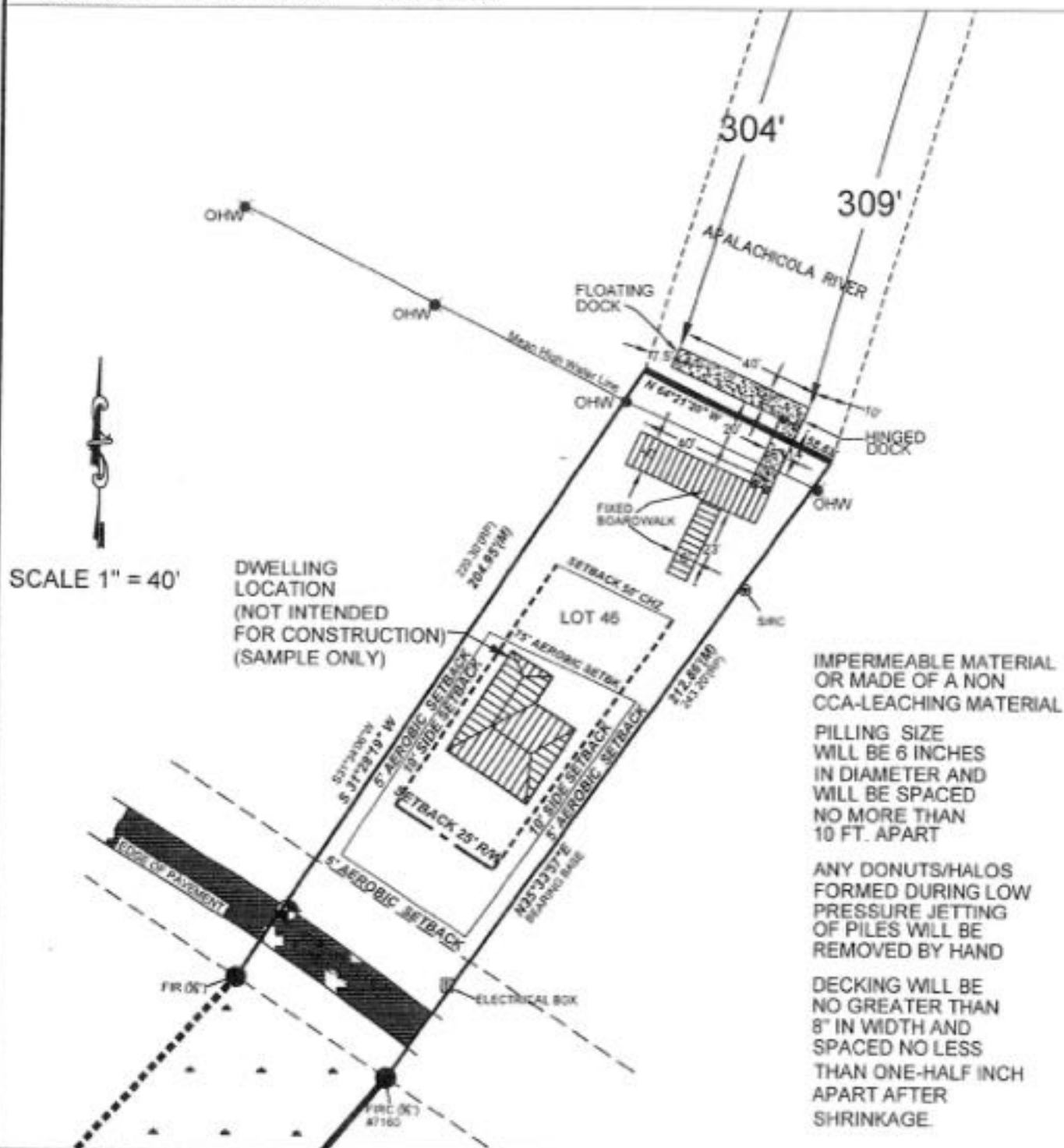


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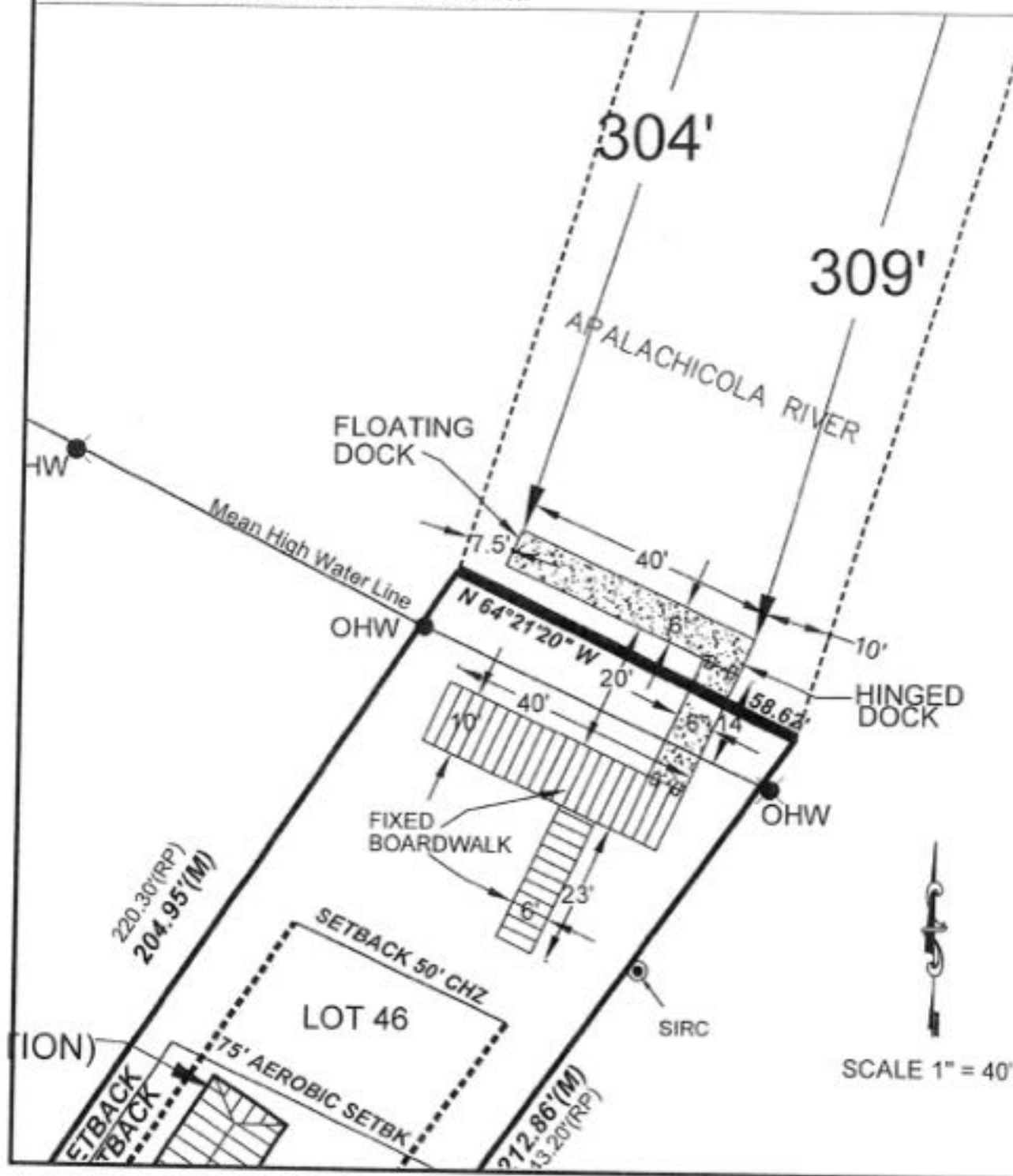
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JOB: 19-075
DEP:
COE:
OTHER:
DATE: February 5, 2020
SHEET: 3A/4



PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

(850) 653-8899

FAX (850) 653-9656 garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: Dan Garlick

WATERBODY/CLASS: Apalachicola River / Class II / OFW

PURPOSE: Environmental Permitting

PROJECT LOCATION / USGS: Apalachicola

LATITUDE: 29° 45' 46.63"

LONGITUDE: 85° 1' 44.93"

SECTION: 27 TOWNSHIP: 8 South

RANGE: 8 West

JOB: 19-075

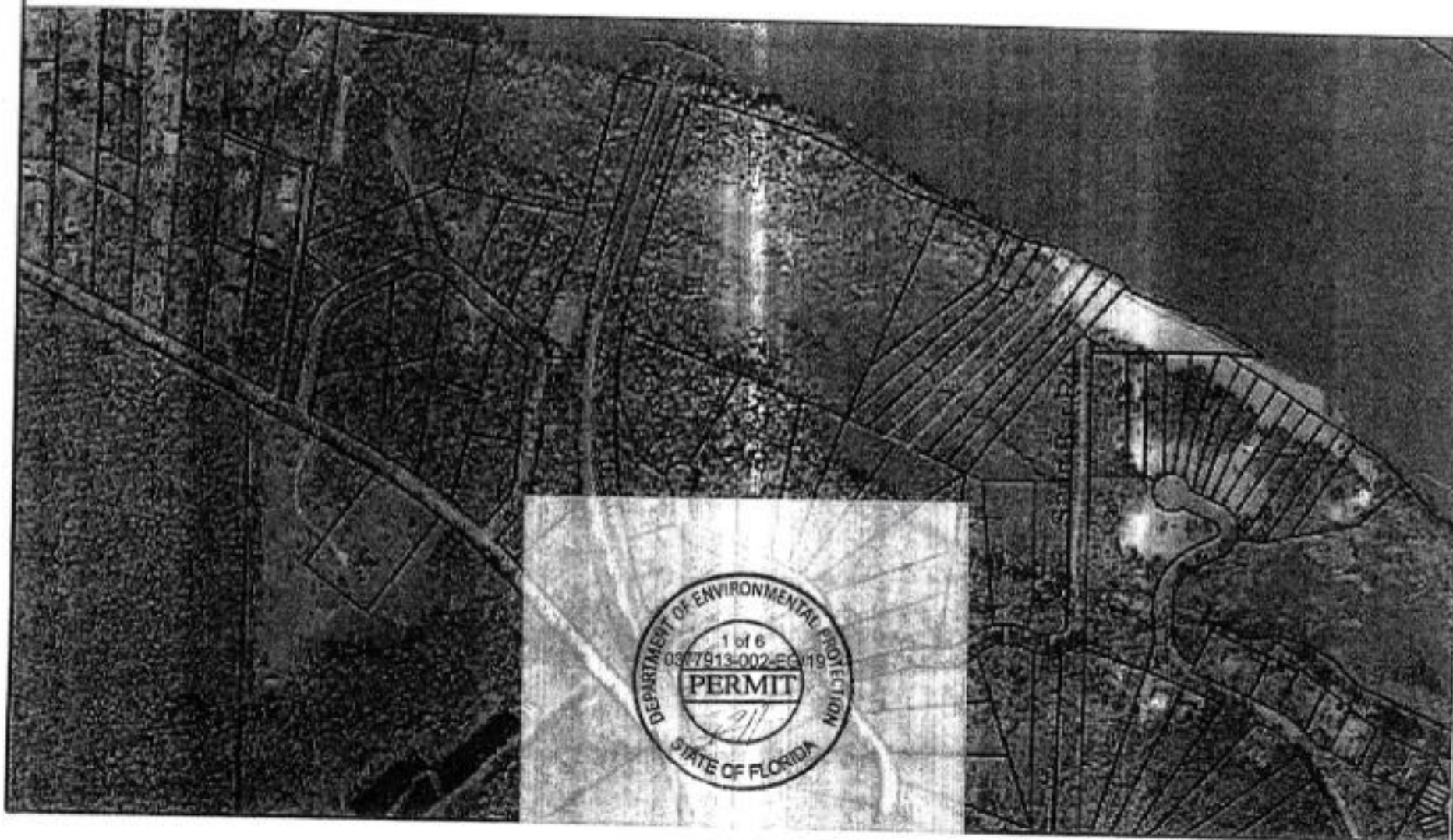
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COE:

OTHER:

DATE: December 5, 2019

SHEET: 1/4

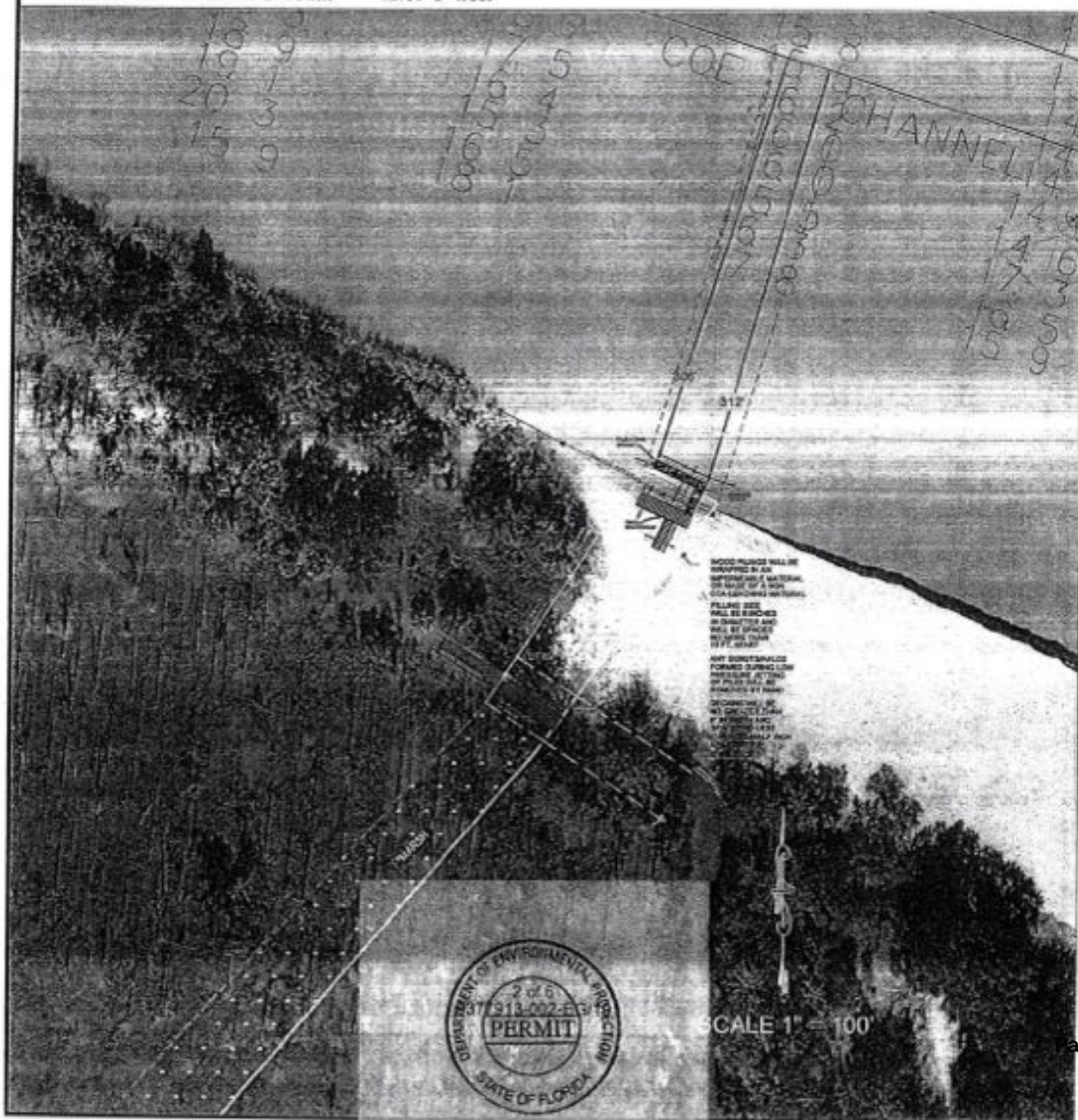


PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.



APPLICANT/CLIENT: Dan Garlick
WATERBODY/CLASS: Apalachicola River / OFW
PURPOSE: Environmental Permitting
PROJECT LOCATION / USGS: Apalachicola / Franklin County
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LONGITUDE: 85° 1' 44.93"
SECTION: 27 TOWNSHIP: 8 South RING: 8 West

JOB: 19-075
DEP:
COE:
OTHER:
DATE: December 5, 2019
SHEET: 2/4

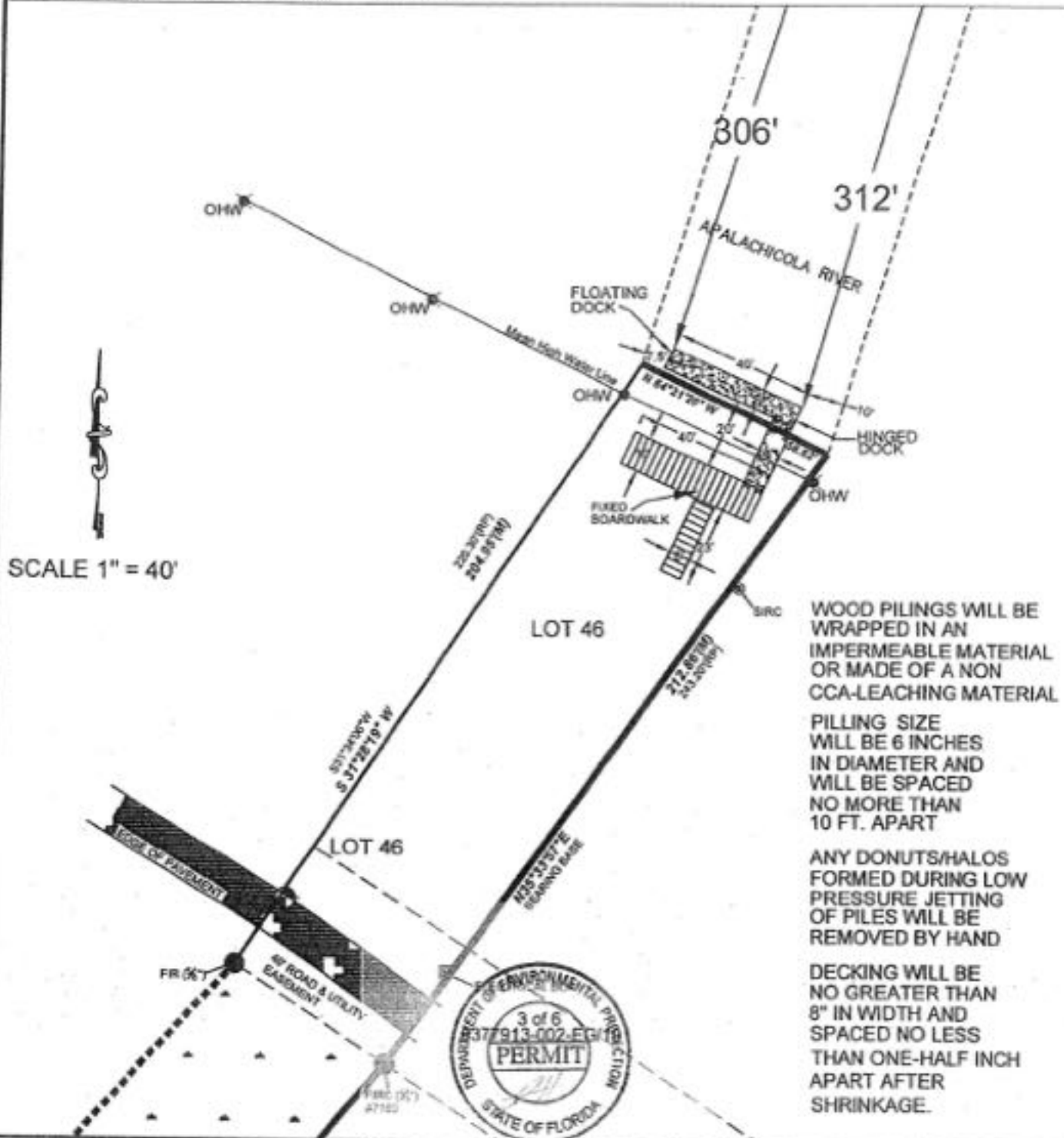


PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.



APPLICANT/CLIENT: Dan Garlick
WATERBODY/CLASS: Apalachicola River / OFW
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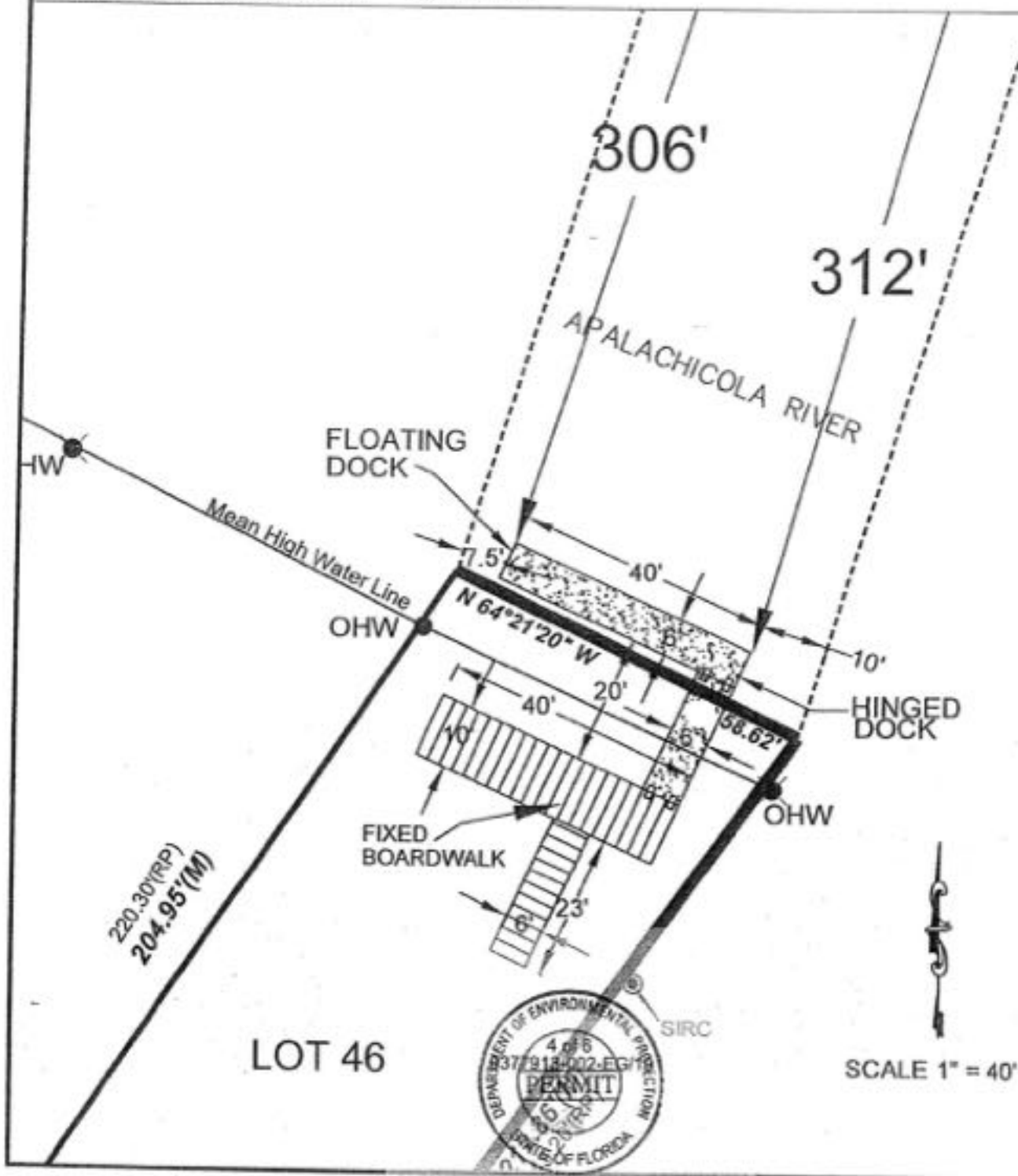


PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.



APPLICANT/CLIENT: Dan Garlick
WATERBODY/CLASS: Apalachicola River / OFW
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JOB: 19-075
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DATE: December 5, 2019
SHEET: 3A/4



PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385
 LB No. 7413

(850) 653-8899 FAX (850) 653-9656 garlick@garlickenv.com

APPLICANT/CLIENT: Dan Garlick

WATERBODY/CLASS: Apalachicola River / OFW

PURPOSE: Environmental Permitting

PROJECT LOCATION / USGS: Apalachicola / Franklin County

LATITUDE: 29° 45' 46.63"

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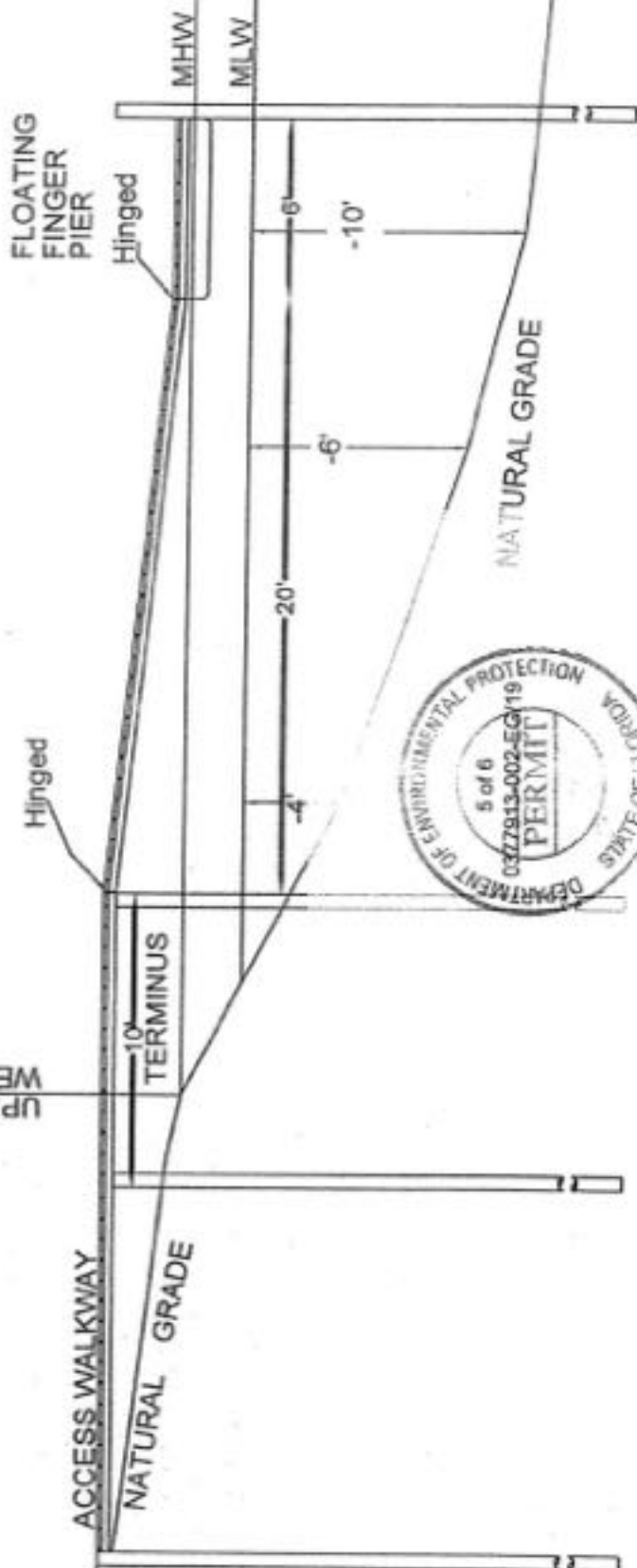
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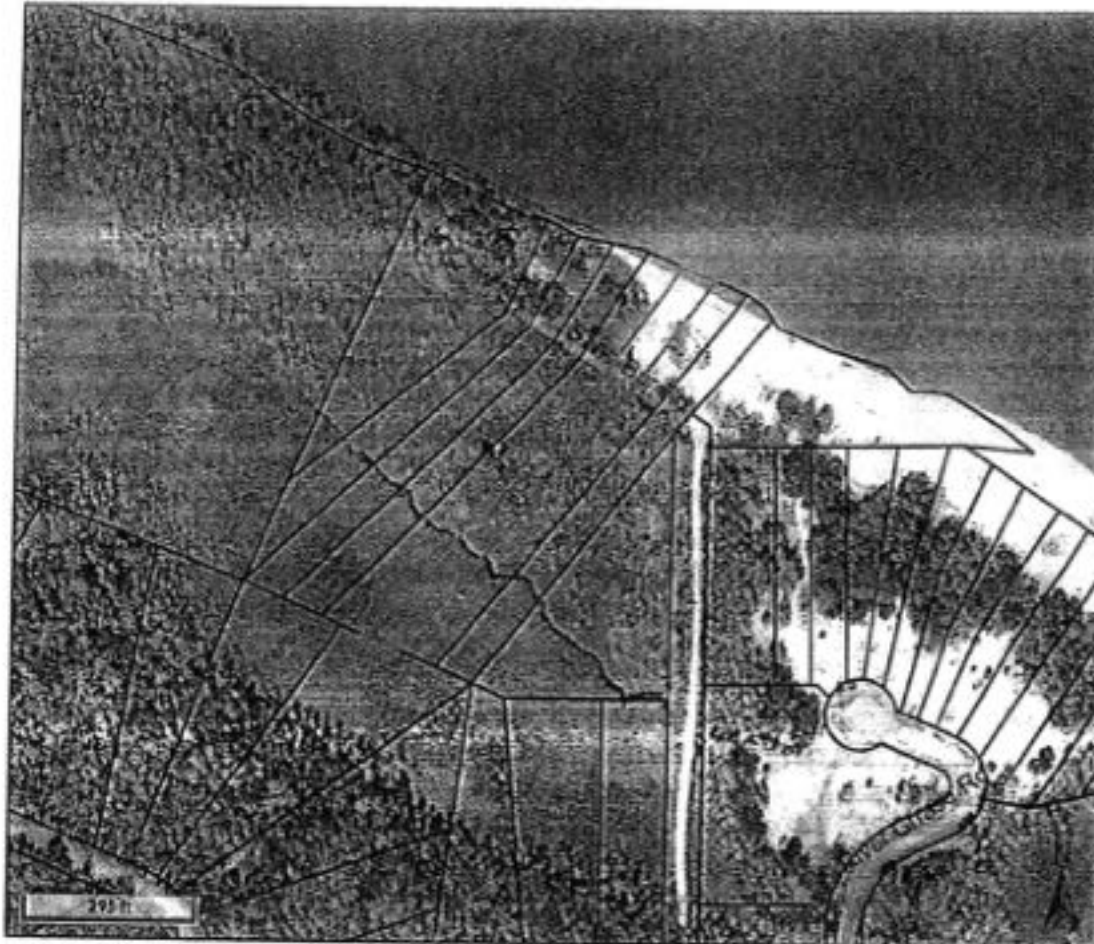
DATE: December 5, 2019

SHEET: 4/4

CROSS SECTION
 PROPOSED DOCK
 NOT TO SCALE

UPLANDS





Overview



Legend

- ☐ Parcels
- ☐ Roads
- ☐ City Labels

Parcel ID	27-085-08W-1001-0000-0460	Alternate ID	08W08527100100000460	Owner Address	GARLICK DANIEL W.
Sec/Twp/Rng	--	Class	VACANT		PO BOX 385
Property Address		Acreage	1		APALACHICOLA, FL 32320
District	1				
Brief Tax Description	RIVER'S EDGE PHASE III LOT 46 (Note: Not to be used on legal documents)				

Date created: 6/27/2019
Last Data Uploaded: 6/27/2019 7:11:11 AM

Developed by Schneider
GEOSPATIAL





DEPARTMENT OF THE ARMY
CORPS OF ENGINEERS JACKSONVILLE DISTRICT,
415 RICHARD JACKSON BOULEVARD, SUITE 411
PANAMA CITY BEACH, FLORIDA 32407

June 3, 2020

Regulatory Division
North Permit Branch
Panama City Permits Section
SAJ-2020-02090(GP-LSL)

Mr. Dan Garlick
Post Office Box 385
Apalachicola, Florida 32329

Dear Mr. Garlick:

The U.S. Army Corps of Engineers (Corps) assigned your application for a Department of the Army permit, which the Corps received on April 29, 2020, the file number SAJ-2020-02090. A review of the information and drawings provided indicates that the proposed work will result in the construction of a 324 square foot (over mean high water line) single family dock with open mooring area. Specifically, the dock will include a 6' by 14' hinged access dock and 6' by 40' floating dock. Turbidity curtains will be utilized. The activities subject to this permit are authorized pursuant to authorities under Section 10 of the Rivers and Harbors Act of 1899 (33 U.S.C. § 403). The project is located at Lot 46, River's Edge Phase II in Section 27, Township 8 south, Range 8 west, Apalachicola, Franklin County, Florida.

Your project, as depicted on the enclosed drawings, is authorized by Regional General Permit (GP) SAJ-20. This authorization is valid until March 27, 2023. Please access the Corps' Jacksonville District Regulatory Division Internet page to view the special and general conditions for SAJ-20, which apply specifically to this authorization. The Internet URL address is:

<http://www.saj.usace.army.mil/Missions/Regulatory.aspx>

Please be aware this Internet address is case sensitive; and, you will need to enter it exactly as it appears above. Once there you will need to click on "Source Book"; and, then click on "General Permits." Then you will need to click on the specific SAJ permit noted above. You must comply with all of the special and general conditions of the permit; and, any project-specific conditions noted below, or you may be subject to enforcement action. The following project-specific conditions are included with this authorization:

1. Reporting Address: The Permittee shall submit all reports, notifications, documentation and correspondence required by the general and special conditions of this permit to either (not both) of the following addresses:

a. For electronic mail (preferred): SAJ-RD-Enforcement@usace.army.mil (not to exceed 15 MB).

b. For standard mail: U.S. Army Corps of Engineers, Regulatory Division, Enforcement Section, P.O. Box 4970, Jacksonville, FL 32232-0019.

The Permittee shall reference this permit number, SAJ-2020-02090 (GP - LSL), on all submittals.

2. Commencement Notification: Within 10 days from the date of initiating the work authorized by this permit the Permittee shall submit a completed "Commencement Notification" Form (Attachment A).

3. Self-Certification: Within 60 days of completion of the work authorized by this permit, the Permittee shall complete the attached "Self-Certification Statement of Compliance" form (Attachment B) and submit it to the Corps. In the event that the completed work deviates in any manner from the authorized work, the Permittee shall describe the deviations between the work authorized by this permit and the work as constructed on the "Self-Certification Statement of Compliance" form. The description of any deviations on the "Self-Certification Statement of Compliance" form does not constitute approval of any deviations by the Corps.

4. Agency Changes/Approvals: Should any other agency require and/or approve changes to the work authorized or obligated by this permit, the Permittee is advised a modification to this permit instrument is required prior to initiation of those changes. It is the Permittee's responsibility to request a modification of this permit from the Panama City Permits Section. The Corps reserves the right to fully evaluate, amend, and approve or deny the request for modification of this permit.

5. Assurance of Navigation and Maintenance: The Permittee understands and agrees that, if future operations by the United States require the removal, relocation, or other alteration, of the structures or work herein authorized, or if in the opinion of the Secretary of the Army or his authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the Permittee will be required, upon due notice from the Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to

the United States. No claim shall be made against the United States on account of any such removal or alteration.

6. Posting of Permit: The Permittee shall have available and maintain for review a copy of this permit and approved plans at the construction site.

7. Cultural Resources/Historic Properties:

a. No structure or work shall adversely affect impact or disturb properties listed in the *National Register of Historic Places (NRHP)* or those eligible for inclusion in the NRHP.

b. If during the ground disturbing activities and construction work within the permit area, there are archaeological/cultural materials encountered which were not the subject of a previous cultural resources assessment survey (and which shall include, but not be limited to: pottery, modified shell, flora, fauna, human remains, ceramics, stone tools or metal implements, dugout canoes, evidence of structures or any other physical remains that could be associated with Native American cultures or early colonial or American settlement), the Permittee shall immediately stop all work and ground-disturbing activities within a 100-meter diameter of the discovery and notify the Corps within the same business day (8 hours). The Corps shall then notify the Florida State Historic Preservation Officer (SHPO) and the appropriate Tribal Historic Preservation Officer(s) (THPO(s)) to assess the significance of the discovery and devise appropriate actions.

c. Additional cultural resources assessments may be required of the permit area in the case of unanticipated discoveries as referenced in accordance with the above Special Condition ; and if deemed necessary by the SHPO, THPO(s), or Corps, in accordance with 36 CFR 800 or 33 CFR 325, Appendix C (5). Based, on the circumstances of the discovery, equity to all parties, and considerations of the public interest, the Corps may modify, suspend or revoke the permit in accordance with 33 CFR Part 325.7. Such activity shall not resume on non-federal lands without written authorization from the SHPO for finds under his or her jurisdiction, and from the Corps.

d. In the unlikely event that unmarked human remains are identified on non-federal lands, they will be treated in accordance with Section 872.05 Florida Statutes. All work and ground disturbing activities within a 100-meter diameter of the unmarked human remains shall immediately cease and the Permittee shall immediately notify the medical examiner, Corps, and State Archeologist within the same business day (8-hours). The Corps shall then notify the appropriate SHPO and THPO(s). Based, on the circumstances of the discovery, equity to all parties, and considerations of the public interest, the Corps may modify, suspend or revoke the permit in accordance with 33

CFR Part 325.7. Such activity shall not resume without written authorization from the State Archeologist and from the Corps.

8. Turbidity Barriers: Prior to the initiation of any of the work authorized by this permit, the Permittee shall install floating turbidity barriers with weighted skirts that extend to the bottom around all work areas that are in, or adjacent to, surface waters. The turbidity barriers shall remain in place and be maintained until the authorized work has been completed and all suspended and erodible materials have been stabilized. Turbidity barriers shall be removed upon stabilization of the work area.

9. Manatee Conditions: The Permittee shall comply with the "Standard Manatee Conditions for In-Water Work – 2011" (Attachment C).

This authorization does not obviate the necessity to obtain any other Federal, State, or local permits, which may be required. Prior to the initiation of any construction, projects qualifying for this NWP/RGP permit must qualify for an exemption under section 403.813(1), F.S. or 373.406, F.S., or otherwise be authorized by the applicable permit required under Part IV of Chapter 373, F.S., by the Department of Environmental Protection, a water management district under section 373.069, F.S., or a local government with delegated authority under section 373.441, F.S., and receive Water Quality Certification (WQC) and applicable Coastal Zone Consistency Concurrence (CZCC) or waiver thereto, as well as any authorizations required for the use of state-owned submerged lands under Chapter 253, F.S., and, as applicable, Chapter 258, F.S. You should check State-permitting requirements with the Florida Department of Environmental Protection or the appropriate water management district.

This authorization does not include conditions that would prevent the 'take' of a state-listed fish or wildlife species. These species are protected under sec. 379.411, Florida Statutes, and listed under Rule 68A-27, Florida Administrative Code. With regard to fish and wildlife species designated as species of special concern or threatened by the State of Florida, you are responsible for coordinating directly with the Florida Fish and Wildlife Conservation Commission (FWC). You can visit the FWC license and permitting webpage (<http://www.myfwc.com/license/wildlife/>) for more information, including a list of those fish and wildlife species designated as species of special concern or threatened. The Florida Natural Areas Inventory (<http://www.fnai.org/>) also maintains updated lists, by county, of documented occurrences of those species.

This authorization does not give absolute Federal authority to perform the work as specified on your application. The proposed work may be subject to local building restrictions mandated by the National Flood Insurance Program. You should contact your local office that issues building permits to determine if your site is located in a

flood-prone area, and if you must comply with the local building requirements mandated by the National Flood Insurance Program.

If you are unable to access the internet or require a hardcopy of any of the conditions, limitations, or expiration date for the above RGP(s), please contact Mrs. Lisa S. Lowvorn by telephone at 850-285-9533.

Thank you for your cooperation with our permit program. The Corps' Jacksonville District Regulatory Division is committed to improving service to our customers. We strive to perform our duty in a friendly and timely manner while working to preserve our environment. We invite you to complete our automated Customer Service Survey at http://corpsmapu.usace.army.mil/cm_apex/f?p=regulatory_survey. Please be aware this Internet address is case sensitive; and, you will need to enter it exactly as it appears above. Your input is appreciated – favorable or otherwise.

Sincerely,



Lisa S. Lowvorn
Project Manager

Digitally signed by
LOWVORN.LISA.SMITH.126
0961310
Date: 2020.06.03 14:19:48
-05'00'

Enclosures

GENERAL CONDITIONS

33 CFR PART 320-330

1. The time limit for completing the work authorized ends on the dates identified in the letter.
2. You must maintain the activity authorized by this permit in good condition and in conformance with the terms and conditions of this permit. You are not relieved of this requirement if you abandon the permitted activity, although you may make a good faith transfer to a third party in compliance with General Condition 4 below. Should you wish to cease to maintain the authorized activity or should you desire to abandon it without a good faith transfer, you must obtain a modification of this permit from this office, which may require restoration of the area.
3. If you discover any previously unknown historic or archeological remains while accomplishing the activity authorized by this permit, you must immediately notify this office of what you have found. We will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.
4. If you sell the property associated with this permit you must obtain the signature of the new owner in the space provided and forward a copy of the permit to this office to validate the transfer of this authorization.
5. If a conditioned water quality certification has been issued for your project, you must comply with the conditions specified in the certification as special conditions to this permit. For your convenience, a copy of the certification is attached if it contains such conditions.
6. You must allow a representative from this office to inspect the authorized activity at any time deemed necessary to ensure that it is being or has been accomplished in accordance with the terms and conditions of your permit.

DEPARTMENT OF THE ARMY PERMIT TRANSFER REQUEST

PERMIT NUMBER: SAJ-2020-02090(GP-LSL)

When the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new owner(s) of the property. Although the construction period for works authorized by Department of the Army permits is finite, the permit itself, with its limitations, does not expire.

To validate the transfer of this permit and the associated responsibilities associated with compliance with its terms and conditions, have the transferee sign and date below and mail to the U.S. Army Corps of Engineers, Enforcement Section, P.O. Box 4970, Jacksonville, FL 32232-0019 or by electronic mail at saj-rd-enforcement@usace.army.mil.

(TRANSFeree-SIGNATURE)

(SUBDIVISION)

(DATE)

(LOT)

(BLOCK)

(NAME-PRINTED)

(STREET ADDRESS)

(MAILING ADDRESS)

(CITY, STATE, ZIP CODE)

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

(850) 653-8899 FAX (850) 653-9656 garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: Dan Garlick

JOB: 19-075

WATERBODY/CLASS: Apalachicola River / Class II / OFW

DEP:

PURPOSE: Environmental Permitting

COE:

PROJECT LOCATION / USGS: Apalachicola

OTHER:

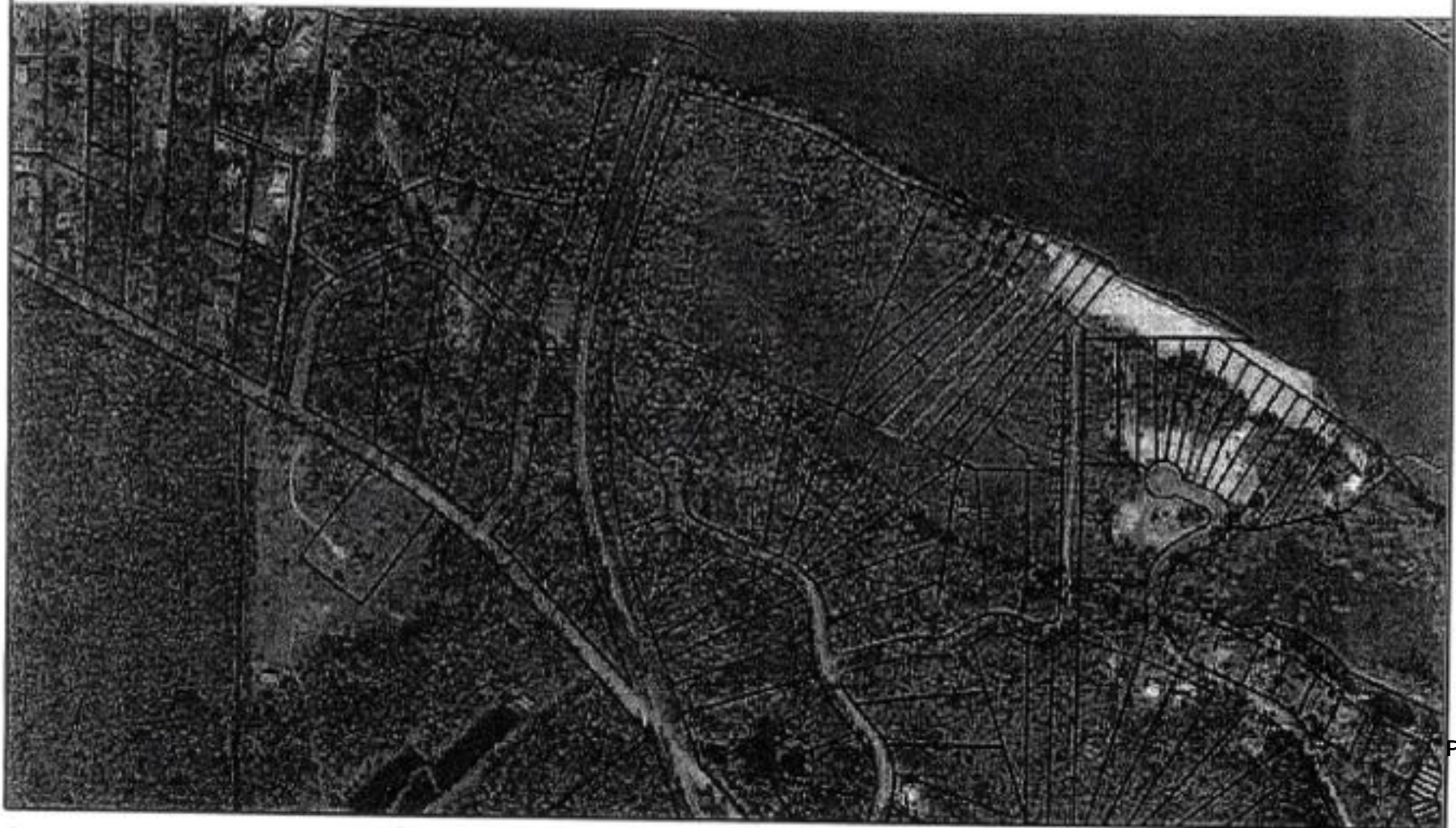
LATITUDE: 29° 45' 46.63"

DATE: February 5, 2020

LONGITUDE: 85° 1' 44.93"

SHEET: 1/4

SECTION: 27 TOWNSHIP: 8 South RANGE: 8 West

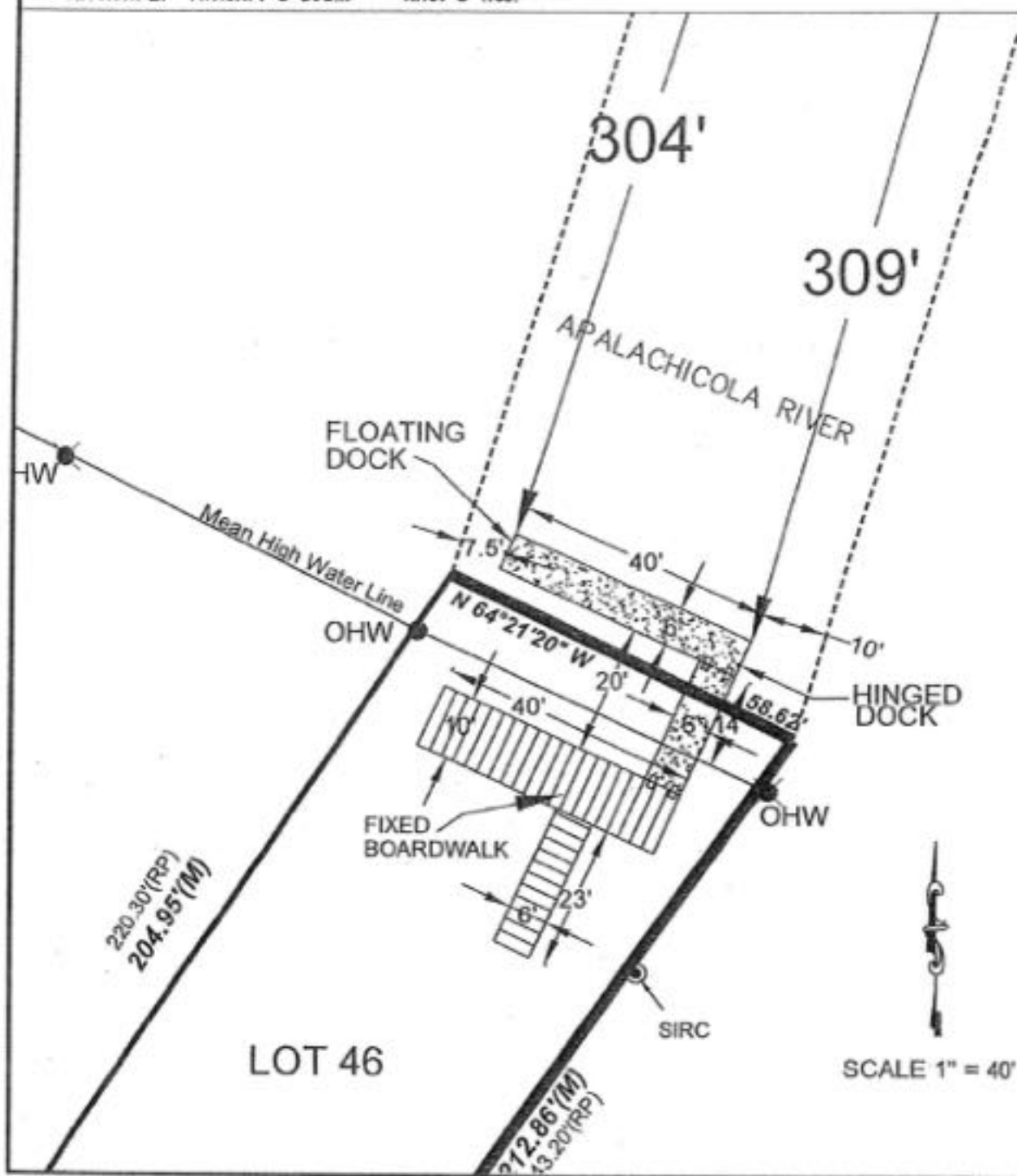


PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.



APPLICANT/CLIENT: Don Garlick
WATERBODY/CLASS: Apalachicola River / OFW
PURPOSE: Environmental Permitting
PROJECT LOCATION / USGS: Apalachicola / Franklin County
LATITUDE: 29° 45' 46.63"
LONGITUDE: 85° 1' 44.93"
SECTION: 27 TOWNSHIP: 8 South RANG: 8 West

JOB: 19-075
DEP:
COE:
OTHER:
DATE: February 5, 2020
SHEET: 3A/4



PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

(850) 653-8899 FAX (850) 653-9656 garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: Dan Garlick

JOB: 19-075

WATERBODY/CLASS: Apalachicola River / OFW

DEP:

PURPOSE: Environmental Permitting

COE:

PROJECT LOCATION / USGS: Apalachicola / Franklin County

OTHER:

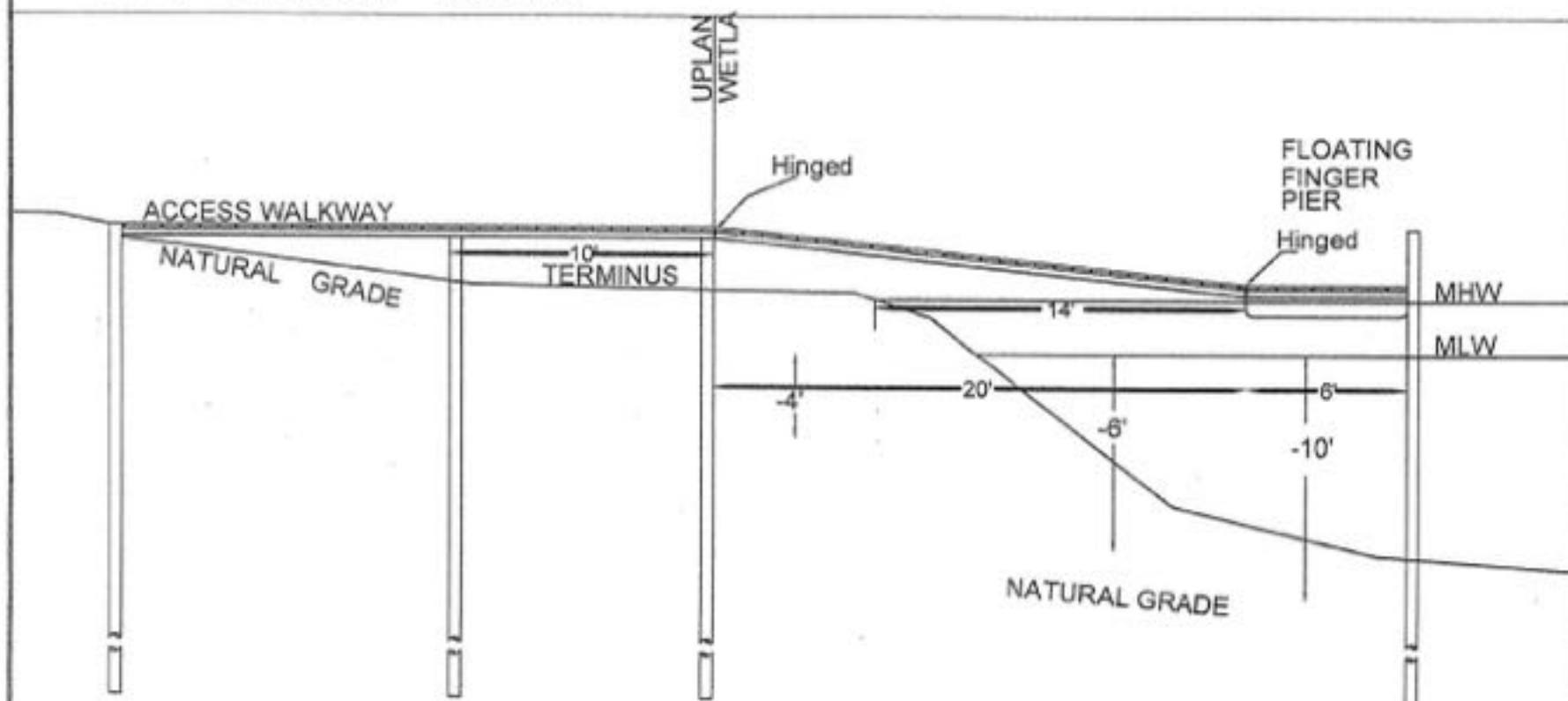
LATITUDE: 29° 45' 46.63"

DATE: February 5, 2019

LONGITUDE: 85° 1' 44.93"

SHEET: 4/4

SECTION: 27 TWSHP: 8 South RNG: 8 West



COMMENCEMENT NOTIFICATION

Within ten (10) days of initiating the authorized work, submit this form via electronic mail to saj-rd-enforcement@usace.army.mil (preferred, not to exceed 15 MB) or by standard mail to U.S. Army Corps of Engineers, Enforcement Section, P.O. Box 4970, Jacksonville, FL 32232-0019.

1. Department of the Army Permit Number: SAJ-2020-02090(GP-LSL)

2. Permittee Information:

Name: _____

Email: _____

Address: _____

Phone: _____

3. Construction Start Date: _____

4. Contact to Schedule Inspection:

Name: _____

Email: _____

Phone: _____

Signature of Permittee

Printed Name of Permittee

Date

SELF-CERTIFICATION STATEMENT OF COMPLIANCE

Within sixty (60) days of completion of the authorized work, submit this form via electronic mail to saj-rd-enforcement@usace.army.mil (preferred, not to exceed 15MB) or by standard mail to U.S. Army Corps of Engineers, Enforcement Section, P.O. Box 4970, Jacksonville, FL 32232-0019.

1. Department of the Army Permit Number: SAJ-2020-02090(GP-LSL)
2. Permittee Information: Name: _____
Email: _____
Address: _____

Phone: _____
3. Date Authorized Work Started: _____ Completed: _____
4. Contact to Schedule Inspection: Name: _____
Email: _____
Phone: _____
5. Description of Authorized Work (e.g. bank stabilization, fill placed within wetlands, docks, dredging, etc.): _____

6. Acreage or Square Feet of Impacts to Waters of the United States: _____
7. Describe Mitigation completed (if applicable): _____

8. Describe any Deviations from Permit (attach drawing(s) depicting the deviations): _____

I certify that all work and mitigation (if applicable) was done in accordance with the limitations and conditions as described in the permit. Any deviations as described above are depicted on the attached drawing(s).

Signature of Permittee

Printed Name of Permittee

ATTACHMENT B (1 PAGE)
Dated 9/18/2019

Date

STANDARD MANATEE CONDITIONS FOR IN-WATER WORK
2011

The permittee shall comply with the following conditions intended to protect manatees from direct project effects:

- a. All personnel associated with the project shall be instructed about the presence of manatees and manatee speed zones, and the need to avoid collisions with and injury to manatees. The permittee shall advise all construction personnel that there are civil and criminal penalties for harming, harassing, or killing manatees which are protected under the Marine Mammal Protection Act, the Endangered Species Act, and the Florida Manatee Sanctuary Act.
- b. All vessels associated with the construction project shall operate at "Idle Speed/No Wake" at all times while in the immediate area and while in water where the draft of the vessel provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.
- c. Siltation or turbidity barriers shall be made of material in which manatees cannot become entangled, shall be properly secured, and shall be regularly monitored to avoid manatee entanglement or entrapment. Barriers must not impede manatee movement.
- d. All on-site project personnel are responsible for observing water-related activities for the presence of manatee(s). All in-water operations, including vessels, must be shutdown if a manatee(s) comes within 50 feet of the operation. Activities will not resume until the manatee(s) has moved beyond the 50-foot radius of the project operation, or until 30 minutes elapses if the manatee(s) has not reappeared within 50 feet of the operation. Animals must not be herded away or harassed into leaving.
- e. Any collision with or injury to a manatee shall be reported immediately to the Florida Fish and Wildlife Conservation Commission (FWC) Hotline at 1-888-404-3922. Collision and/or injury should also be reported to the U.S. Fish and Wildlife Service in Jacksonville (1-904-731-3336) for north Florida or in Vero Beach (1-772-562-3909) for south Florida, and emailed to FWC at ImperiledSpecies@myFWC.com.
- f. Temporary signs concerning manatees shall be posted prior to and during all in-water project activities. All signs are to be removed by the permittee upon completion of the project. Temporary signs that have already been approved for this use by the FWC must be used. One sign which reads *Caution: Boaters* must be posted. A second sign measuring at least 8½" by 11" explaining the requirements for "Idle Speed/No Wake" and the shut down of in-water operations must be posted in a location prominently visible to all personnel engaged in water-related activities. These signs can be viewed at http://www.myfwc.com/WILDLIFEHABITATS/manatee_sign_vendors.htm. Questions concerning these signs can be forwarded to the email address listed above.



GARLICK ENVIRONMENTAL ASSOCIATES, INC.

SPECIALIZING IN: REGULATORY PERMITS • WETLANDS/UPLAND JURISDICTIONAL
DELINEATIONS • SUBMERGED LAND LEASES • ECOLOGICAL INVENTORY ASSESSMENTS •
CONSERVATION AND OTHER EASEMENTS • EXPERT WITNESS AND ENVIRONMENTAL
LITIGATION SERVICES • MITIGATION • CULTURAL RESOURCE ANALYSIS • CREATIVE
MARINA, DOCK, AND SUBDIVISION DESIGN

LETTER OF TRANSMITTAL

December 7, 2021

Mr. Allan Pierce
34 Forbes Street, Suite 1
Apalachicola, FL 32320

DEC 08 2021
BY: *[Signature]*

RE: Dock w/1 Boat Lift
Apalachicola / Franklin County
GEA File No. 20-065 / Clay Palm

By this letter we are requesting you to place the referenced project on the next Franklin County Planning and Zoning meet to be held on January 11, 2022 and Board of County Commissioners meeting to be held on January 18, 2022 for the construction of a Single Family Residential Dock with (1) one dock slip for the referenced project as shown on the attached drawings.

The water body at the project site is the Apalachicola River, Class II, OFW not an Aquatic Preserve. The site is accessible by 11 Big Oaks Drive, Apalachicola, further described as a portion of Section 21-08S-08W

The proposed project consists of construction of a Single Family Dock, see attached drawings for further information regarding the proposed dock.

Please find attached a copy of the permit from FDEP, which also includes the COE within the FDEP permit.

If you have any questions or need any additional assistance, please do not hesitate to call us at (850) 653-8899 or email us dan@garlickenv.com or maryann@garlickenv.com.

Sincerely,

Dan Garlick, PWS
Garlick Environmental Associates, Inc.

Attachments



APPLICATION FOR DEVELOPMENT

FRANKLIN COUNTY BUILDING DEPARTMENT

34 Forbes Street, Suite 1, Apalachicola, Florida 32320

Phone: 850-653-9783 Fax: 850-653-9799

http://www.franklincountyflorida.com/planning_building.aspx

PERMIT # _____

FEE: \$ _____

RADON: \$ _____

TOTAL: \$ _____

NOTE TO APPLICANTS AND PERMIT HOLDERS:

VIOLATIONS OF THE TERMS AND CONDITIONS OF THIS PERMIT MAY WARRANT A STOP WORK ORDER OR REVOCATION OF THIS PERMIT. THIS PERMIT IS VALID FOR ONE YEAR FROM THE DATE OF ISSUANCE. CONSTRUCTION MUST COMMENCE WITHIN SIX MONTHS OF THIS DATE:

ISSUANCE DATE: _____ EXPIRES: _____

- ☐ New Constuction
☐ Commercial
☐ Residential
☐ Substantial Improvement
☐ Less than Substantial

APPLICATION MUST BE COMPLETE: (Incomplete applications will be review once it has)

Property Owner/s: Clay Palm

Contact Information: Home #: _____ Cell #: 334-685-3229

Mailing Address: 126 Sweet Bay Trace _____ City/State/Zip: Dothan AL 36303

EMAIL Address: cpalm@utilityalabama.com _____

Contractor Name: _____ Business Name: _____

Contact Information: Office #: _____ Cell #: _____

State License #: _____ County Registration #: _____

Mailing Address: _____ City/State/Zip: _____

EMAIL Address: _____

PROPERTY DESCRIPTION: 911 Address: 2700 Bluff Road

Lot/s: _____ Block: _____ Subdivision: Big Oaks S/D _____ Unit: _____

Parcel Identification #: 21-08S-08W-0000-0040-0000

JURISDICTION: ☒ Franklin County

☐ Apalachicola ☐ Eastpoint ☐ St. George Island ☐ Carrabelle ☐ Dog Island ☐ Lanark/ St. James ☐ St. Teresa ☐ Alligator Point

DESCRIPTION OF DEVELOPMENT: Construction of an access walkway & dock with one boat lift.

ZONING DISTRICT: _____ **CONTRACT COST:** _____

HEATED SQ FT: _____ **UN-HEATED SQ FT:** _____ **TOTAL SQUARE FOOT:** _____

ROOF MATERIAL: _____ **FOUNDATION TYPE:** _____ **LOT DEMENSION:** _____

NO. OF STORIES: _____ **STORAGE SQ FOOTAGE:** _____ **GAS UTILITIES:** _____

(Requires Building or General Contractor if over 3 habitable stories including mezzanines.) (VE Zones: 299 Sq. Foot or Less and MUST be certified breakaway construction by Engineer)

SEPTIC TANK PERMIT # _____ **OR SEWER DISTRICT:** _____

WATER DISTRICT: _____ **OR PRIVATE WELL:** _____

WATER BODY: _____

CRITICAL SHORELINE DISTRICT YES OR NO ☐ **CRITICAL HABITAT ZONE** YES OR NO ☐

FLOOD ZONE INFORMATION: EFFECTIVE DATE: February 5, 2014

PANEL NUMBER: _____ **FIRM ZONE/S:** _____

ELEVATION REQUIREMENTS AS PER SURVEY: _____

☐ Requires V-Zone Certification ☐ Requires Elevation Certificates ☐ Requires Smart Vents ☐ Requires Breakaway Walls

BUILDING OFFICIAL _____ **DATE** _____ **FLOODPLAIN ADMIN.** _____ **DATE** _____ **OWNER/CONTRACTOR** _____ **DATE** _____

SUPPLEMENTAL APPLICATION

- 1- Proposed Alteration of the Land:
- Determination of COE & DEP Wetlands: _____
 - Amount and location of Fill to be placed on property: _____
 - Percentage of land to be placed in impervious surface: _____
- 2- Critical Shoreline Inspection:
- Construction to be a minimum of 50 feet from the mean high water or wetland: _____
(Must be indicated on submitted site plan)
 - Construction within 50 feet of the mean high water or wetlands: _____
 - Attach the Board of Adjustment Approval: Date of Approval: _____
(Expires One Year From Approval Date)
- 3- Elevation Requirements:
- FLOOD ZONE: _____ BASE FLOOD ELEVATION: _____
 - LOWEST BASE FLOOD ELEVATION AT BUILDING SITE: _____
 - A/AE/AH/AO ZONES: Elevation of bottom of the first floor: _____
 - VE Zones: Elevation of the first floor horizontal support structure: _____

DEVELOPMENT APPLICATION CHECKLIST

RESIDENTIAL:

- Application
- Supplemental Application
- Boundary Survey (Non-Flood Zones)
- Site Plan
- Septic Tank Permit
- Water & Sewer Letter
- Energy Code Form
- 2 Complete Sets of Building Plans
- ☐ Wind Load Analysis ☐ Engineered
- State Permits
- DEP Permits • COE Permits ☐ FDOT Permits
- Structure Height & Number of Stories Affidavit
- Portable Toilet Agreement
- Owner/Builder Affidavit
- Dumpster Affidavit
- Termite Affidavit
- Turtle Light Affidavit (If Applicable)
- Recorded Notice of Commencement

FORMS REQUIRED IN FLOOD ZONES: (Additional)

- Topographical Survey
- Flood Plain Management Review
- V Zone Certification (If Applicable)
- Smart Vent Certification (If Applicable)
- Elevation Affidavit
- Non Conversion Agreement

COMMERCIAL: (Additional to Residential)

- P&Z Approval Notice
- BOA Approval Notice
- BCC Approval Notice
- DEP Storm Water Permit/Exemption
- DBPR Approval
- Parking Plan
- Flood Proofing Certification (If Applicable)

SUB-CONTRACTOR LIST

PLEASE BE ADVISED THAT ALL CONTRACTORS DOING WORK IN FRANKLIN COUNTY MUST BE REGISTERED IN FRANKLIN COUNTY PRIOR TO PERFORMING ANY WORK IN THIS COUNTY. ALL GENERAL, RESIDENTIAL & BUILDING, ELECTRICAL, PLUMBING, HVAC & ROOFING CONTRACTOR'S ARE REQUIRED TO PULL PERMITS ON ALL NEW, RENOVATIONS, REMODEL PROJECTS.

CONTRACTOR OR OWNER HAS CONTRACTED WITH THE FOLLOWING (OWNER/BUILDERS ARE NOT ALLOWED TO HIRE SPECIALTY FRAMING CONTRACTORS) ALL CONTRACTOR'S & SUBCONTRACTOR'S MUST BE REGISTERED WITH FRANKLIN COUNTY AND ALL APPLICABLE PERMITS MUST BE OBTAINED BEFORE COMMENCING WORK.

Contractor: _____	<input type="checkbox"/> Registered	Insulation: _____	<input type="checkbox"/> Registered
Electrical: _____	<input type="checkbox"/> Registered	Painting: _____	<input type="checkbox"/> Registered
Plumbing: _____	<input type="checkbox"/> Registered	Framing: _____	<input type="checkbox"/> Registered
HVAC: _____	<input type="checkbox"/> Registered	Masonry: _____	<input type="checkbox"/> Registered
Roofing: _____	<input type="checkbox"/> Registered	Tile: _____	<input type="checkbox"/> Registered
Propane: _____	<input type="checkbox"/> Registered	Siding: _____	<input type="checkbox"/> Registered
Concrete: _____	<input type="checkbox"/> Registered	Other: _____	<input type="checkbox"/> Registered
Piling: _____	<input type="checkbox"/> Registered	Other: _____	<input type="checkbox"/> Registered

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.



APPLICANT/CLIENT: Clay Palm
WATERBODY/CLASS: Apalachicola River
PURPOSE: Environmental Permitting
PROJECT LOCATION / USGS: Apalachicola / Franklin County
LATITUDE: 29° 45' 58"
LONGITUDE: 85° 2' 26.24"
SECTION: 21 TOWNSHIP: 8 South RANG: 8 West

JOB: 20-065
DEP:
COE:
OTHER:
DATE: August 25, 2020
SHEET: 1/6



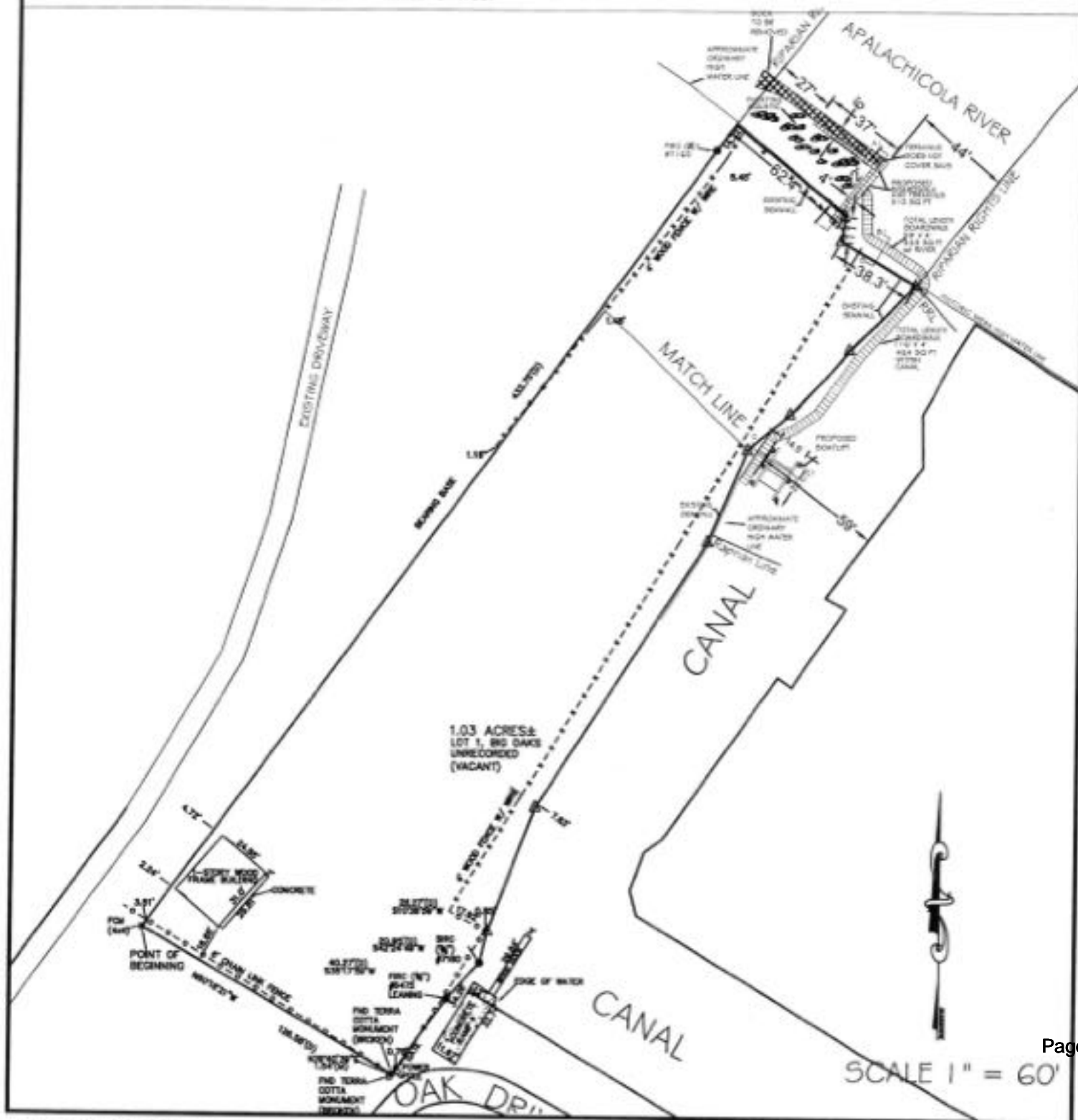
JOB: 20-065
DEP:
COE:
OTHER: Rev. 10-5-20
DATE: August 25, 2020
SHEET: 2/6



PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

APPLICANT/CLIENT: Clay Palm
 WATERBODY/CLASS: Apalachicola River
 PURPOSE: Environmental Permitting
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 LATITUDE: 29° 45' 58"
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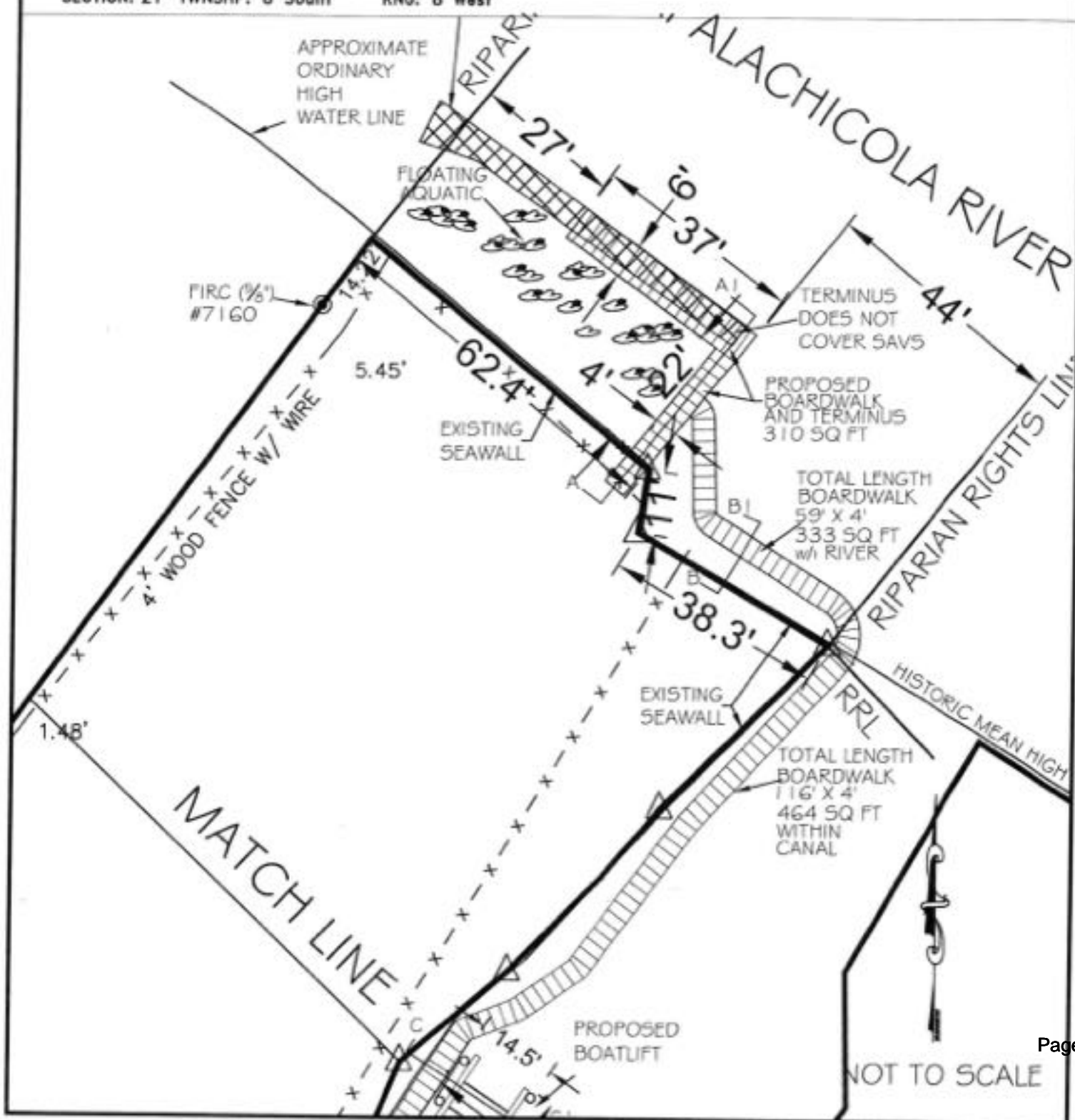
JOB: 20-065
 DEP:
 COE:
 OTHER: Revised 10-5-20
 DATE: August 25, 2020
 SHEET: 3/6



PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

APPLICANT/CLIENT: Clay Palm
 WATERBODY/CLASS: Apalachicola River
 PURPOSE: Environmental Permitting
 PROJECT LOCATION / USGS: Apalachicola / Franklin County
 LATITUDE: 29° 45' 58"
 LONGITUDE: 85° 2' 26.24"
 SECTION: 21 TOWNSHIP: 8 South RING: 8 West

JOB: 20-065
 DEP:
 COE:
 OTHER: Revised 10-5-20
 DATE: August 25, 2020
 SHEET: 4/6



PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

(850) 653-8899 FAX (850) 653-9656 garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: CLAY PALM

WATERBODY/CLASS: Apalachicola River

PURPOSE: Environmental Permitting

PROJECT LOCATION / USGS: Apalachicola / Franklin County

LATITUDE: 25° 45' 58"

LONGITUDE: 85° 2' 26.24"

SECTION: 21 TOWNSHIP: 8 South RANG: 8 West

JOB: 20-065

DEP:

COE:

OTHER: Revised 10-5-20

DATE: AUGUST 25, 2020

SHEET: 5/6

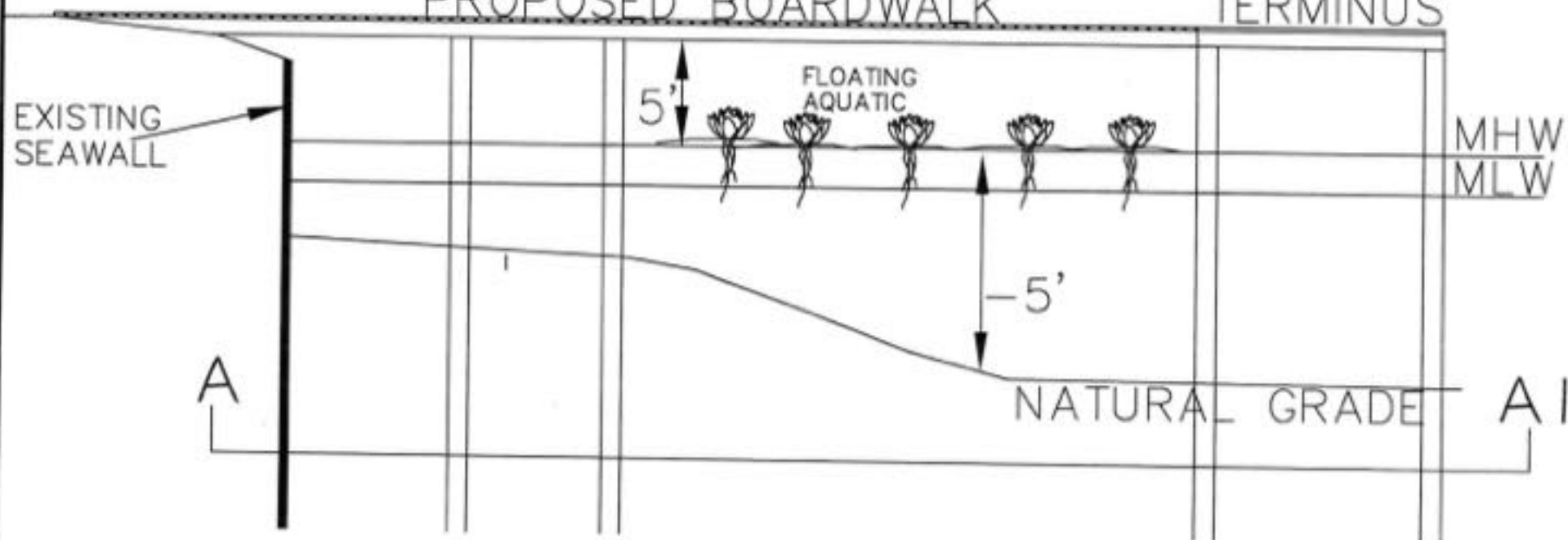


CROSS SECTION 1

PROPOSED
DOCK &
ACCESS WALKWAY
NOT TO SCALE

PROPOSED BOARDWALK

PROPOSED
TERMINUS



PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

(850) 653-8899

FAX (850) 653-9656

garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: CLAY PALM

WATERBODY/CLASS: Apalachicola River

PURPOSE: Environmental Permitting

PROJECT LOCATION / USGS: Apalachicola / Franklin County

LATITUDE: 25° 45' 58"

LONGITUDE: 85° 2' 26.24"

SECTION: 21 TOWNSHIP: 8 South

RNG: 8 West

JOB: 20-065

DEP:

COE:

OTHER: Revised 10-5-20

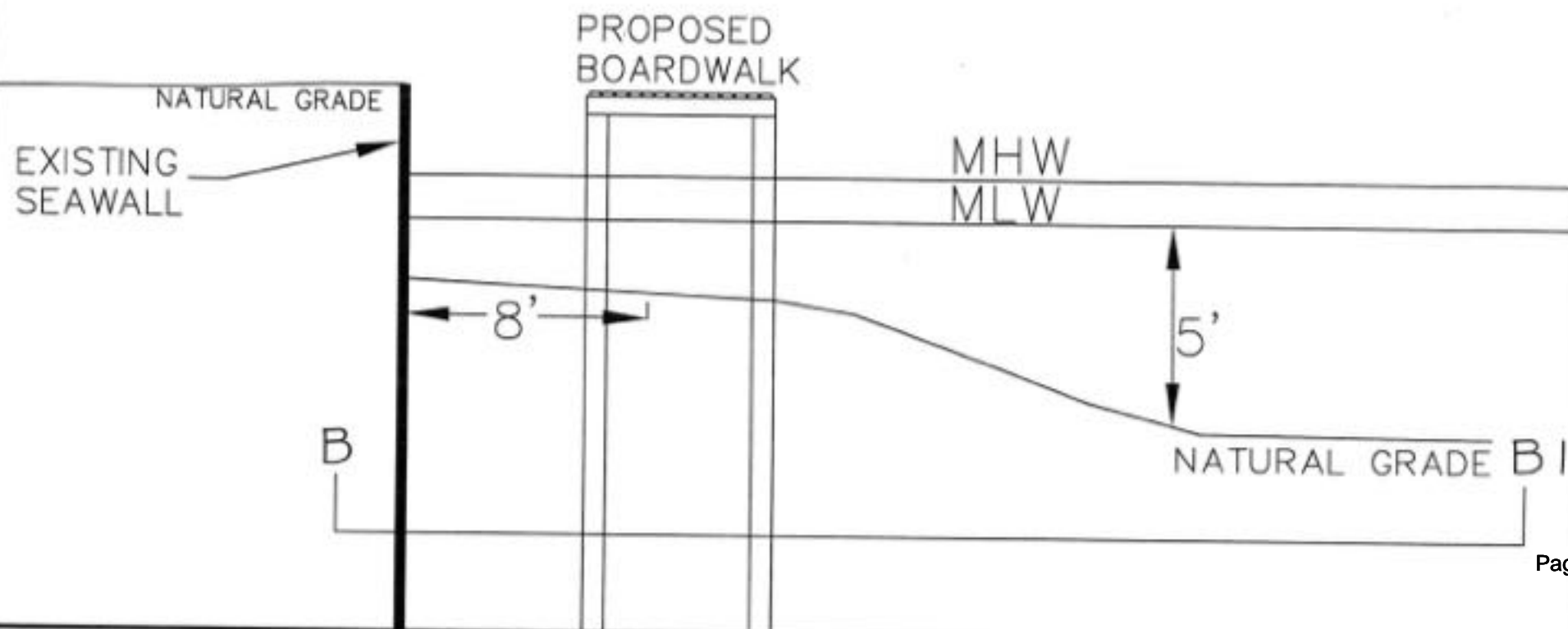
DATE: AUGUST 25, 2020

SHEET: 6/6



PROPOSED
BOARDWALK
& ROCK
REVETMENT
NOT TO SCALE

CROSS SECTION 2





Overview



Legend

- ☐ Parcels
- ☐ Roads
- ☐ City Labels

Parcel ID	21-085-08W-0000-0042-0000	Alternate ID	08W08521000000420000	Owner Address	PALM RICHARD C & CINDY A
Sec/Twp/Rng	21-85-8W	Class	VACANT		128 SWEETBAY TRACE
Property Address	11 BIG OAKS DR	Acreage	1.02		DOTHAN, AL 36303
	APALACHICOLA				
District	1				
Brief Tax Description	A PORTION OF SEC 21-085-08W				
	(Note: Not to be used on legal documents)				

Date created: 12/7/2021

Last Data Uploaded: 12/7/2021 8:04:58 AM

Developed by  **Schneider**
GEOSPATIAL

Parcel Summary

Parcel ID 21-085-08W-0000-0042-0000
Location Address 11 BIG OAKS DR
 APALACHICOLA
Brief Tax Description* A PORTION OF SEC 21-085-08W CONTAINING 1.02 AC ALSO KNOWN AS TRACT 1 RIVER BLUFF SUB UNREC OR 216/564 231/211 393/250 514/96
 575/406 1270/638
*The Description above is not to be used on legal documents.
Property Use Code VACANT (000000)
Sec/Twp/Rng 21-85-8W
Tax District County (District 1)
Millage Rate 11.2322
Acreage 1.020
Homestead N

[View Map](#)

Owner Information

Primary Owner
 Palm Richard C & Cindy A
 128 Sweetbay Trace
 Dothan, AL 36303

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000110	SFR RURAL	1.02	AC	0	0

Sales

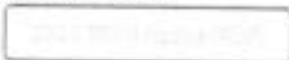
Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	07/20/2020	\$150,000	WD	1270	638	Qualified (Q)	Vacant	MADDREN LAWRENCE T & CAROLINE STEWART	PALM RICHARD C & CINDY A
N	09/01/1995	\$120,500	WD	514	96	Qualified (Q)	Vacant	STEWART	MADDREN
N	10/30/1992	\$55,250	WD	393	250	Qualified (Q)	Vacant	CREAMER	STEWART & SHEFFIELD

Valuation

	2021 Certified	2020 Certified
Building Value	\$0	\$0
Extra Features Value	\$0	\$0
Land Value	\$102,000	\$107,800
Land Agricultural Value	\$0	\$0
Agricultural (Market) Value	\$0	\$0
Just (Market) Value	\$102,000	\$107,800
Assessed Value	\$102,000	\$107,800
Exempt Value	\$0	\$0
Taxable Value	\$102,000	\$107,800
Maximum Save Our Homes Portability	\$0	\$0

Just (Market) Value description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

TRIM Notice 2021



No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, TRIM Notice 2020, TRIM Notice 2019, Sketches.

Franklin County, FL is a participant in the Florida Department of Banking & Finance's (FDBF) "Secure & Safe" program. This program is designed to protect the public from identity theft and fraud by providing a secure and safe environment for the public to interact with the government.

[User Privacy Policy](#)
[GDPR Privacy Notice](#)

Last Data Upload: 12/7/2021, 8:04:58 AM





FLORIDA DEPARTMENT OF Environmental Protection

Northwest District
160 W. Government Street, Suite 308
Pensacola, FL 32502

Ron DeSantis
Governor

Jeanette Núñez
Lt. Governor

Noah Valenstein
Secretary

Monday, October 5, 2020

Clay Palm
128 Sweet Bay Trace
Dothan, Alabama 36303
cpalm@utilityalabama.com

File No.: 0390754-003-EG/19, Franklin County

Dear Mr. Palm:

On August 20, 2020, we received your notice of intent to use a General Permit (GP) pursuant to Rule 62-330.427, Florida Administrative Code (F.A.C.) to construct a single-family dock totaling less than 2,000 square feet within and man-made canal and the Apalachicola River, Class III Outstanding Florida Waters, Prohibited Shellfish Harvesting Area. The project is located at 2700 Bluff Rd., Apalachicola, Florida 32320, Parcel No. 21-08S-08W-0000-0040-0000, in Section 21, Township 08 South, Range 08 West of Jefferson County; at approximately 29°45'56.1727" North Latitude, 85°2'28.5492" West Longitude.

Your intent to use a general permit has been reviewed by Department staff for three types of authorization: (1) regulatory authorization, (2) proprietary authorization (related to state-owned submerged lands), and (3) federal authorization. The authority for review and the outcomes of the reviews are listed below. Please read each section carefully.

Your project did not qualify for the federal authorization, therefore additional authorization must be obtained prior to commencement of the proposed activity. This letter does not relieve you from the responsibility of obtaining other federal, state, or local authorizations that may be required for the activity. Please refer to the specific section(s) dealing with that portion of the review below for advice on how to proceed.

If you change the project from what you submitted, the authorization(s) granted may no longer be valid at the time of commencement of the project. Please contact us prior to beginning your project if you wish to make any changes.

1. Regulatory Review – Approved

Based on the forms, drawings, and documents submitted with your notice, it appears that the project meets the requirements for the General Permit under Rule 62-330.427, F.A.C. Any activities performed under a general permit are subject to general conditions required in Rule 62-330.405, F.A.C. (attached) and the specific conditions of Rule 62-330.427, F.A.C. (attached). Any deviations from these conditions may subject the permittee to enforcement action and possible penalties.

Please be advised that the construction phase of the GP must be completed within five years from the date the notice to use the GP was received by the Department. If you wish to continue this GP beyond the expiration date, you must notify the Department at least 30 days before its expiration.

Authority for review – Part IV of Chapter 373, Florida Statutes (F.S.), Title 62, F.A.C., and in accordance with the operating agreements executed between the Department and the water management districts, as referenced in Chapter 62-113, F.A.C.

2. Proprietary Review – Granted

The Department acts as staff to the Board of Trustees of the Internal Improvement Trust Fund (Board of Trustees) and issues certain authorizations for the use of sovereign submerged lands. The Department has the authority to review activities on sovereign submerged lands under Chapters 253 and 258, F.S. and Chapters 18-20 and 18-21, F.A.C.

The activity appears to be located on sovereign submerged lands owned by the Board of Trustees. The activity is not exempt from the need to obtain the applicable proprietary authorization. As staff to the Board of Trustees, the Department has reviewed the activity described above and has determined that the activity qualifies for a Letter of Consent under Section 253.77, F.S. to construct and use the activity on the specified sovereign submerged lands, as long as the work performed is located within the boundaries as described herein and is consistent with the terms and conditions herein.

During the term of this Letter of Consent you shall maintain satisfactory evidence of sufficient upland interest as required by paragraph 18-21.004(3)(b), F.A.C. If such interest is terminated or the Board of Trustees determines that such interest did not exist on the date of issuance of this Letter of Consent, this Letter of Consent may be terminated by the Board of Trustees at its sole option. If the Board of Trustees terminates this Letter of Consent, you agree not to assert a claim or defense against the Board of Trustees arising out of this Letter of Consent.

Please be advised that any use of sovereign submerged lands without specific prior authorization from the Board of Trustees will be considered a violation of Chapter 253, F.S. and may subject the affected upland riparian property owners to legal action as well as potential fines for the prior unauthorized use of sovereign land.

Authority for review – Chapter 253, F.S., Chapter 18-21, F.A.C., and Section 62-330.075, F.A.C., as required.

3. Federal Review – SPGP Not Included

Your proposed activity as outlined on your application and attached drawings **does not qualify** for Federal authorization pursuant to the State Programmatic General Permit and a **SEPARATE permit** or authorization **shall be required** from the Corps. You must apply separately to the Corps using their APPLICATION FOR DEPARTMENT OF THE ARMY PERMIT, ENG FORM 4345, or alternative as allowed by their regulations. More information on Corps permitting may be found online in the Jacksonville District Regulatory Division Source Book at: <https://www.saj.usace.army.mil/Missions/Regulatory/Source-Book>.

Authority for review - an agreement with the USACOE entitled "Coordination Agreement Between the U.S. Army Corps of Engineers (Jacksonville District) and the Florida Department of Environmental Protection (or Duly Authorized Designee), State Programmatic General Permit", Section 10 of the Rivers and Harbor Act of 1899, and Section 404 of the Clean Water Act.

Additional Information

Please retain this general permit. The activities may be inspected by authorized state personnel in the future to ensure compliance with appropriate statutes and administrative codes. If the activities are not in compliance, you may be subject to penalties under Chapter 373, F.S. and Chapter 18-14, F.A.C.

NOTICE OF RIGHTS

This action is final and effective on the date filed with the Clerk of the Department unless a petition for an administrative hearing is timely filed under Sections 120.569 and 120.57, F.S., before the deadline for filing a petition. On the filing of a timely and sufficient petition, this action will not be final and effective until a subsequent order of the Department. Because the administrative hearing process is designed to formulate final agency action, the subsequent order may modify or take a different position than this action.

Petition for Administrative Hearing

A person whose substantial interests are affected by the Department's action may petition for an administrative proceeding (hearing) under Sections 120.569 and 120.57, F.S. Pursuant to Rules 28-106.201 and 28-106.301, F.A.C., a petition for an administrative hearing must contain the following information:

- (a) The name and address of each agency affected and each agency's file or identification number, if known;
- (b) The name, address, and telephone number of the petitioner; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding; and an explanation of how the petitioner's substantial interests are or will be affected by the agency determination;
- (c) A statement of when and how the petitioner received notice of the agency decision;
- (d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate;
- (e) A concise statement of the ultimate facts alleged, including the specific facts that the petitioner contends warrant reversal or modification of the agency's proposed action;
- (f) A statement of the specific rules or statutes that the petitioner contends require reversal or modification of the agency's proposed action, including an explanation of how the alleged facts relate to the specific rules or statutes; and
- (g) A statement of the relief sought by the petitioner, stating precisely the action that the petitioner wishes the agency to take with respect to the agency's proposed action.

The petition must be filed (received by the Clerk) in the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-

3000, or via electronic correspondence at Agency_Clerk@FloridaDEP.gov. Also, a copy of the petition shall be mailed to the applicant at the address indicated above at the time of filing.

Time Period for Filing a Petition

In accordance with Rule 62-110.106(3), F.A.C., petitions for an administrative hearing by the applicant and persons entitled to written notice under Section 120.60(3), F.S., must be filed within 21 days of receipt of this written notice. Petitions filed by any persons other than the applicant, and other than those entitled to written notice under Section 120.60(3), F.S., must be filed within 21 days of publication of the notice or within 21 days of receipt of the written notice, whichever occurs first. You cannot justifiably rely on the finality of this decision unless notice of this decision and the right of substantially affected persons to challenge this decision has been duly published or otherwise provided to all persons substantially affected by the decision. While you are not required to publish notice of this action, you may elect to do so pursuant Rule 62-110.106(10)(a).

The failure to file a petition within the appropriate time period shall constitute a waiver of that person's right to request an administrative determination (hearing) under Sections 120.569 and 120.57, F.S., or to intervene in this proceeding and participate as a party to it. Any subsequent intervention (in a proceeding initiated by another party) will be only at the discretion of the presiding officer upon the filing of a motion in compliance with Rule 28-106.205, F.A.C. If you do not publish notice of this action, this waiver may not apply to persons who have not received a clear point of entry.

Extension of Time

Under Rule 62-110.106(4), F.A.C., a person whose substantial interests are affected by the Department's action may also request an extension of time to file a petition for an administrative hearing. The Department may, for good cause shown, grant the request for an extension of time. Requests for extension of time must be filed with the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, or via electronic correspondence at Agency_Clerk@FloridaDEP.gov, before the deadline for filing a petition for an administrative hearing. A timely request for extension of time shall toll the running of the time period for filing a petition until the request is acted upon.

Mediation

Mediation is not available in this proceeding.

FLAWAC Review

The applicant, or any party within the meaning of Section 373.114(1)(a) or 373.4275, F.S., may also seek appellate review of this order before the Land and Water Adjudicatory Commission under Section 373.114(1) or 373.4275, F.S. Requests for review before the Land and Water Adjudicatory Commission must be filed with the Secretary of the Commission and served on the Department within 20 days from the date when this order is filed with the Clerk of the Department.

Judicial Review

Once this decision becomes final, any party to this action has the right to seek judicial review pursuant to Section 120.68, F.S. by filing a Notice of Appeal pursuant to Florida Rules of Appellate Procedure 9.110 and 9.190 with the Clerk of the Department in the Office of General Counsel (Station #35, 3900 Commonwealth Boulevard, Tallahassee, Florida 32399-3000) and by filing a copy of the Notice of Appeal accompanied by the applicable filing fees with the appropriate district court of appeal. The notice must be filed within 30 days from the date this action is filed with the Clerk of the Department.

If you have any questions regarding this matter, please contact Jacob Hullett at the letterhead address, at (850)595-0638, or at Jacob.Hullett@FloridaDEP.gov

EXECUTION AND CLERKING

Executed in Orlando, Florida.

STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION



Jacob Hullett
Environmental Specialist
Submerged Lands and Environmental Resources Program

Attachments:

1. Rule 62-330.427, F.A.C., 2 pages
2. General Conditions for All General Permits, Rule 62-330.405, F.A.C., 3 pages
3. Special Consent Conditions for Use of Sovereignty Submerged Lands, 1 page
4. General Consent Conditions for Use of Sovereignty Submerged Lands, 2 pages
5. Project Drawings, 6 pages

CERTIFICATE OF SERVICE

The undersigned duly designated deputy clerk hereby certifies that this document and all attachments were sent on the filing date below to the following listed persons:

Wade Dandridge, DEP, Wade.Dandridge@FloridaDEP.gov
Kevin Burdette, Agent, Garlick Environmental Associates, Inc., kevin@garlickenv.com
Franklin County, twade@cityofapalachicola.com, michael@franklincountyflorida.com

FILING AND ACKNOWLEDGMENT

FILED, on this date, pursuant to Section 120.52, F.S., with the designated Department Clerk, receipt of which is hereby acknowledged.



Clerk

October 5, 2020
Date

62-330.427 General Permit for Docks, Piers and Associated Structures.

(1) A general permit is granted to any person to construct, extend, or remove a dock or pier and associated structures as described below:

(a) A private, single-family pier or dock with up to two boat lifts that, together with all existing structures on the shoreline of the property, does not exceed a total area of 2,000 square feet over surface waters. Such a structure:

1. Shall not accommodate the mooring of more than two vessels, either in the water or on a boat lift. Solely for purposes of this general permit, up to two personal watercraft as defined in section 327.02(33), F.S., may be moored in lieu of either or both allowable vessels of another type. These limits shall not apply to the mooring, storage or other use of the dock or pier by:

a. Non-motor-powered vessels less than 16 feet in length that are stored on or under the dock or pier, or within an authorized mooring area; or

b. Personal watercraft, dinghies or similar small vessels that are stowed out of the water, upon a larger parent vessel that is moored at the dock in compliance with this general permit.

2. Shall be located such that all areas used for vessel mooring and navigational access already provide a minimum depth of two feet below the mean low water level for tidal waters, or two feet below the expected average low water depth for non-tidal waters as determined based on best available information for the water body at the project location; and

3. May include a roof over the vessel mooring areas, boat lifts, and terminal platform, or any portions thereof, subject to the applicable provisions of chapters 253 and 258, F.S., and the rules adopted thereunder. Portions of such roofs that overhang beyond the edge of decked portions of the pier or dock shall be included in the calculation of the total square footage of over-water structure allowed under paragraph (1)(a), above.

(b) A public fishing pier that does not exceed a total area of 2,000 square feet provided the structure is designed and built to discourage boat mooring by elevating the fishing pier to a minimum height of five feet above mean high water or ordinary high water, surrounding the pier with handrails, and installing and maintaining signs that state "No Boat Mooring Allowed."

(2) This general permit shall be subject to the following specific conditions:

(a) Construction or extension of the boat lift, boat mooring locations, or terminal platform, shall not occur over submerged grassbeds, coral communities or wetlands. However, the access walkway portion of the pier may traverse these resources provided it is elevated a minimum of five feet above mean high water or ordinary high water, contains handrails that are maintained in such a manner as to prevent use of the access walkways for boat mooring or access, and does not exceed a width of six feet, or a width of four feet in Aquatic Preserves;

(b) There shall be no structures enclosed by walls, screens, or doors on any side;

(c) The dock or pier will not facilitate vessel rentals, charters, or serve any other commercial purpose;

(d) There shall be no fish cleaning facilities, boat repair facilities or equipment, or fueling facilities on the structures authorized by this general permit. In addition, no overboard discharges of trash, human or animal waste, or fuel shall occur from any structures authorized by this general permit;

(e) This general permit shall not authorize the construction or extension of more than one dock or pier per parcel of land or individual lot. For the purposes of this general permit, multi-family living complexes shall be treated as one parcel of property regardless of the legal division of ownership or control of the associated property; and

(f) Notwithstanding any other provisions of this general permit, the design, construction and operation of the dock or pier and associated vessels shall not conflict with any manatee protection plan approved and adopted under section 379.2431(2)(t), F.S.

Rulemaking Authority 373.026(7), 373.043, 373.118(1), 373.406(5), 373.4131, 373.414(9), 373.418, 403.805(1) FS. Law Implemented 373.118(1), 373.406(5), 373.413, 373.4131, 373.414(9), 373.416, 373.418, 373.426, 403.814(1) FS. History—New 10-3-95, Formerly 62-341.427, Amended 10-1-13, 6-1-18.

62-330.405 General Conditions for All General Permits.

The following general permit conditions are binding upon the permittee and are enforceable under chapter 373, F.S. These conditions do not apply to the general permit for stormwater management systems under section 403.814(12), F.S.

- (1) The general permit is valid only for the specific activity indicated. Any deviation from the specified activity and the conditions for undertaking that activity shall constitute a violation of the permit and may subject the permittee to enforcement action and revocation of the permit under chapter 373, F.S.
- (2) The general permit does not eliminate the necessity to obtain any required federal, state, local and special district authorizations prior to the start of any construction, alteration, operation, maintenance, removal or abandonment authorized by this permit; and it does not authorize any violation of any other applicable federal, state, local, or special district laws (including, but not limited to, those governing the "take" of listed species).
- (3) The general permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the general permit.
- (4) The general permit does not relieve the permittee from liability and penalties when the permitted activity causes harm or injury to: human health or welfare; animal, plant or aquatic life; or property. It does not allow the permittee to cause pollution that violates state water quality standards.
- (5) Section 253.77, F.S., provides that a person may not commence any excavation, construction, or other activity involving the use of state-owned or other lands of the state, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required consent, lease, easement, or other form of authorization authorizing the proposed use. Therefore, the permittee is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on state-owned lands.
- (6) The authorization to conduct activities under a general permit may be modified, suspended or revoked in accordance with chapter 120, F.S., and section 373.429, F.S.
- (7) The general permit is not transferable to a new third party. To be used by a different permittee, a new notice to use a general permit must be submitted in accordance with rule 62-330.402, F.A.C. Activities constructed in accordance with the terms and conditions of a general permit are automatically authorized to be operated and maintained by the permittee and subsequent owners in accordance with subsection 62-330.340(1), F.A.C. Any person holding the general permit, persons working under the general permit, and owners of land while work is conducted under the general permit shall remain liable for any corrective actions that may be required as a result of any permit violations prior to sale, conveyance, or other transfer of ownership or control of the permitted project, activity, or the real property at which the permitted project or activity is located.
- (8) Upon reasonable notice to the permittee, Agency staff with proper identification shall have permission to enter, inspect, sample and test the permitted system to ensure conformity with the plans and specifications approved by the general permit.
- (9) The permittee shall maintain any permitted project or activity in accordance with the plans submitted to the Agency and authorized in the general permit.
- (10) A permittee's right to conduct a specific activity under the general permit is authorized for a duration of five years.

- (11) Activities shall be conducted in a manner that does not cause or contribute to violations of state water quality standards. Performance-based erosion and sediment control best management practices shall be implemented and maintained immediately prior to, during, and after construction as needed to stabilize all disturbed areas, including other measures specified in the permit to prevent adverse impacts to the water resources and adjacent lands. Erosion and sediment control measures shall be installed and maintained in accordance with the *State of Florida Erosion and Sediment Control Designer and Reviewer Manual* (Florida Department of Environmental Protection and Florida Department of Transportation, June 2007), available at <https://www.flrules.org/Gateway/reference.asp?No=Ref-04227>, and the *Florida Stormwater Erosion and Sedimentation Control Inspector's Manual* (Florida Department of Environmental Protection, Nonpoint Source Management Section, Tallahassee, Florida, July 2008), available at http://publicfiles.dep.state.fl.us/DEAR/Stormwater_Training_Docs/erosion-inspectors-manual.pdf.
- (12) Unless otherwise specified in the general permit, temporary vehicular access within wetlands during construction shall be performed using vehicles generating minimum ground pressure to minimize rutting and other environmental impacts. Within forested wetlands, the permittee shall choose alignments that minimize the destruction of mature wetland trees to the greatest extent practicable. When needed to prevent rutting or soil compaction, access vehicles shall be operated on wooden, composite, metal, or other non-carthen construction mats. In all cases, access in wetlands shall comply with the following:
- (a) Access within forested wetlands shall not include the cutting or clearing of any native wetland tree having a diameter four inches or greater at breast height;
 - (b) The maximum width of the construction access area shall be limited to 15 feet;
 - (c) All mats shall be removed as soon as practicable after equipment has completed passage through, or work has been completed, at any location along the alignment of the project, but in no case longer than seven days after equipment has completed work or passage through that location; and
 - (d) Areas disturbed for access shall be restored to natural grades immediately after the maintenance or repair is completed.
- (13) Barges or other work vessels used to conduct in-water activities shall be operated in a manner that prevents unauthorized dredging, water quality violations, and damage to submerged aquatic communities.
- (14) The construction, alteration, or use of the authorized project shall not adversely impede navigation or create a navigational hazard in the water body.
- (15) Except where specifically authorized in the general permit, activities must not:
- (a) Impound or obstruct existing water flow, cause adverse impacts to existing surface water storage and conveyance capabilities, or otherwise cause adverse water quantity or flooding impacts to receiving water and adjacent lands; or
 - (b) Cause an adverse impact to the maintenance of surface or ground water levels or surface water flows established pursuant to section 373.042, F.S., or a Works of the District established pursuant to section 373.086, F.S.
- (16) If prehistoric or historic artifacts, such as pottery or ceramics, projectile points, stone tools, dugout canoes, metal implements, historic building materials, or any other physical remains that could be associated with Native American, early European, or American settlement are encountered at any time within the project site area, the permitted project shall cease all activities involving subsurface disturbance in the vicinity of the discovery. The permittee or other designee

shall contact the Florida Department of State, Division of Historical Resources, Compliance Review Section (DHR), at (850)245-6333, as well as the appropriate permitting agency office. Project activities shall not resume without verbal or written authorization from the Division of Historical Resources. If unmarked human remains are encountered, all work shall stop immediately and the proper authorities notified in accordance with section 872.05, F.S.

(17) The activity must be capable, based on generally accepted engineering and scientific principles, of being performed and of functioning as proposed, and must comply with any applicable District special basin and geographic area criteria.

(18) The permittee shall comply with the following when performing work within waters accessible to federally- or state-listed aquatic species, such as manatees, marine turtles, smalltooth sawfish, and Gulf sturgeon:

(a) All vessels associated with the project shall operate at "Idle Speed/No Wake" at all times while in the work area and where the draft of the vessels provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.

(b) All deployed siltation or turbidity barriers shall be properly secured, monitored, and maintained to prevent entanglement or entrapment of listed species.

(c) All in-water activities, including vessel operation, must be shut down if a listed species comes within 50 feet of the work area. Activities shall not resume until the animal(s) has moved beyond a 50-foot radius of the in-water work, or until 30 minutes elapses since the last sighting within 50 feet. Animals must not be herded away or harassed into leaving. All onsite project personnel are responsible for observing water-related activities for the presence of listed species.

(d) Any listed species that is killed or injured by work associated with activities performed shall be reported immediately to the Florida Fish and Wildlife Conservation Commission (FWC) Hotline at 1(888)404-3922 and ImperiledSpecies@myFWC.com.

(e) Whenever there is a spill or frac-out of drilling fluid into waters accessible to the above species during a directional drilling operation, the FWC shall be notified at ImperiledSpecies@myfwc.com with details of the event within 24 hours following detection of the spill or frac-out.

(19) The permittee shall hold and save the Agency harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any activity authorized by the general permit.

(20) The permittee shall immediately notify the Agency in writing of any submitted information that is discovered to be inaccurate.

Rulemaking Authority 373.026(7), 373.043, 373.118(1), 373.406(5), 373.4131, 373.414(9), 373.4145, 373.418, 403.805(1) FS. Law Implemented 373.044, 373.118(1), 373.129, 373.136, 373.406(5), 373.413, 373.4131, 373.414(9), 373.4145, 373.416, 373.422, 373.423, 373.429, 403.814(1) FS. History—New 10-3-95, Amended 10-1-07, Formerly 62-341.215, Amended 10-1-13, 6-1-18.

Special Consent Conditions

1. The applicant agrees to indemnify, defend and hold harmless the Board of Trustees and the State of Florida from all claims, actions, lawsuits and demands in any form arising out of the authorization to use sovereignty submerged lands or the applicant's use and construction of structures on sovereignty submerged lands. This duty to indemnify and hold harmless will include any and all liabilities that are associated with the structure or activity including special assessments or taxes that are now or in the future assessed against the structure or activity during the period of the authorization.
2. Failure by the Board of Trustees to enforce any violation of a provision of the authorization or waiver by the Board of Trustees of any provision of the authorization will not invalidate the provision not enforced or waived, nor will the failure to enforce or a waiver prevent the Board of Trustees from enforcing the unenforced or waived provision in the event of a violation of that provision.
3. Applicant binds itself and its successors and assigns to abide by the provisions and conditions set forth in the authorization. If the applicant or its successors or assigns fails or refuses to comply with the provisions and conditions of the authorization, the authorization may be terminated by the Board of Trustees after written notice to the applicant or its successors or assigns. Upon receipt of such notice, the applicant or its successors or assigns will have thirty (30) days in which to correct the violations. Failure to correct the violations within this period will result in the automatic revocation of this authorization.
4. All costs incurred by the Board of Trustees in enforcing the terms and conditions of the authorization will be paid by the applicant. Any notice required by law will be made by certified mail at the address shown on page one of the authorization. The applicant will notify the Board of Trustees in writing of any change of address at least ten days before the change becomes effective.
5. This authorization does not allow any activity prohibited in a conservation easement or restrictive covenant that prohibits the activity.

General Conditions for Authorizations for Activities on State-Owned Submerged Lands:

All authorizations granted by rule or in writing under rule 18-21.005, F.A.C., except those for geophysical testing, shall be subject to the general conditions as set forth in paragraphs (a) through (j) below. The general conditions shall be part of all authorizations under this chapter, shall be binding upon the grantee, and shall be enforceable under chapter 253 or 258, part II, F.S.

- (a) Authorizations are valid only for the specified activity or use. Any unauthorized deviation from the specified activity or use and the conditions for undertaking that activity or use shall constitute a violation. Violation of the authorization shall result in suspension or revocation of the grantee's use of the sovereignty submerged land unless cured to the satisfaction of the Board.
- (b) Authorizations convey no title to sovereignty submerged land or water column, nor do they constitute recognition or acknowledgment of any other person's title to such land or water.
- (c) Authorizations may be modified, suspended or revoked in accordance with their terms or the remedies provided in sections 253.04 and 258.46, F.S., or chapter 18-14, F.A.C.
- (d) Structures or activities shall be constructed and used to avoid or minimize adverse impacts to sovereignty submerged lands and resources.
- (e) Construction, use, or operation of the structure or activity shall not adversely affect any species which is endangered, threatened or of special concern, as listed in rules 68A-27.003, 68A-27.004 and 68A-27.005, F.A.C.
- (f) Structures or activities shall not unreasonably interfere with riparian rights. When a court of competent jurisdiction determines that riparian rights have been unlawfully affected, the structure or activity shall be modified in accordance with the court's decision.
- (g) Structures or activities shall not create a navigational hazard.
- (h) Activities shall not interfere with the public easement for traditional uses of the sandy beaches provided in section 161.141, F.S.
- (i) Structures shall be maintained in a functional condition and shall be repaired or removed if they become dilapidated to such an extent that they are no longer functional. This shall not be construed to prohibit the repair or replacement subject to the provisions of rule 18-21.005, F.A.C., within one year, of a structure damaged in a discrete event such as a storm, flood, accident, or fire.
- (j) Structures or activities shall be constructed, operated, and maintained solely for water dependent purposes, or for non-water dependent activities authorized under paragraph 18-21.004(1)(g), F.A.C., or any other applicable law.

Rulemaking Authority 253.03(7), 253.73 FS. Law Implemented 253.001, 253.03, 253.141, 253.0347, 253.665, 253.71, 253.68, 253.72, 253.74, 253.75, 253.77 FS. History--New 3-27-82,

Amended 8-1-83, Formerly 16Q-21.04, 16Q-21.004, Amended 12-25-86, 1-25-87, 3-15-90, 8-18-92, 10-15-98, 12-11-01, 10-29-03, 12-16-03, 3-8-04, 10-27-05, 4-14-08, 9-1-09, 3-21-19.

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.



APPLICANT/CLIENT: Clay Palm

WATERBODY/CLASS: Apalachicola River

PURPOSE: Environmental Permitting

PROJECT LOCATION / USGS: Apalachicola / Franklin County

LATITUDE: 29° 45' 58"

LONGITUDE: 85° 2' 26.24"

SECTION: 21 TOWNSHIP: 8 South

RANGE: 8 West

JOB: 20-065

DEP:

COE:

OTHER:

DATE: August 25, 2020

SHEET: 1/6

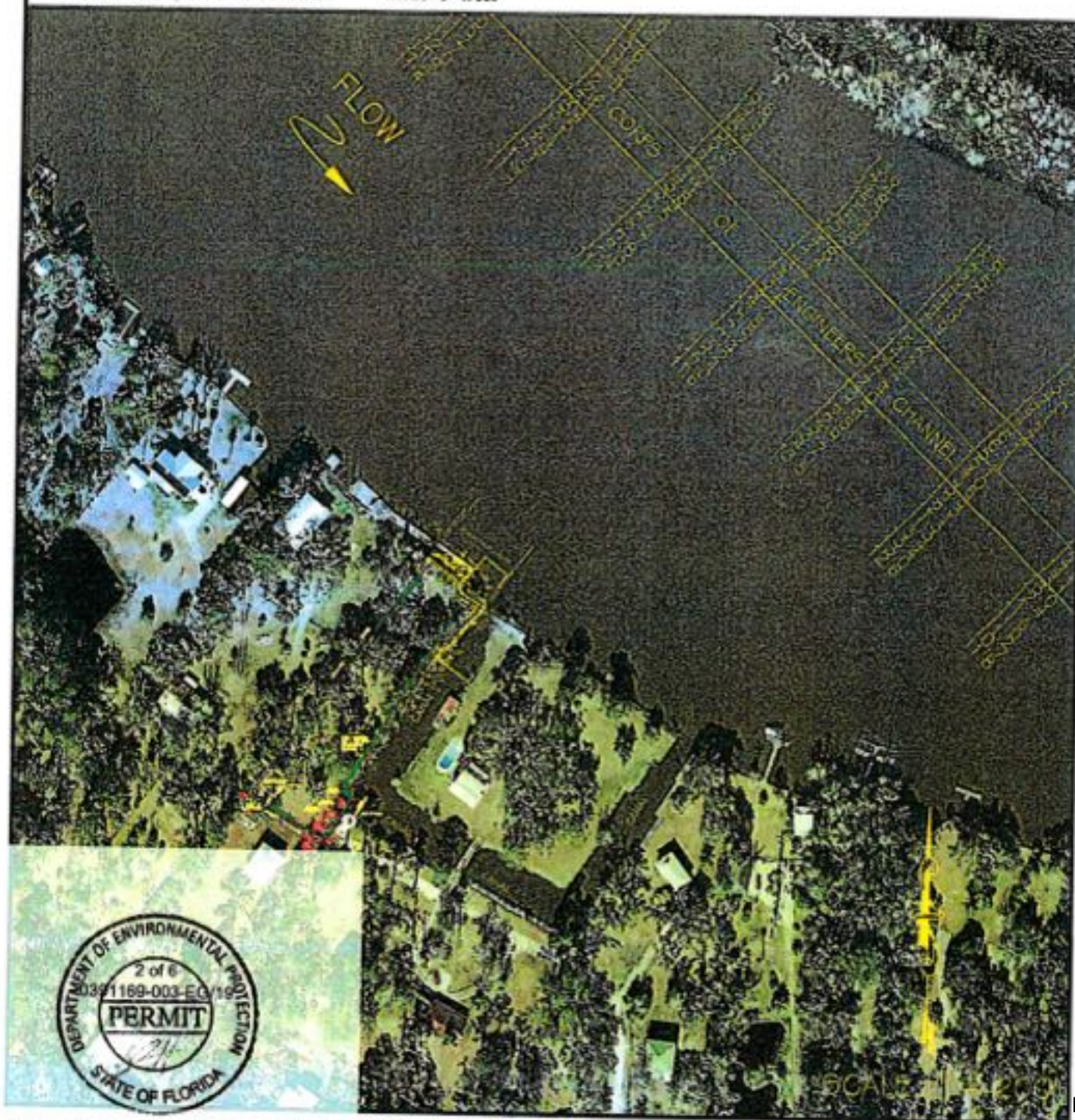


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JOB: 20-063
DEP:
COE:
OTHER: Rev. 10-5-20
DATE: August 25, 2020
SHEET: 2/6

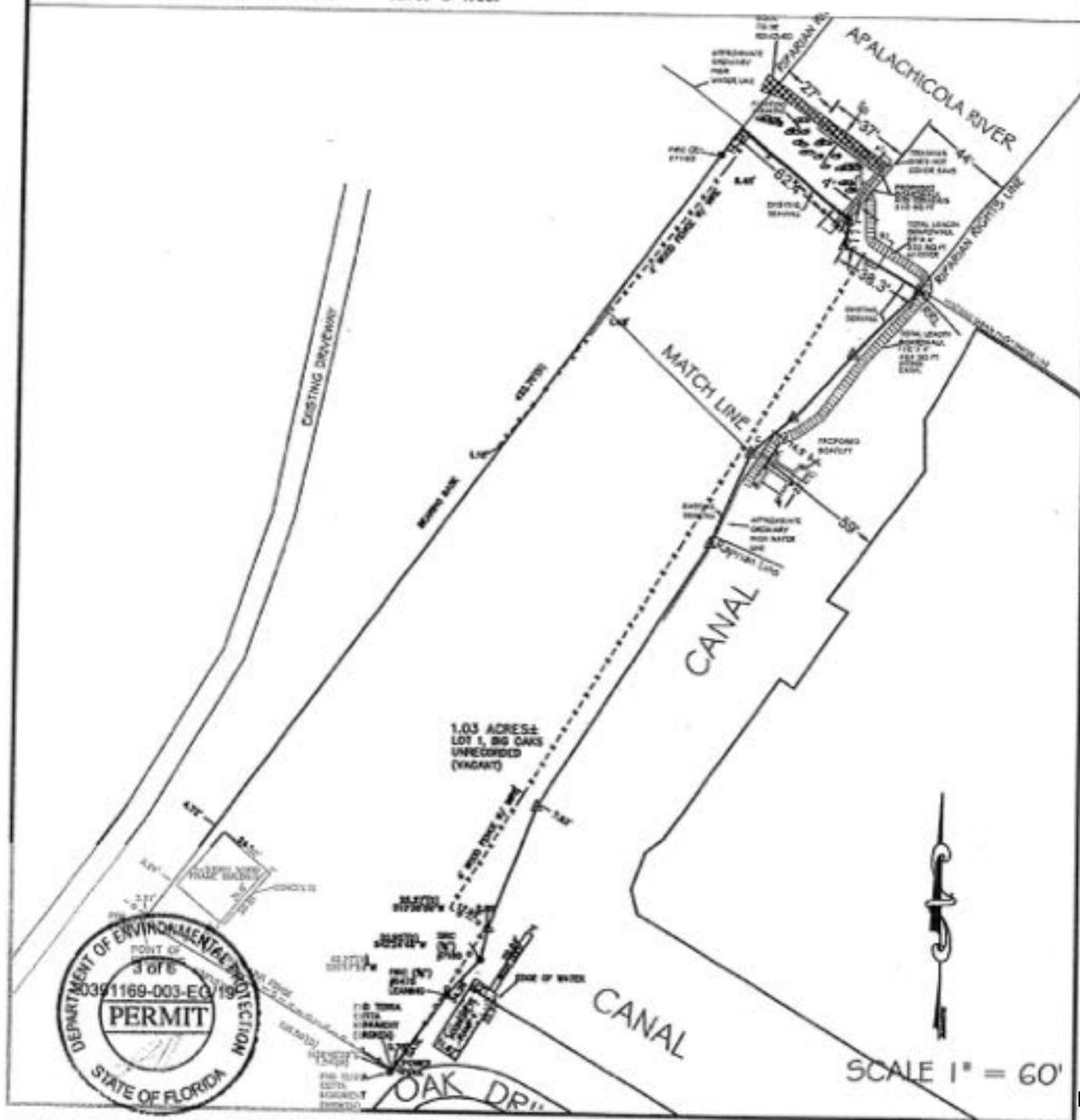


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 PURPOSE: Environmental Permitting
 PROJECT LOCATION / USGS: Apalachicola / Franklin County
 LATITUDE: 29° 45' 58"
 LONGITUDE: 85° 2' 26.24"
 SECTION: 21 TOWNSHIP: 8 South RANG: 8 West

JOB: 20-065
 DEP:
 COE:
 OTHER: Revised 10-5-20
 DATE: August 25, 2020
 SHEET: 3/6





DEPARTMENT OF THE ARMY
CORPS OF ENGINEERS, JACKSONVILLE DISTRICT
415 RICHARD JACKSON BLVD, SUITE 411
PANAMA CITY, FLORIDA 32405

November 4, 2020

Regulatory Division
North Branch
Panama City Permits Section
SAJ-2020-03288 (GP-TLW)

Mr. Clay Palm
128 Sweet Bay Trace
Dothan, Alabama 36303

Dear Mr. Palm:

The U.S. Army Corps of Engineers (Corps) assigned your application for a Department of the Army permit, which the Corps received on August 12, 2020, the file number SAJ-2020-03288. A review of the information and drawings provided indicates that the proposed work would result in construction of a 4 foot by 25 foot access pier with a 6 foot by 37 foot terminal platform, a 17 foot by 22 foot covered boat lift and a 4 foot by 178 foot shore parallel walkway between the pier and boat lift. By email received on October 6, 2020, your agent requested that the riprap revetment portion of the project be removed from the application because that activity was permitted by FDEP through the SPGP process. Upon review of the FDEP authorization, we determined that the portion of the riprap adjacent to the Apalachicola River was permitted. However, the portion of the riprap shown on the project drawings within the canal was not authorized. Placement of riprap material within the canal would require additional authorization by the Corps. The activities subject to this permit are authorized pursuant to authorities under Section 10 of the Rivers and Harbors Act of 1899 (33 U.S.C. § 403). The project is located at 2700 Bluff Road, in Section 21, Township 8 South, Range 08 West, Apalachicola, Franklin County, Florida.

Your project, as depicted on the enclosed drawings, is authorized by Regional General Permit (GP) SAJ-20. This authorization is valid until March 27, 2023. Please access the Corps' Jacksonville District Regulatory Division Internet page to view the special and general conditions for SAJ-20, which apply specifically to this authorization. The Internet URL address is:

<http://www.saj.usace.army.mil/Missions/Regulatory.aspx>

Please be aware this Internet address is case sensitive; and, you will need to enter it exactly as it appears above. Once there you will need to click on "Source Book"; and, then click on "General Permits." Then you will need to click on the specific SAJ permit noted above. You must comply with all of the special and general conditions of the

authorized work, describe on the As-Built Certification Form the deviations between the work authorized by this permit and the work as constructed. Clearly indicate on the as-built drawings any deviations that have been listed. Please note the depiction and/or description of any deviations on the drawings and/or As-Built Certification Form does not constitute approval of any deviations by the Corps.

c. The Department of the Army Permit number.

4. Agency Changes/Approvals: Should any other agency require and/or approve changes to the work authorized or obligated by this permit, the Permittee is advised a modification to this permit instrument is required prior to initiation of those changes. It is the Permittee's responsibility to request a modification of this permit from the Panama City Permits Section. The Corps reserves the right to fully evaluate, amend, and approve or deny the request for modification of this permit.

5. Assurance of Navigation and Maintenance: The Permittee understands and agrees that, if future operations by the United States require the removal, relocation, or other alteration, of the structures or work herein authorized, or if in the opinion of the Secretary of the Army or his authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the Permittee will be required, upon due notice from the Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal or alteration.

6. Dock Construction Guidelines: The Permittee shall comply with the "Dock Construction Guidelines in Florida for Docks or Other Minor Structures Constructed in or over Submerged Aquatic Vegetation, Marsh or Mangrove Habitat – U.S. Army Corps of Engineers/National Marine Fisheries Service – November 2017 (Attachment 2).

7. Cultural Resources/Historic Properties:

a. No structure or work shall adversely affect impact or disturb properties listed in the *National Register of Historic Places* (NRHP) or those eligible for inclusion in the NRHP.

b. If during the ground disturbing activities and construction work within the permit area, there are archaeological/cultural materials encountered which were not the subject of a previous cultural resources assessment survey (and which shall include, but not be limited to: pottery, modified shell, flora, fauna, human remains, ceramics, stone tools or metal implements, dugout canoes, evidence of structures or any other

10. Jacksonville District Programmatic Biological Opinion (JAXBO), November 2017, Project Design Criteria (PDCs): Structures authorized under this permit must comply with all applicable PDCs, based on the permitted activity, as required by JAXBO. Please note that failure to comply with the applicable PDCs, where a take of listed species occurs, would constitute an unauthorized take, and noncompliance with this permit. The NMFS is the appropriate authority to enforce the terms and conditions of JAXBO. The most current version of JAXBO can be accessed at the Jacksonville District Regulatory Division internet webpage in the Endangered Species section of the Sourcebook located at:
<http://www.saj.usace.army.mil/Missions/Regulatory/SourceBook.aspx>

Note - JAXBO may be subject to revision at any time. The most recent version of these conditions must be utilized during the design and construction of the permitted work. In accordance with the Endangered Species Act, and for those projects which do not comply with JAXBO, the Corps will seek individual consultation with the NMFS.

Note - some authorized activities may deviate from the PDCs. In cases, where the activity (i.e., structure dimensions, length, etc.) deviates from the PDCs, the permit drawings shall supersede the PDCs.

For each of the following authorized activities subject of this permit, the permittee shall adhere to the following PDCs, which are attached to, and made part of, this authorization/verification letter:

Activity 2 - Pile-supported Structures and Anchored Buoys: (AP.1-12; A2.1-16; S.1; S.2)

This authorization does not obviate the necessity to obtain any other Federal, State, or local permits, which may be required. Prior to the initiation of any construction, projects qualifying for this NWP/RGP permit must qualify for an exemption under section 403.813(1), F.S. or 373.406, F.S., or otherwise be authorized by the applicable permit required under Part IV of Chapter 373, F.S., by the Department of Environmental Protection, a water management district under section 373.069, F.S., or a local government with delegated authority under section 373.441, F.S., and receive Water Quality Certification (WQC) and applicable Coastal Zone Consistency Concurrence (CZCC) or waiver thereto, as well as any authorizations required for the use of state-owned submerged lands under Chapter 253, F.S., and, as applicable, Chapter 258, F.S. You should check State-permitting requirements with the Florida Department of Environmental Protection or the appropriate water management district.

This authorization does not include conditions that would prevent the 'take' of a state-listed fish or wildlife species. These species are protected under sec. 379.411, Florida

-7-

Enclosures

cc:
Garlick Environmental Associates

DEPARTMENT OF THE ARMY PERMIT TRANSFER REQUEST

PERMIT NUMBER: SAJ-2020-03288(GP-TLW)

When the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new owner(s) of the property. Although the construction period for works authorized by Department of the Army permits is finite, the permit itself, with its limitations, does not expire.

To validate the transfer of this permit and the associated responsibilities associated with compliance with its terms and conditions, have the transferee sign and date below and mail to the U.S. Army Corps of Engineers, Enforcement Section, P.O. Box 4970, Jacksonville, FL 32232-0019 or by electronic mail at saj-rd-enforcement@usace.army.mil.

(TRANSFEEE-SIGNATURE)

(SUBDIVISION)

(DATE)

(LOT)

(BLOCK)

(NAME-PRINTED)

(STREET ADDRESS)

(MAILING ADDRESS)

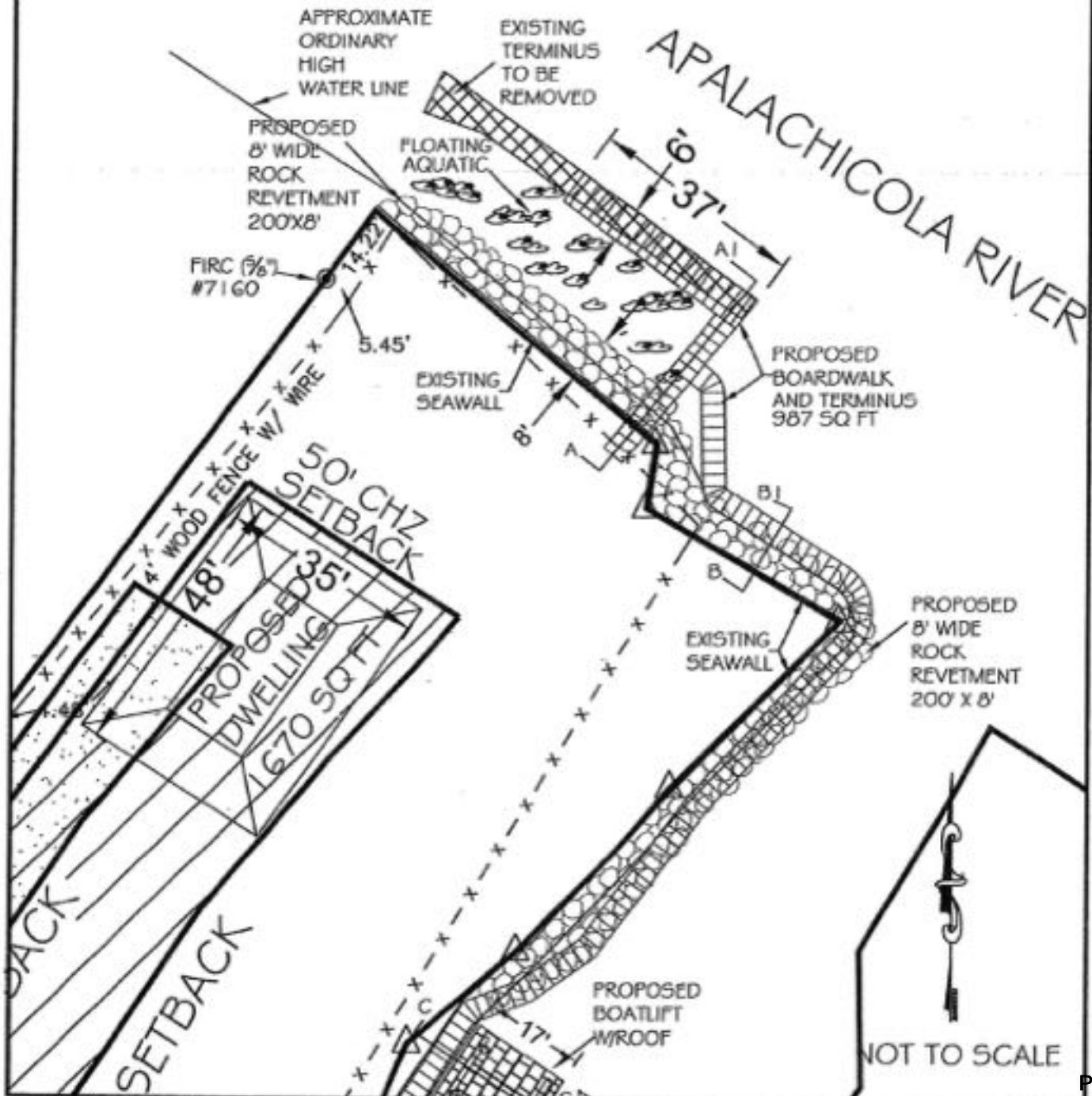
(CITY, STATE, ZIP CODE)

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.



APPLICANT/CLIENT: Clay Palm
 WATERBODY/CLASS: Apalachicola River
 PURPOSE: Environmental Permitting
 PROJECT LOCATION / USGS: Apalachicola / Franklin County
 LATITUDE: 29° 45' 58"
 LONGITUDE: 85° 2' 26.24"
 SECTION: 21 TOWNSHIP: 8 South RING: 8 West

JOB: 20-065
 DEP:
 COE:
 OTHER:
 DATE: August 10, 2020
 SHEET: 3A/6



PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

(850) 653-8899

FAX (850) 653-9656 garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: CLAY PALM

WATERBODY/CLASS: Apalachicola River

PURPOSE: Environmental Permitting

PROJECT LOCATION / USGS: Apalachicola / Franklin County

LATITUDE:

LONGITUDE:

SECTION: 21 TOWNSHIP: 8 South RANG: 8 West

JOB: 20-065

DEP:

COE:

OTHER:

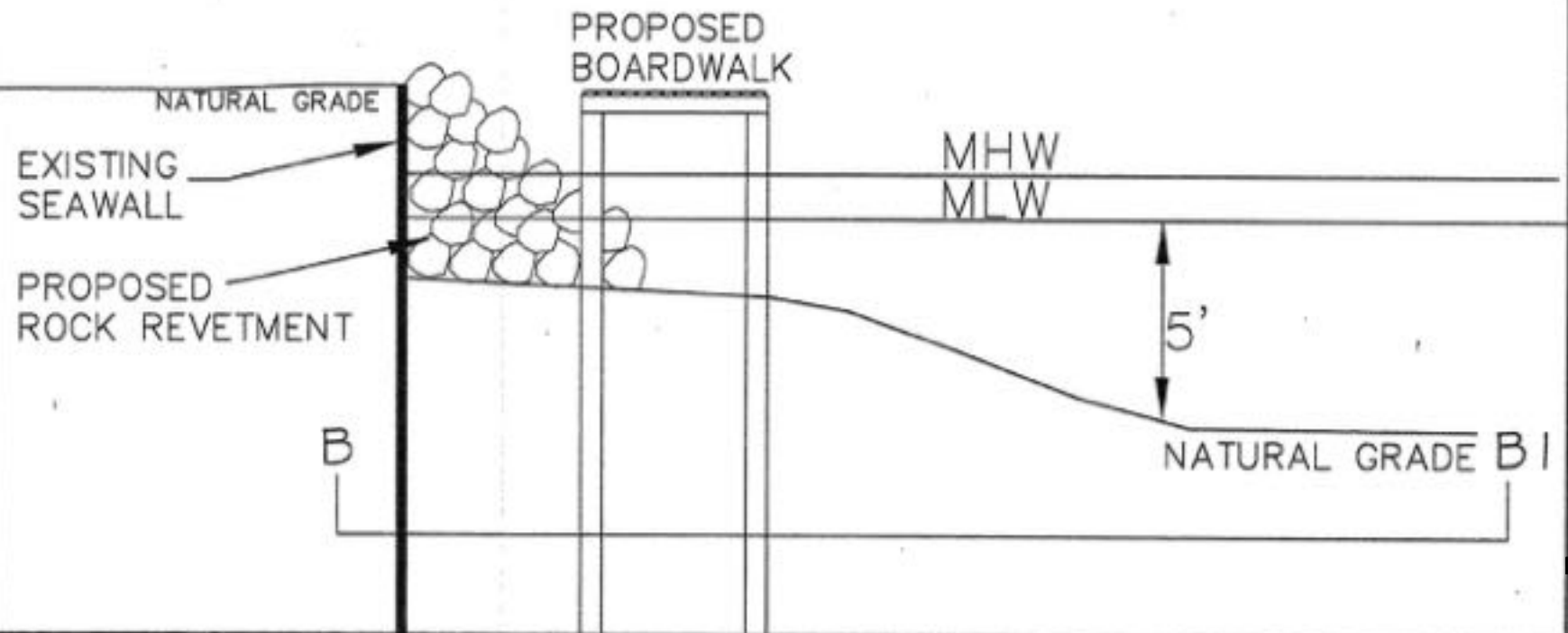
DATE: AUGUST 10, 2020

SHEET: 5/6



PROPOSED
BOARDWALK
& ROCK
REVETMENT
NOT TO SCALE

CROSS SECTION 2



COMMENCEMENT NOTIFICATION

*Within 10 days of initiating the authorized work, submit this form via electronic mail to saj-rd-enforcement@usace.army.mil (preferred, not to exceed 15 MB) **or** by standard mail to U.S. Army Corps of Engineers, Enforcement Section, P.O. Box 4970, Jacksonville, FL 32232-0019.*

1. Department of the Army Permit Number: SAJ-2020-03288 (GP-TLW)

2. Permittee Information:

Name: _____

Email: _____

Address: _____

Phone: _____

3. Construction Start Date: _____

4. Contact to Schedule Inspection:

Name: _____

Email: _____

Phone: _____

Signature of Permittee

Printed Name of Permittee

Date

Date

Telephone Number

Date Work Started: _____ Date Work Completed: _____

Identify any deviations from the approved permit drawings and/or special conditions (attach additional pages if necessary):

Marsh:

1. The piling-supported structure shall be aligned so as to have the smallest over-marsh footprint as practicable.
2. The over-marsh portion of the piling-supported shall be elevated to at least 4 feet above the marsh floor.
3. The width of the piling-supported is limited to a maximum of 4 feet. Any exceptions to the width must be accompanied by an equal increase in height requirement.

Mangroves.

1. The width of the piling-supported structure is limited to a maximum of 4 feet.
2. Mangrove clearing is restricted to the width of the piling-supported structure.
3. The location and alignment of the piling-supported structure should be through the narrowest area of the mangrove fringe.

Grid Specifications and Suppliers

The following information does not constitute a U.S. Army Corps of Engineers endorsement or advertisement for any particular provider and is provided only as an example for those interested in obtaining these materials for piling-supported structure construction. Light-transmitting materials are made of various materials shaped in the form of grids, grates, lattices, etc., to allow the passage of light through the open spaces. **All light-transmitting materials used in construction for minor piling-supported structures shall have a minimum of forty-three (43) percent open space.**

A type of fiberglass grate panel is manufactured by SeaSafe (Lafayette, LA; phone: 1-800-326-8842) and FiberGrate (1-800-527-4043). A type of plastic grating is manufactured by ThruFlow Interlocking Panels (1-888-478-3569). Plastic grate panels are also distributed by Southern Pine Lumber Company (Stuart, FL; 772-692-2300). Grated panels can be obtained from Titan Deck/Voyager Industries (Brandon, MN; 877-207-4136; www.titandeck.net). Panels are available in a variety of sizes and thicknesses. For safety, the grate should contain an anti-slip texture which is integrally molded into the top surface. The manufacturer or local distributor should be consulted to ensure that the load-bearing capacity of the selected product is sufficient to support the intended purpose. Contact the manufacturer(s) for product specifications and a list of regional distributors.

October 2002 - Grid Specifications and Suppliers Section modified to add an additional vendor of materials.

February 2003 - Manufacturer name changed from ChemGrate to FiberGrate

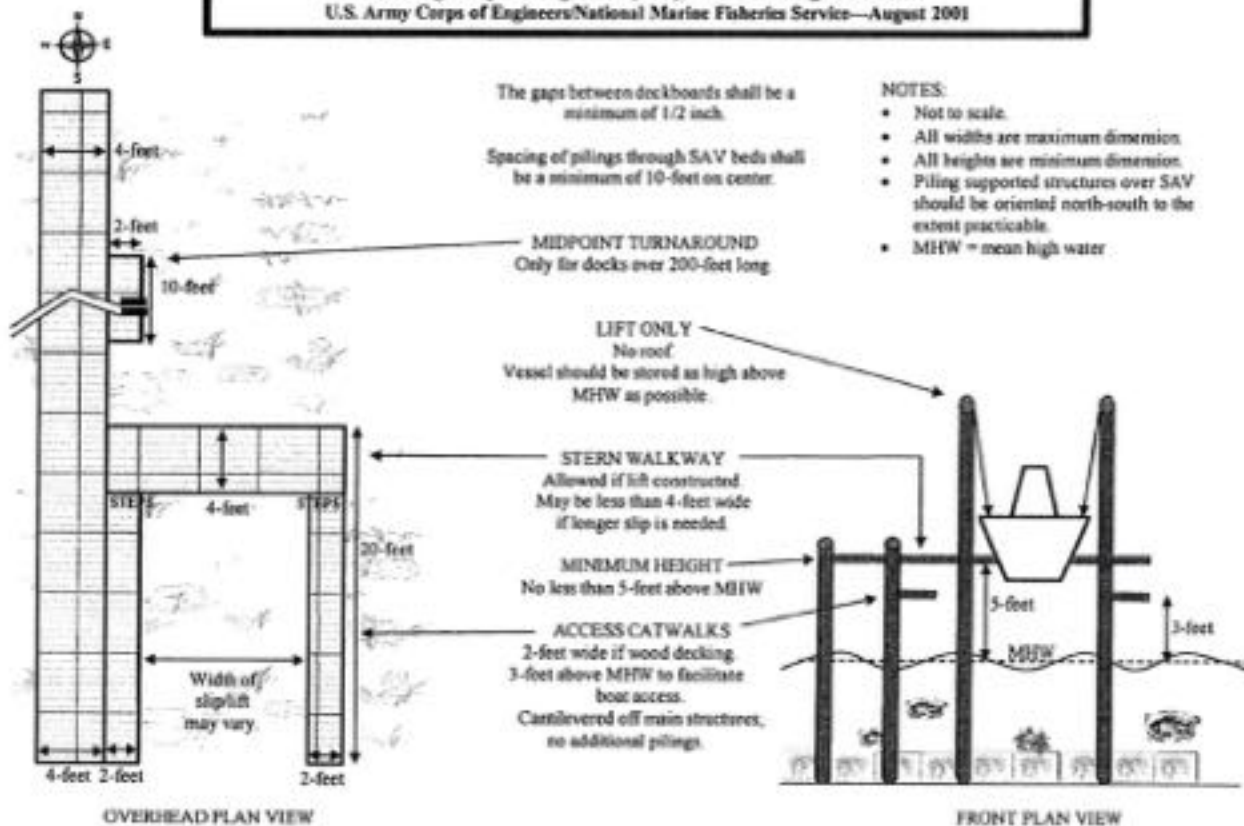
May 2003 - The terms dock and pier were removed and replaced by the term piling-supported structure, to clarify our intent.

March 2008 - Added requirement for 43% open space in grids; added additional manufacturer of grating.

November 2017 - Manufacturer of grated material updated to include Voyager Industries.

DOCK EXAMPLE — WOOD PLANK TERMINAL PLATFORM

Construction Guidelines in Florida for Minor Piling-Supported Structures Constructed in or over Submerged Aquatic Vegetation (SAV), Marsh or Mangrove Habitat
U.S. Army Corps of Engineers/National Marine Fisheries Service—August 2001



VER: 201407

CAUTION: MANATEE HABITAT

All project vessels

IDLE SPEED / NO WAKE

When a manatee is within 50 feet of work
all in-water activities must

SHUT DOWN

Report any collision with or injury to a manatee:



Wildlife Alert:

1-888-404-FWCC(3922)

cell *FWC or #FWC

Project Design Criteria (PDCs) for In-Water Activities

AP.7. Education and Observation: The permittee must ensure that all personnel associated with the project are instructed about the potential presence of species protected under the ESA and the Marine Mammal Protection Act (MMPA). All on-site project personnel are responsible for observing water-related activities for the presence of protected species. All personnel shall be advised that there are civil and criminal penalties for harming, harassing, or killing ESA-listed species or marine mammals. To determine which species may be found in the project area, please review the relevant Protected Species List at:

http://sero.nmfs.noaa.gov/protected_resources/section_7/threatened_endangered/index.html

AP.8. Reporting Interactions with Protected Species:

- a) Any collision(s) with and/or injury to any sea turtle, sawfish, whale, or sturgeon occurring during the construction of a project, shall be reported immediately to NMFS's Protected Resources Division (PRD) at (1-727-824-5312) or by email to: takereport.nmfs@noaa.gov and SAJ-RD-Enforcement@usace.army.mil.
- b) Smalltooth sawfish: Report sightings to 1-844-SAWFISH or email: Sawfish@MyFWC.com
- c) Sturgeon: Report dead sturgeon to 1-844-STURG 91 (1-844-788-7491) or email: nmfs.ser.sturgeonnetwork@noaa.gov
- d) Sea turtles and marine mammals: Report stranded, injured, or dead animals to 1-877-WHALE HELP (1-877-942-5343).
- e) North Atlantic right whale: Report injured, dead, or entangled right whales to the USCG via VHF Channel 16.

AP.9. Vessel Traffic and Construction Equipment: All vessel operators must watch for and avoid collision with species protected under the ESA and MMPA. Vessel operators must avoid potential interactions with protected species and operate in accordance with the following protective measures:

- a) *Construction Equipment:*
 - i) All vessels associated with the construction project shall operate at "Idle Speed/No Wake" at all times while operating in water depths where the draft of the vessel provides less than a 4-foot (ft) clearance from the bottom, and in all depths after a protected species has been observed in and has departed the area.
 - ii) All vessels will follow marked channels and/or routes using the maximum water depth whenever possible.
 - iii) Operation of any mechanical construction equipment, including vessels, shall cease immediately if a listed species is observed within a 50-ft radius of construction equipment and shall not resume until the species has departed the area of its own volition.
 - iv) If the detection of species is not possible during certain weather conditions (e.g., fog, rain, wind), then in-water operations will cease until weather conditions improve and detection is again feasible.

line). If turbidity curtains are not feasible in an area based on site conditions such as water current, high wave action, or stormy conditions, the project must undergo individual Section 7 consultation and is not covered under this Programmatic Opinion.

AP.11. Entanglement: All turbidity curtains and other in-water equipment must be properly secured with materials that reduce the risk of entanglement of marine species (described below). Turbidity curtains likewise must be made of materials that reduce the risk of entanglement of marine species.

- a) In-water lines (rope, chain, and cable, including the lines to secure turbidity curtains) must be stiff, taut, and non-looping. Examples of such lines are heavy metal chains or heavy cables that do not readily loop and tangle. Flexible in-water lines, such as nylon rope or any lines that could loop or tangle, must be enclosed in a plastic or rubber sleeve/tube to add rigidity and prevent the line from looping and tangling. In all instances, no excess line is allowed in the water.
- b) Turbidity curtains and other in-water equipment must be placed in a manner that does not entrap species within the construction area or block access for them to navigate around the construction area.

- mammal stranding networks and smalltooth sawfish encounter database.
- A2.2.2. Projects within the North Atlantic right whale educational sign zone (as defined in Section 2.1.1.4) shall post the Help Protect North Atlantic Right Whales sign.
- A2.2.3. On the east coast of Florida, projects located within the St. John's River and those occurring north of the St. Johns River to the Florida-Georgia line shall post the Report Sturgeon sign. On the west coast of Florida, projects occurring from the Cedar Key, Florida north to the Florida-Alabama line.
- A2.2.4. We are still developing the signs to be used in the U.S. Caribbean. Once developed, those signs will be included at the website above.
- A2.3. For commercial, multi-family, or public facilities, monofilament recycling bins must be provided at the docking facility to reduce the risk of turtle or sawfish entanglement in, or ingestion of, marine debris. Monofilament recycling bins must:
- A2.3.1. Be constructed and labeled according to the instructions provided at <http://mrrp.myfwc.com>.
- A2.3.2. Be maintained in working order and emptied frequently (according to <http://mrrp.myfwc.com> standards) so that they do not overflow.
- A2.4. For any dock project (new construction, repair, or replacement) at a private residence located within 11 nautical miles of North Atlantic right whale critical habitat (as measured in a radius from the center of the nearest inlet to open ocean and described in Section 2.1.1.4), the property owner will be provided a handout with their USACE permit describing the presence of North Atlantic right whales in the area and the Federal regulations governing the approach to North Atlantic right whales (Appendix C).
- A2.5. ATONs and PATONs must be approved by and installed in accordance with the requirements of the USCG (see 33 CFR, chapter I, subchapter C, part 66 and RHA Section 10 and any other pertinent requirements).
- A2.6. Chickees must be less than 500 ft² and support no more than 2 slips.
- A2.7. No activities associated with municipal or commercial fishing piers are covered under this Opinion.
- A2.8. Docks installed within visible distance of ocean beaches are required to comply with turtle-friendly lighting, if lighting is necessary to the project. Turtle-friendly lighting is explained and examples are provided on the Florida Fish and Wildlife Conservation Commission website:
<http://myfwc.com/wildlifehabitats/managed/sea-turtles/lighting/>
- A2.9. Project construction will take place from uplands or from floating equipment (e.g., barge); prop or wheel-washing is prohibited.

Project Design Criteria (PDCs) for Gulf Sturgeon Critical Habitat Migratory Restriction Zones

1. This Opinion does not apply to the placement of living shoreline, oyster reef, and artificial reef materials (Activity 7, PDC A7.26) and temporary platform, fill, and cofferdams (Activity 10, PDC A10.11) in Gulf sturgeon critical habitat migratory restriction zones.
2. This Opinion does not apply to new transmission and utility line installation in the Gulf sturgeon critical habitat migratory restriction zones between September and March, when sturgeon are likely to be present in these areas. Emergency repair/replacement of transmission and utility lines may occur in these areas during this time frame if the work is conducted without the use of heavy in-water equipment (e.g., dredging equipment) (Activity 8, PDC A8.10).
3. This Opinion does not apply to the installation of metal piles and metal sheet piles by impact hammer in the areas identified as Gulf sturgeon critical habitat migratory restriction zones.
4. The allowable pile and sheet pile driving activities vary depending on the width of the project action area, as described below.
5. Areas that are 0-500 ft wide: In areas up to 500 ft wide, the allowable pile or sheet pile driving activities within the Gulf sturgeon critical habitat migratory restriction zones are:
 - a. Creating a pilot hole for any type of pile using an auger or drop punch
 - b. Trenching a shoreline with mechanical equipment to create a space to install any type of sheet pile and backfilling behind it
 - c. Installing any type of piles and sheet piles by jetting.
6. Areas that are 501-1,400 ft wide: In areas over 500 ft wide, but less than 1,400 ft wide, the allowable pile or sheet pile driving activities within the Gulf sturgeon critical habitat migratory restriction zones are:
 - a. The activities described in 1-3 above, and
 - b. Installing any type of piles and sheet piles by vibratory hammer.
7. Areas over 1,401 ft wide: In areas 1,401 ft wide or wider, the allowable pile or sheet pile driving activities within the Gulf sturgeon critical habitat migratory restriction zones are:
 - a. The activities described in 1-4 above, and
 - b. Installing wood, vinyl, and concrete piles and sheet piles by impact hammer.

- A. The Projects identified as A above must comply with PDCs identified for all projects in this Opinion. Specific PDCs related to noise include:
1. All work must occur during daylight hours only (PDC AP.6).
 2. All construction personnel are responsible for observing water-related activities to detect the presence of these species and avoid them (PDC AP.7).
- B. The projects identified as B above must follow all of the conditions under A, above, AND also must limit the maximum number of piles installed per day to no more than 10 piles per day.
- C. The projects identified as C above must follow all of the conditions under A, above, AND also must limit the maximum number of piles installed per day to no more than 5 piles per day.
- D. The projects identified as D above must follow all of the conditions under A and B, above, AND also must abide by one of the noise abatement measures below, as chosen by the applicant:
1. Bubble curtain: The bubble curtain design must adhere to the guidelines for unconfined and confined bubble curtains described in Appendix B.
 2. Temporary noise attenuation pile (TNAP) also known as a pile isolation casing: The TNAP design must be constructed of a double-walled tubular casing (a casing within a larger casing), with at least a 5-in-wide area between the casings that is dewatered to create a hollow space or 5-in wide area between the casings completely filled with closed-cell foam or other noise dampening material between the walls. The TNAP must be long enough to be seated firmly on the sea bottom, fit over the pile being driven, and extend at least 3 ft above the surface of the water.
 3. The use of any other alternative noise control method must receive prior approval by NMFS and the USACE, as described in Section 2.3.
- E. The projects identified as E are not covered under this Opinion.



GARLICK ENVIRONMENTAL ASSOCIATES, INC.

SPECIALIZING IN: REGULATORY PERMITS • WETLANDS/UPLAND JURISDICTIONAL
DELINEATIONS • SUBMERGED LAND LEASES • ECOLOGICAL INVENTORY ASSESSMENTS •
CONSERVATION AND OTHER EASEMENTS • EXPERT WITNESS AND ENVIRONMENTAL
LITIGATION SERVICES • MITIGATION • CULTURAL RESOURCE ANALYSIS • CREATIVE
MARINA, DOCK, AND SUBDIVISION DESIGN

LETTER OF TRANSMITTAL

RECEIVED
DEC 02 2021

BY: *mcc*

November 16, 2021

Mr. Allan Pierce
34 Forbes Street, Suite 1
Apalachicola, FL 32320

RE: Construction of a PIER
Carrabelle / Franklin County
GEA File No. 21-257

Please find attached an application for the construction of a Single Family Pier. The proposed project is located in Section 29, Township 9 South, Range 6 St. George Island Plantation, Franklin County, FL. The location of the parcel is accessible via St George Island. Upon approaching the island, continue on Franklin Blvd until you reach the dead-end. Turn right on Gorrie Drive and continue for a distance of approximately 2.10 mile to the gate of the entrance to St George Island Plantation. From the entrance gate the site is 1.18 miles, site being on the right.

The water body at the project site is a tributary of the Apalachicola Bay/Class II / OFW / AP. The existing condition at the project is a developed parcel with several buildings belonging to the SGI- POA. The materials to be used to construct the proposed dock will be transported to the site by truck.

Turbidity Curtains will be deployed around the construction area and will remain until the proposed project is completed and turbidity has returned to normal.

Evidence of title to the subject riparian upland property is attached in the form of a Warranty Deed. The upland area is presently zoned as residential and no changes are proposed.

If you have any questions or need any additional assistance, please do not hesitate to call us at (805) 653-8899 or email uslan@garlickenv.com or maryann@garlickenv.com.

Sincerely,

Mary Ann Wasmund, Permit Specialist
Garlick Environmental Associates, Inc.

Attachments



APPLICATION FOR DEVELOPMENT

FRANKLIN COUNTY BUILDING DEPARTMENT

34 Forbes Street, Suite 1, Apalachicola, Florida 32320

Phone: 850-653-9783 Fax: 850-653-9799

http://www.franklincountyflorida.com/planning_building.aspx

PERMIT # _____

FEE: \$ _____

RADON: \$ _____

TOTAL: \$ _____

NOTE TO APPLICANTS AND PERMIT HOLDERS:

VIOLATIONS OF THE TERMS AND CONDITIONS OF THIS PERMIT MAY WARRANT A STOP WORK ORDER OR REVOCATION OF THIS PERMIT. THIS PERMIT IS VALID FOR ONE YEAR FROM THE DATE OF ISSUANCE.

CONSTRUCTION MUST COMMENCE WITHIN SIX MONTHS OF THIS DATE:

ISSUANCE DATE: _____ EXPIRES: _____

- ☐ New Constuction
- ☐ Commercial
- ☐ Residential
- ☐ Substantial Improvement
- ☐ Less than Substantial

APPLICATION MUST BE COMPLETE: (Incomplete applications will be review once it has)

Property Owner/s: Resort Village Common Area - SGI, POA c/o Drew Roberston

Contact Information: Home #: _____ Cell #: 850-210-9257

Mailing Address: Not Available City/State/Zip: Not Available

EMAIL Address: drew@sgipoa.com

Contractor Name: _____ Business Name: _____

Contact Information: Office #: _____ Cell #: _____

State License #: _____ County Registration #: _____

Mailing Address: _____ City/State/Zip: _____

EMAIL Address: _____

PROPERTY DESCRIPTION: 911 Address: St George Island POA - Common Area

Lot/s: _____ Block: _____ Subdivision: _____ Unit: _____

Parcel Identification #: 29-09S-06W-7375-0000-000M

JURISDICTION: ☒ Franklin County

☐ Apalachicola ☐ Eastpoint ☒ St. George Island ☐ Carrabelle ☐ Dog Island ☐ Lanark/ St. James ☐ St. Teresa ☐ Alligator Point

DESCRIPTION OF DEVELOPMENT: Construction of a Pier

ZONING DISTRICT: _____ **CONTRACT COST:** _____

HEATED SQ FT: _____ **UN-HEATED SQ FT:** _____ **TOTAL SQUARE FOOT:** _____

ROOF MATERIAL: _____ **FOUNDATION TYPE:** _____ **LOT DEMENSION:** _____

NO. OF STORIES: _____ **STORAGE SQ FOOTAGE:** _____ **GAS UTILITIES:** _____

(Requires Building or General Contractor if over 2 habitable stories including mezzanines.)

(VE Zones: 299 Sq. Foot or Less and MUST be certified breakaway construction by Engineer)

SEPTIC TANK PERMIT # _____ **OR SEWER DISTRICT:** _____

WATER DISTRICT: _____ **OR PRIVATE WELL:** _____

WATER BODY: Tributary of Apalachicola Bay, which is an OFW and an Aquatic Preserve.

CRITICAL SHORELINE DISTRICT: YES OR NO ☐ **CRITICAL HABITAT ZONE:** YES OR NO ☐

FLOOD ZONE INFORMATION: EFFECTIVE DATE: February 5, 2014

PANEL NUMBER: _____ **FIRM ZONE/S:** _____

ELEVATION REQUIREMENTS AS PER SURVEY: _____

☐ Requires V-Zone Certification ☐ Requires Elevation Certificates ☐ Requires Smart Vents ☐ Requires Breakaway Walls

BUILDING OFFICIAL _____ **DATE** _____ **FLOODPLAIN ADMIN.** _____ **DATE** _____ **OWNER/CONTRACTOR** _____ **DATE** _____

SUPPLEMENTAL APPLICATION

- 1- Proposed Alteration of the Land:
 - Determination of COE & DEP Wetlands: _____
 - Amount and location of Fill to be placed on property: _____
 - Percentage of land to be placed in impervious surface: _____
- 2- Critical Shoreline Inspection:
 - Construction to be a minimum of 50 feet from the mean high water or wetland: _____
(Must be indicated on submitted site plan)
 - Construction within 50 feet of the mean high water or wetlands: _____
 - Attach the Board of Adjustment Approval: Date of Approval: _____
(Expires One Year From Approval Date)
- 3- Elevation Requirements:
 - FLOOD ZONE: _____ BASE FLOOD ELEVATION: _____
 - LOWEST BASE FLOOD ELEVATION AT BUILDING SITE: _____
 - A/AE/AH/AO ZONES: Elevation of bottom of the first floor: _____
 - VE Zones: Elevation of the first floor horizontal support structure: _____

DEVELOPMENT APPLICATION CHECKLIST

RESIDENTIAL:

FORMS REQUIRED IN FLOOD ZONES: (Additional)

- _____ Application
- _____ Supplemental Application
- _____ Boundary Survey (Non-Flood Zones)
- _____ Site Plan
- _____ Septic Tank Permit
- _____ Water & Sewer Letter
- _____ Energy Code Form
- _____ 2 Complete Sets of Building Plans
- ☐ Wind Load Analysis ☐ Engineered
- _____ State Permits
- ☐ DEP Permits ☐ COE Permits ☐ FDOT Permits
- _____ Structure Height & Number of Stories Affidavit
- _____ Portable Toilet Agreement
- _____ Owner/Builder Affidavit
- _____ Dumpster Affidavit
- _____ Termite Affidavit
- _____ Turtle Light Affidavit (If Applicable)
- _____ Recorded Notice of Commencement

- _____ Topographical Survey
- _____ Flood Plain Management Review
- _____ V Zone Certification (If Applicable)
- _____ Smart Vent Certification (If Applicable)
- _____ Elevation Affidavit
- _____ Non Conversion Agreement

COMMERCIAL: (Additional to Residential)

- _____ P&Z Approval Notice
- _____ BOA Approval Notice
- _____ BCC Approval Notice
- _____ DEP Storm Water Permit/Exemption
- _____ DBPR Approval
- _____ Parking Plan
- _____ Flood Proofing Certification (If Applicable)

SUB-CONTRACTOR LIST

PLEASE BE ADVISED THAT ALL CONTRACTORS DOING WORK IN FRANKLIN COUNTY MUST BE REGISTERED IN FRANKLIN COUNTY PRIOR TO PERFORMING ANY WORK IN THIS COUNTY. ALL GENERAL, RESIDENTIAL & BUILDING, ELECTRICAL, PLUMBING, HVAC & ROOFING CONTRACTOR'S ARE REQUIRED TO PULL PERMITS ON ALL NEW, RENOVATIONS, REMODEL PROJECTS.

CONTRACTOR OR OWNER HAS CONTRACTED WITH THE FOLLOWING (OWNER/BUILDERS ARE NOT ALLOWED TO HIRE SPECIALTY FRAMING CONTRACTORS) ALL CONTRACTOR'S & SUBCONTRACTOR'S MUST BE REGISTERED WITH FRANKLIN COUNTY AND ALL APPLICABLE PERMITS MUST BE OBTAINED BEFORE COMMENCING WORK.

- | | | | |
|-------------------|-------------------------------------|-------------------|-------------------------------------|
| Contractor: _____ | <input type="checkbox"/> Registered | Insulation: _____ | <input type="checkbox"/> Registered |
| Electrical: _____ | <input type="checkbox"/> Registered | Painting: _____ | <input type="checkbox"/> Registered |
| Plumbing: _____ | <input type="checkbox"/> Registered | Framing: _____ | <input type="checkbox"/> Registered |
| HVAC: _____ | <input type="checkbox"/> Registered | Masonry: _____ | <input type="checkbox"/> Registered |
| Roofing: _____ | <input type="checkbox"/> Registered | Tile: _____ | <input type="checkbox"/> Registered |
| Propane: _____ | <input type="checkbox"/> Registered | Siding: _____ | <input type="checkbox"/> Registered |
| Concrete: _____ | <input type="checkbox"/> Registered | Other: _____ | <input type="checkbox"/> Registered |
| Piling: _____ | <input type="checkbox"/> Registered | Other: _____ | <input type="checkbox"/> Registered |

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.



APPLICANT/CLIENT: SGIPOA c/o Drew Robertson

JOB: 21-257

WATERBODY/CLASS: Tributary to Apalachicola Bay/Class II/OFW

DEP:

PURPOSE: Environmental Permitting

COE:

PROJECT LOCATION / USGS: St George Island POA / Franklin County

OTHER: Revised 11-30-21

LATITUDE: 29° 38' 38.99"

DATE: September 21, 2021

LONGITUDE: 84° 54' 44.37"

SHEET: 1/4

SECTION: 29 TOWNSHIP: 9 South RANG: 6 West



PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

APPLICANT/CLIENT: SGIPOA c/o Drew Robertson

WATERBODY/CLASS: Tributary to Apalachicola Bay/Class II/OFW

PURPOSE: Environmental Permitting

PROJECT LOCATION / USGS: St George Island POA / Franklin County

LATITUDE: 29° 38' 38.99"

LONGITUDE: 84° 54' 44.37"

JOB: 21-257

DEP:

COE:

OTHER: Rev. 11-30-21

DATE: September 21, 2021

SHEET: 3/4



SECTION: 29 TOWNSHIP: 9 South CURTAIN
RNG: 6 West

TERMINUS

8'X20'

W/ TWO
STEP DOWNS

4'

35'

22'

10'

234'

N54°25'40"E
50.41'

N65°40'58"E
110.97'

S18°42'44"W
40.54'

S23°09'19"W
45.95'

152'

SCALE 1" = 40'

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

(850) 653-8899

FAX (850) 653-9656

garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: SGIPOA c/o Drew Robinson

WATERBODY/CLASS: Tributary of Apalachicola Bay

PURPOSE: Dock

PROJECT LOCATION / USGS: SGIPOA - Franklin County

LATITUDE: 84° 54' 44.37"

LONGITUDE: 29° 38' 38.99"

SECTION: 29 TOWNSHIP: 9 South

RANGE: 6 West

JOB: 21-257

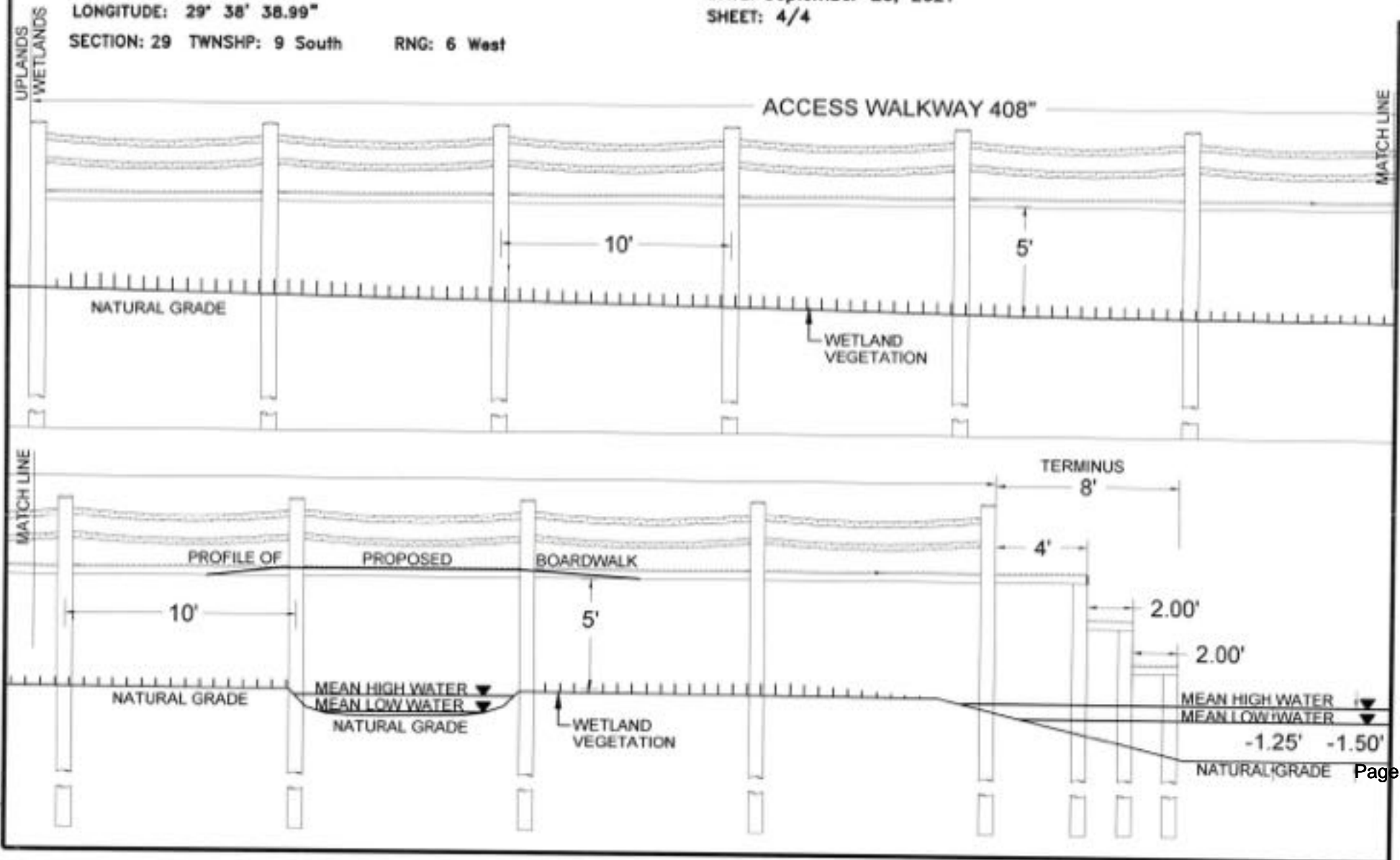
DEP:

COE:

OTHER: Revised 11-30-21

DATE: September 20, 2021

SHEET: 4/4

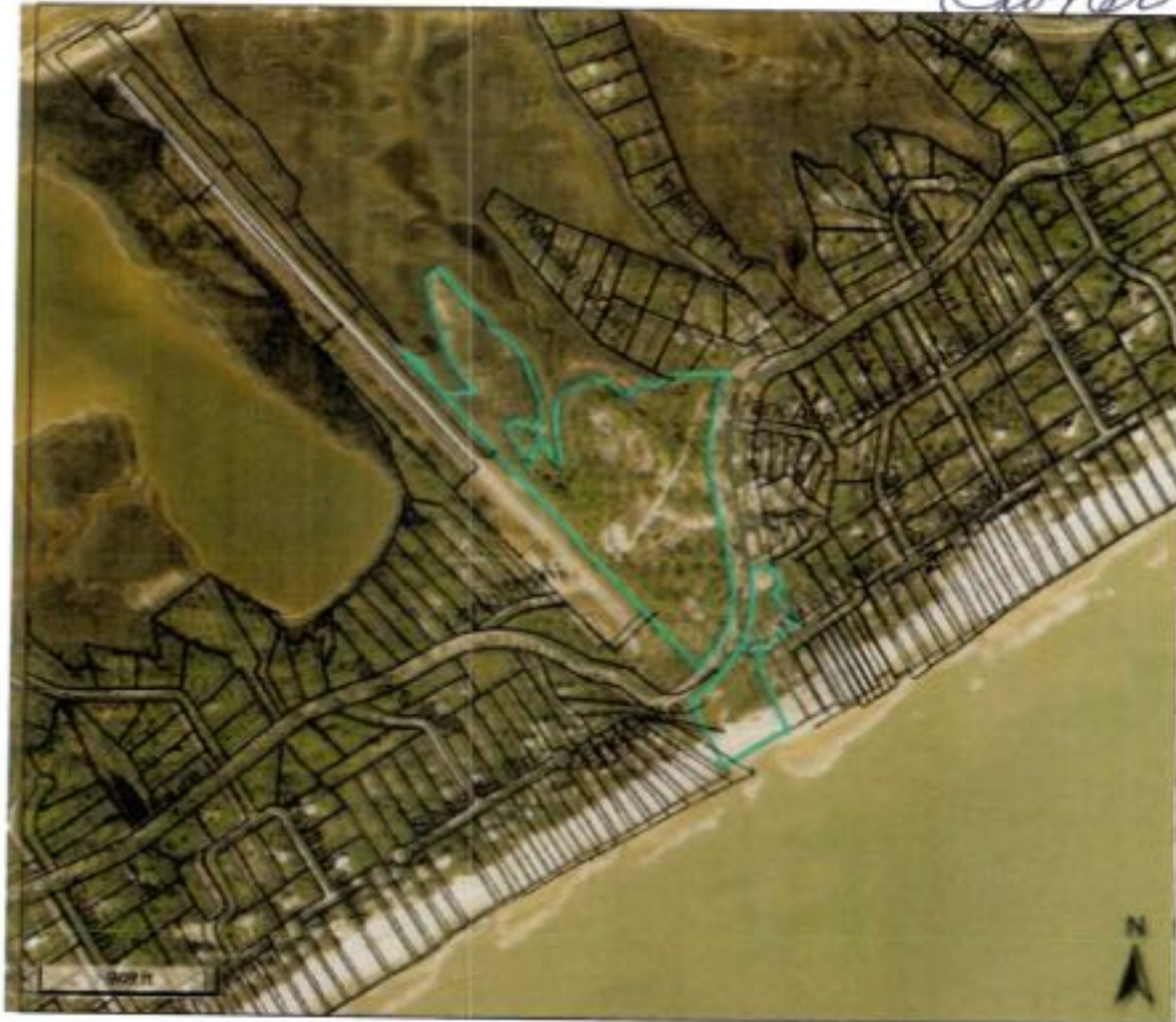




qPublic.net

Franklin County, OH

Owner



Overview



Legend

- Parcels
- Roads
- City Labels

Parcel ID 29-095-06W-7375-0000-0C0M
Sec/Twp/Rng n/a
Property Address
District n/a
Brief Tax Description n/a

Alternate ID n/a
Class n/a
Acreage n/a

Owner Address n/a

(Note: Not to be used on legal documents)

Date created: 8/30/2021
Last Data Uploaded: 8/30/2021 7:43:42 AM

Developed by Schneider
GEOSPATIAL

Parcel Summary

Parcel ID 29-095-06W-7375-0000-0COM
Location Address 1488 LETSURE LN
 ST GEORGE ISLAND
Brief Tax Description* RESORT VILLAGE III COMMON AREA PB 11/7-9
*The Description above is not to be used on legal documents.
Property Use Code COMMON ARE (013000)
Sec/Twp/Rng 29-95-6W
Tax District County (District 1)
Millage Rate 11.2322
Acreage 0.000
Homestead N

Map Not Available

Owner Information

Primary Owner
[Resort Village III](#)

Valuation

	2021 Certified	2020 Certified
Building Value	\$0	\$0
Extra Features Value	\$0	\$0
Land Value	\$0	\$0
Land Agricultural Value	\$0	\$0
Agricultural (Market) Value	\$0	\$0
Just (Market) Value	\$0	\$0
Assessed Value	\$0	\$0
Exempt Value	\$0	\$0
Taxable Value	\$0	\$0
Maximum Save Our Homes Portability	\$0	\$0

Just (Market) Value description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

No data available for the following modules: Land Information, Residential Buildings, Commercial Buildings, Extra Features, Sales, TRIM Notice 2021, TRIM Notice 2020, TRIM Notice 2019, Sketches, Generate Owner List by Radius.

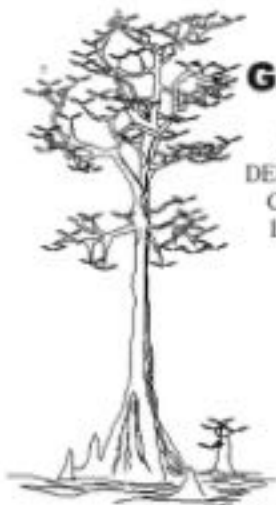
Franklin County makes every effort to provide the most accurate information possible. No warranties, express or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified tax roll. All data is subject to change before the next certified tax roll.

[User Privacy Policy](#)
[GDPR Privacy Notice](#)

Last Data Update: 12/2/2021, 7:49:09 AM

Developed by


Document 233 of 4



GARLICK ENVIRONMENTAL ASSOCIATES, INC.

SPECIALIZING IN: REGULATORY PERMITS • WETLANDS/UPLAND JURISDICTIONAL
DELINEATIONS • SUBMERGED LAND LEASES • ECOLOGICAL INVENTORY ASSESSMENTS •
CONSERVATION AND OTHER EASEMENTS • EXPERT WITNESS AND ENVIRONMENTAL
LITIGATION SERVICES • MITIGATION • CULTURAL RESOURCE ANALYSIS • CREATIVE
MARINA, DOCK, AND SUBDIVISION DESIGN

LETTER OF TRANSMITTAL

RECEIVED
DEC 02 2021

BY: MCC

December 1, 2021

FDEP / Northwest District
160 W. Government Street
Suite 308
Pensacola, FL 32502

RE: Construction of a Dock
St George Island / Franklin County
GEA File No. 21-311 First Baptist Church c/o Mike Whaley

Please find an application for the construction of a Single Family Dock. The proposed project is located in Section 29, Township 9 South, Range 6 West Apalachicola Bay/ ClassII / OFW / AP in Franklin County, FL. The location of the parcel is accessible traversing over the Apalachicola Bridges. (See Attached Location Map). Upon arriving on St George Island, continue a short distance from the bridge and turn left on East Pine Avenue and continue for a distance of 0.62 miles. Turn left onto 5th Street East Continue around curve and turn left onto dirt road named Austin Street.. You will note several building on your left, continue around on the dirt road and site will be on the right across from the buildings. The water body at the project site is Apalachicola Bay, which is an OFW, and an Aquatic Preserve. The existing condition at the project site is a vacant parcel. The linear foot adjacent to the shoreline is 497 ft.

The proposed project consists of construction of a Pier that will be constructed 150 ft. in length and 4 ft. in width. The terminus of the pier will be constructed 20 ft. in length and 8 ft. in width for a total of 160 Sq Ft. The total square footage of the proposed dock is 680 Sq. Ft.

The pilings will be jetted. Turbidity Curtains will be deployed around the construction area and will remain until the proposed project is completed and turbidity has returned to normal.

The materials to be used to construct the proposed dock will be transported to the site by truck. Evidence of title to the subject riparian upland property is attached in the form of a Warranty Deed. The upland area is presently zoned as "churches" and no changes are proposed.

If you have any questions or need any additional assistance, please do not hesitate to call us at (805) 653-8899 or email us dan@garlickenv.com or maryann@garlickenv.com.

Sincerely,

A handwritten signature in black ink, appearing to read "Mary Ann Wasmund". The signature is fluid and cursive, with a large loop at the end.

Mary Ann Wasmund, Permit Specialist
Garlick Environmental Associates, Inc.

Attachments

Notice of Intent to Use an Environmental Resource General Permit

Instructions: This form is for projects that qualify for a General Permit in accordance with Chapter 62-330 F.A.C. General Permits (GP) are provided for certain activities that have been determined to have minimal impacts to the water resources of the state when conducted in compliance with the terms and conditions of the general permit. Complete and submit this form to the appropriate agency as identified in Part 3 below.

If activity is located on, or has the potential to be located on, state-owned sovereignty submerged lands (SSL), the reviewing Agency will begin processing the request for state-owned sovereignty submerged lands authorization. If you know that your project is located on SSL, (i.e., waterward of the line of mean or ordinary high water of rivers, streams, bays, bayous, sounds, the Gulf of Mexico, the Atlantic Ocean, or certain natural lakes, we recommend completing Section F of the Environmental Resource Permit Application. You are not required to complete Section F to receive a General Permit, but it will help the agency process the SSL authorization. Both authorizations are required prior to construction on SSL.

Part 1: General Information

A. Rule section number of the GP or which you are applying: 62-330. , F.A.C.

We recommend contacting your local Corps district office if your project does not qualify for the State Programmatic General Permit (SPGP) and you are not sure whether the project requires separate Corps authorization. If Corps authorization is required, you will need to submit the appropriate federal application form separately to the Corps. Corps contact information may be found online at the Jacksonville District Regulatory Division website.

B. Applicant ☐ This is a Contact Person for Additional Information

Name: Last: Whaley First: Mike Middle:

Title: Company: First Baptist Church of SGI

Address: Post Office Box 558

City: Eastpoint State: FL Zip: 32328

Home Telephone: 850-370-6080 Work Telephone:

Cell Phone:

E-mail Address: fbcsgi@mchsi

Correspondence will be sent via email, unless you check here to receive it via ☐ US Mail



C. Consultant/Agent ☐ This is a Contact Person for Additional Information

Name: Last: Wasmund First: Mary Middle: Ann
Title: Permit Specialist Company: Garlick Environmental Assoc., Inc
Address: Post Office Box 385
City: Apalachicola State: FL Zip: 32329
Home Telephone: Work Telephone: 850-653-8899
Cell Phone: 850-323-1054
E-mail Address: maryann@garlickenv.com

Correspondence will be sent via email, unless you check here to receive it via ☐ US Mail

D. Land Owner(s) (If Different or in Addition to Applicant Identified Above)

Name: Last: Whaley First: Mike Middle:
Title: Company: SGI Baptist Church
Address: 501 E. Bayshore Drive
City: St George Island State: FL Zip: 32328
Home Telephone: Work Telephone:
Cell Phone:
E-mail Address: fbcsgi@mchsi

Correspondence will be sent via email, unless you check here to receive it via US Mail: ☐

E. Location of proposed activities:

Tax Parcel Identification Number: 29-09s-06w-7314-0029-0010
Address: 501 East Bayshore Drive
City: St George Island County: Franklin Zip: 32328
Latitude (DMS) 29 ° 40 ' 12.20 " Longitude (DMS) 84 ° 51 ' 18.55 "

F. Date activity is proposed: To Commence: Upon Permit Issuance To be Completed: Within 2 years

G. Describe in general terms the proposed project, system, or activity:

Construction of a pier, 150' x 4' access walkway and a terminus with 2 step downs each 4' x 20'. Total 760 Sq Ft

H. Describe wetland and aquatic habitats to be affected:

Apalachicola Bay

I. Construction methods and schedule:

Piles will be jetted, work will be done during daylight hours

J. Additional information that demonstrates that you qualify for the general permit, addressing all the parameters, thresholds, and conditions required in the general permit.

Part 2: Certification

I hereby certify I have read and will conduct the above activities in accordance with the criteria, limitations, and specific conditions of the general permit identified in Part 1 Section A, and in accordance with the general conditions of Rule 62-330.405, F.A.C. Unless otherwise provided in Chapter 62-330, F.A.C., activities conducted pursuant to the above general permit may commence thirty (30) days after providing written notice to the Department of Environmental Protection or the Water Management District, along with any required additional documentation which may be required to fulfill the requirements of the general permit, unless the Agency responds that the proposed work does not qualify for a general permit.

I understand I may have to provide any additional information/data that may be necessary to provide reasonable assurance or evidence that the proposed project will comply with the applicable state water quality standards or other environmental standards both before construction and after the process is completed.

I further acknowledge that work done under this general permit may also require the review and approval of other federal, state, or local agencies, and that commencement of construction before such federal, state, or local agency approvals or permits are obtained may subject me to enforcement action and fines or penalties by such agencies. Further, the work shall be conducted in a manner that does not violate applicable water quality standards.

Mary Ann Wasmund

Typed/Printed Name of Applicant or Agent

Signature of Applicant or Agent

Date 12-2-21

An Agent May Sign Above If Applicant Completes the Following:

I hereby designate and authorize the agent listed in Item Part 1 Section C to act on my behalf as my agent in the processing of this permit application and to furnish on request, supplemental information in support of the application.

Mike Whaley

Typed/Printed Name of Applicant
(And corporate title, if applicable)

Signature of Applicant

Date

Certification of Sufficient Real Property Interest and Authorization for Staff to Access the Property:

I certify that:

☒ I possess sufficient real property interest in or control, as defined in Section 4.2.3 (d) of Applicant's Handbook Volume I, over the land upon which the activities described in this application are proposed and I have legal authority to grant permission to access those lands. I hereby grant permission, evidenced by my signature below, for staff of the Agency to access, inspect, and sample the lands and waters of the property as necessary for the review of the proposed works and other activities specified in this application. I authorize these agents or personnel to enter the property as many times as may be necessary to make such review, inspection, and/or sampling. Further, I agree to provide entry to the project site for such agents or personnel to monitor and inspect permitted work if a permit is granted.

OR

☐ I represent an entity having the power of eminent domain and condemnation authority, and I/we shall make appropriate arrangements to enable staff of the Agency to access, inspect, and sample the property as described above.

Mike Whaley

Typed/Printed Name of Applicant
(And corporate title, if applicable)

Signature of Applicant

Date

Part 3: Submittal

In addition to the information described in this form, any Notice of Intent to use a General Permit must also include the following, as described in Section 4.2.2 of the Applicant's Handbook, Volume I:

- Location map(s) of sufficient detail to allow someone who is unfamiliar with the site to travel to and locate the specific site of the activity.
- One set of plans and drawings, calculations, environmental information, and other supporting documents that clearly and legibly depict and describe the proposed activities in sufficient detail to demonstrate that the work qualifies for the specified General Permit.
- The required fee, made payable to the appropriate agency.

Fees for the appropriate agency are established in the rules adopted in subsection 62-330.071(1), F.A.C., as listed below:

Rule 62-4.050, F.A.C. (Department of Environmental Protection or the Northwest Florida Water Management District)

Rule 40B-1.706, F.A.C. (Suwannee River Water Management District)

Rule 40C-1.603, F.A.C. (St. Johns River Water Management District)

Rule 40D-1.607, F.A.C. (Southwest Florida Water Management District)

Rule 40E-1.607, F.A.C. (South Florida Water Management District)

Operating Agreements between the Department and the water management districts specify which agency will process any given application. For copies of the operating agreements, go to <https://floridadep.gov/ogc/ogc/content/operating-agreements>

This application form may be submitted online; to do so, follow the on-line submittal requirements of the agency:

- o Florida Department of Environmental Protection: <http://www.fldepportal.com/go/>
- o Northwest Florida Water Management District: <https://permitting.sjrwmd.com/nwep/permitting/jsp/start.jsp>
- o Suwannee River Water Management District: <https://permitting.sjrwmd.com/sre/permitting/jsp/start.jsp>
- o St. Johns River Water Management District: <https://permitting.sjrwmd.com/epermitting/jsp/AccountOverview.do?command=init>
- o Southwest Florida Water Management District: <http://www.swfwmd.state.fl.us/permits/epermitting/>
- o South Florida Water Management District: <http://my.sfwmd.gov/ePermitting/MainPage.do>

If submitting a paper application, please see Appendix A of Applicant's Handbook, Volume I for submittal locations.

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

(850) 653-8899

FAX (850) 653-9656

garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: First Baptist Church

WATERBODY/CLASS: Apalachicola Bay / ClassII / OFW / AP

PURPOSE: Environmental Permitting

PROJECT LOCATION / USGS: St George Island / Franklin County

LATITUDE: 29° 40' 12.20"

LONGITUDE: 84° 51' 18.55"

SECTION: 29 TOWNSHIP: 9 South

RNG: 6 West

JOB: 21-311

DEP:

COE:

OTHER:

DATE: December 1, 2021

SHEET: 1/4

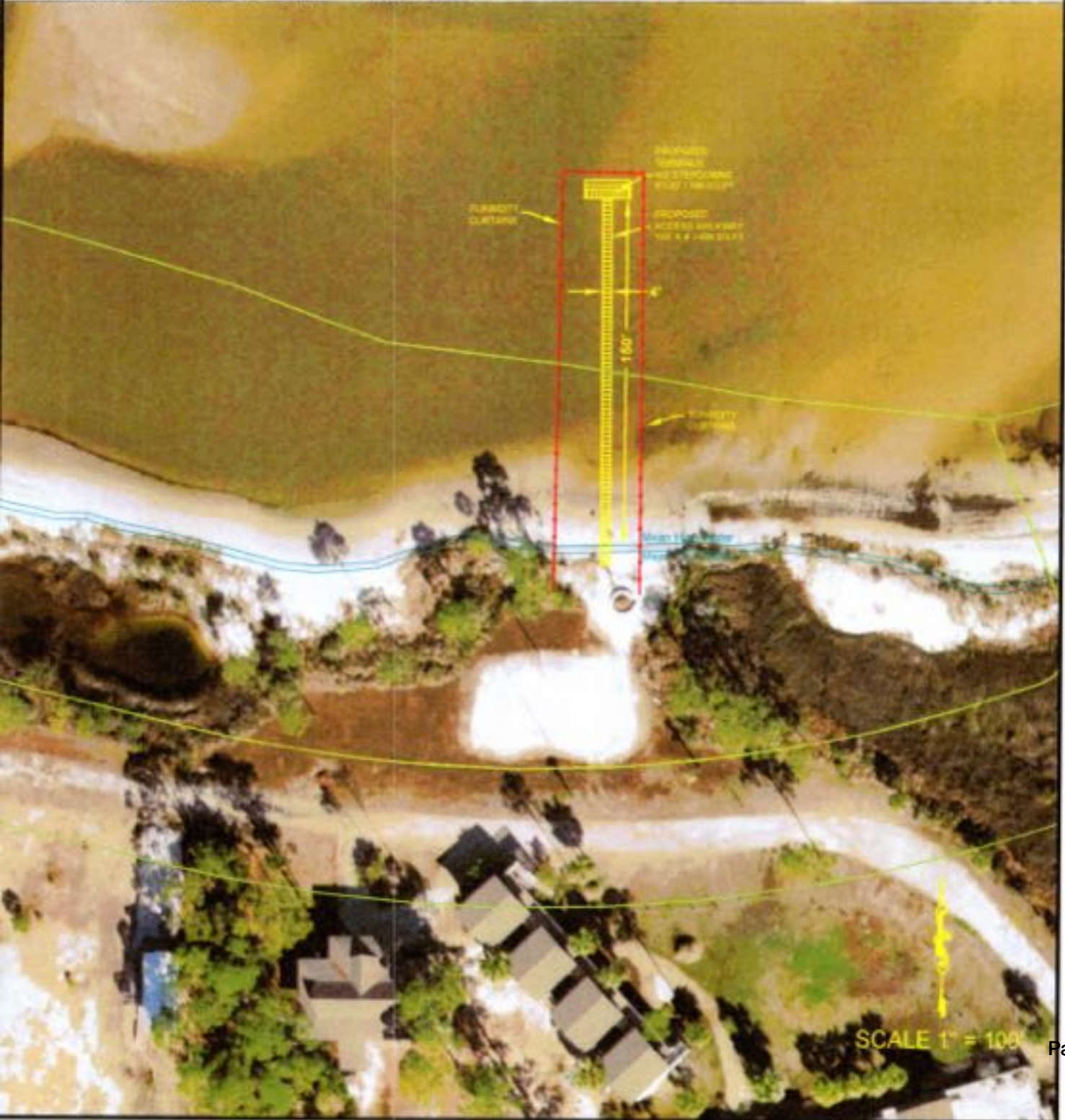


PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.



APPLICANT/CLIENT: First Baptist Church
WATERBODY/CLASS: Apalachicola Bay / Class II / OFW / AP
PURPOSE: Environmental Permitting
PROJECT LOCATION / USGS: Franklin County
LATITUDE: 29° 40' 12.20"
LONGITUDE: 84° 51' 18.55"
SECTION: 29 TOWNSHIP: 9 South RANG: 6 West

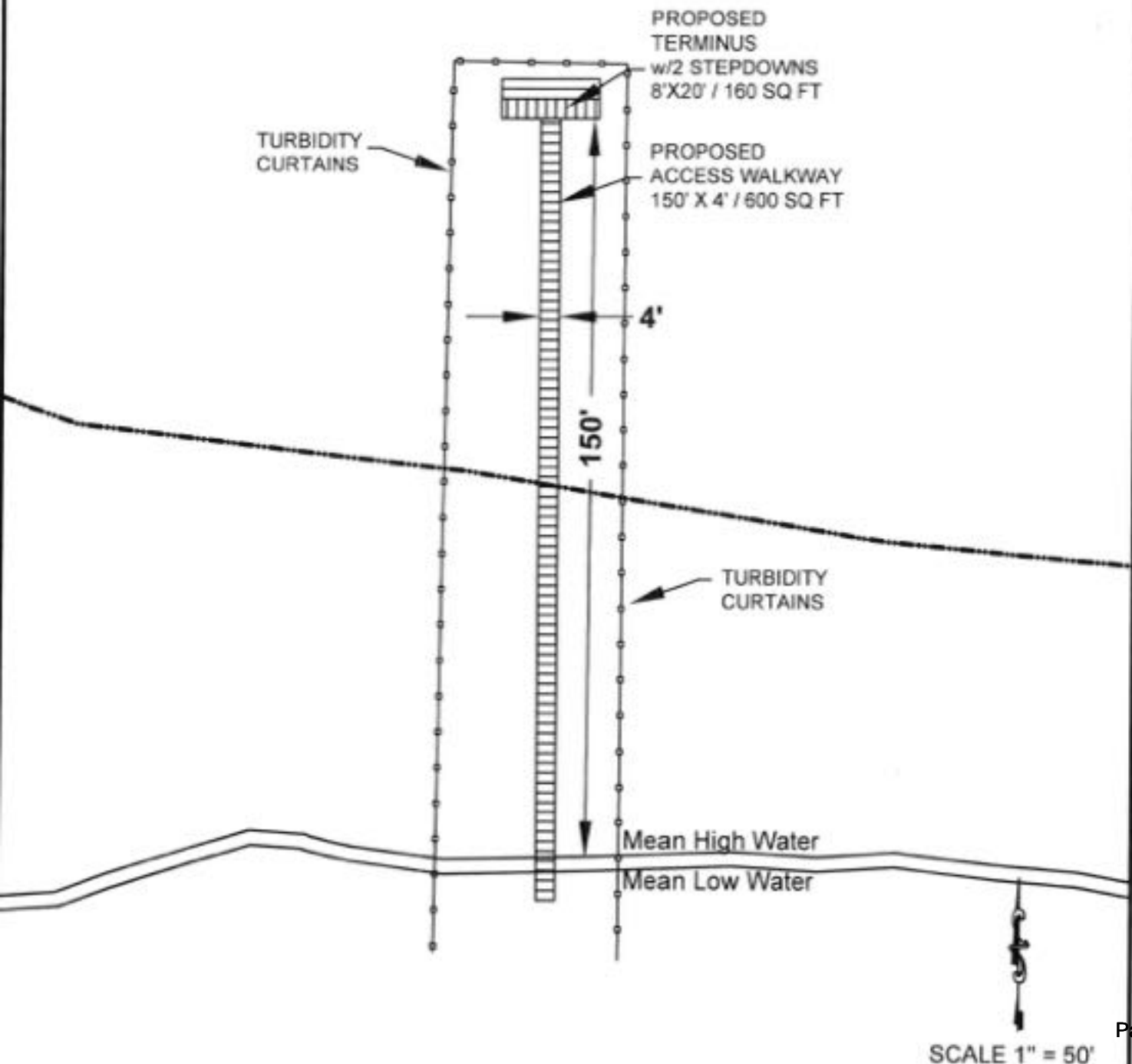
JOB: 21-311
DEP:
COE:
OTHER:
DATE: December 1, 2021
SHEET: 2/4



PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

APPLICANT/CLIENT: Frist Baptist Church
WATERBODY/CLASS: Apalachicola Bay / Class II / DFA / AP
PURPOSE: Environmental Permitting
PROJECT LOCATION / USGS: St George Island / Franklin County
LATITUDE: 29° 40' 12.20"
LONGITUDE: 84° 31' 18.55"
SECTION: 29 TOWNSHIP: 9 South RANG: 6 West

JOB: 21-311
DEP:
COE:
OTHER:
DATE: December 1, 2021
SHEET: 3/4



PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

(850) 653-8899

FAX (850) 653-9656

garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: First Baptist Church

WATERBODY/CLASS: Apalachicola Bay / ClassII / OFW / AP

PURPOSE: Environmental Permitting

PROJECT LOCATION / USGS: St George Island / Franklin County

LATITUDE: 29° 40' 12.20"

LONGITUDE: 84° 51' 18.55"

SECTION: 29 TOWNSHIP: 9 South

RANGE: 6 West

JOB: 21-311

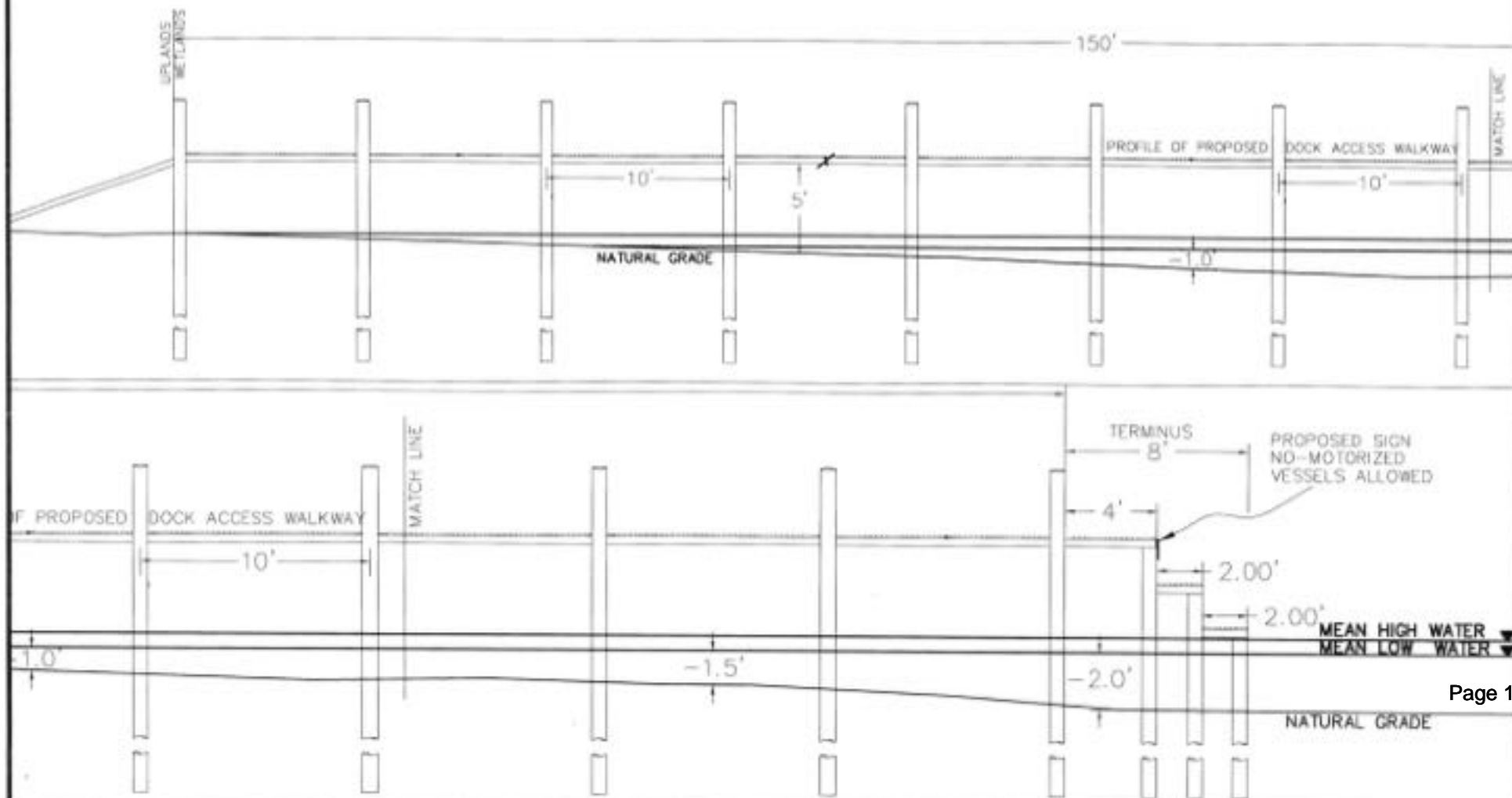
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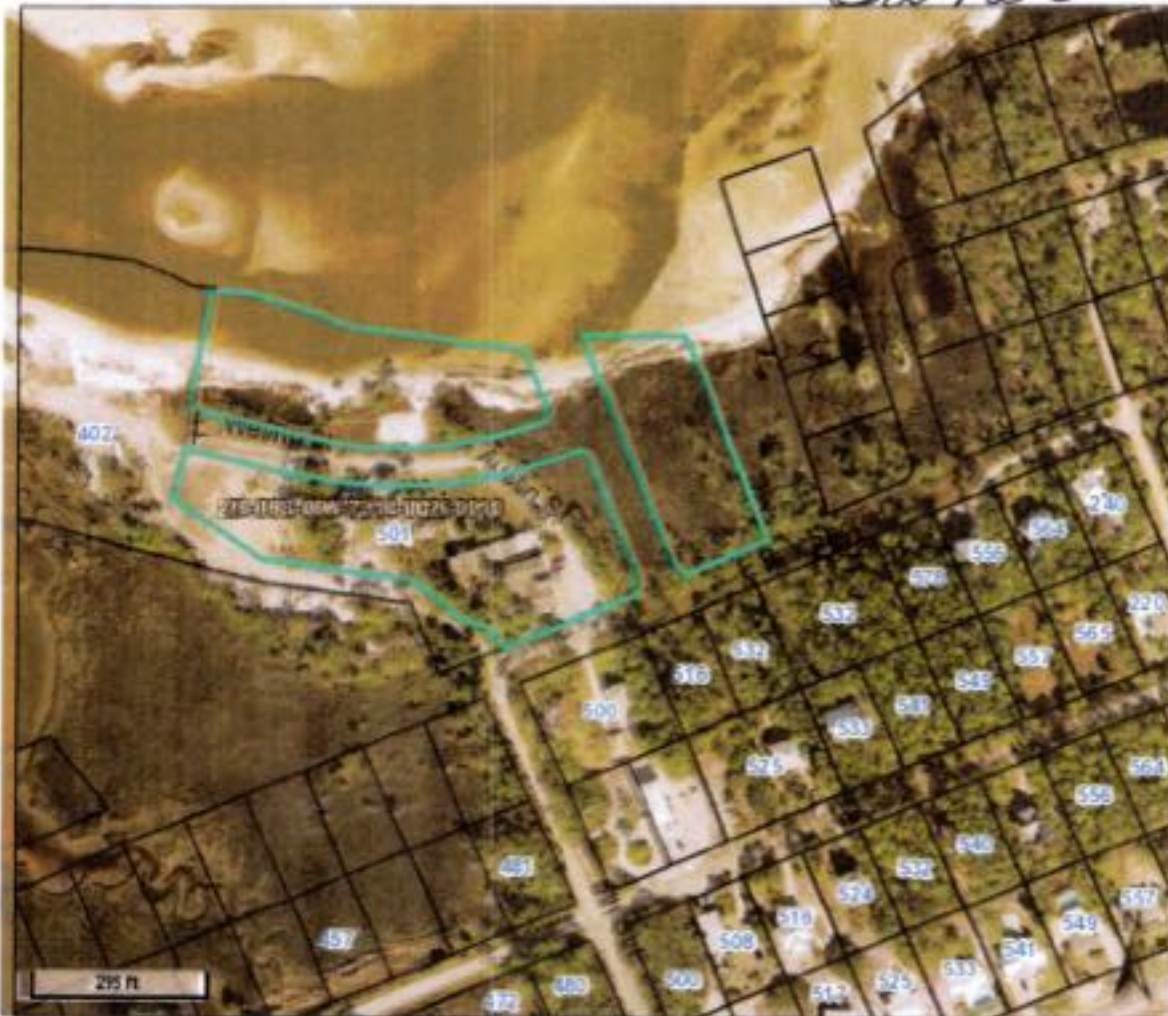
OTHER:

DATE: December 1, 2021

SHEET: 4/4



Owner



Overview



Legend

- ☐ Parcels
- ☐ Roads
- ☐ City Labels

Parcel ID	29-095-06W-7314-0029-0010	Alternate ID	06W09529731400290010	Owner Address	FIRST BAPTIST CHURCH
Sec/Twp/Rng	29-95-6W	Class	CHURCHES		OF ST GEORGE ISLAND
Property Address	501 EAST BAYSHORE DR	Acreage	n/a		501 E. BAYSHORE DR
	ST GEORGE ISLAND				ST GEORGE ISLAND, FL 32328
District	1				
Brief Tax Description	UNIT 4 BL 29 ALL OF LOTS 15,16				
	(Note: Not to be used on legal documents)				

Date created: 11/22/2021
Last Data Uploaded: 11/22/2021 7:58:28 AM

Developed by Schneider
GEOSPATIAL



Parcel Summary

Parcel ID 29-09S-06W-7314-0029-0010
 Location 501 EAST BAYSHORE DR
 Address ST GEORGE ISLAND 32328
 Brief UNIT 4 BL 29 ALL OF LOTS 15,16,17,18, AND A PORTION OF LOTS 10,11,12,13,14 AND 19 ALSO UNIT 4 BL 30 ALL OF LOTS 8,9,10,11,12 AND A
 Tax Description* PORTION OF LOT 7 ORB 164/532 196/582 1144/471
*The Description above is not to be used on legal documents.
 Property Use CHURCHES (007100)
 Code
 Sec/Twp/Rng 29-05-6W
 Tax District County (District 1)
 Millage Rate 11.2322
 Acreage 0.000
 Homestead N

[View Map](#)

Owner Information

Primary Owner
 First Baptist Church
 Of St George Island
 501 E. Bayshore Dr
 St George Island FL 32328

Land Information

Code	Land Use	Number of Units	Frontage	Depth
007100	CHURCH	567.00	0	0
007100	CHURCH	619.00	0	0
007100	CHURCH	280.00	0	0

Residential Buildings

Building 1
 Type CHURCH
 Total Area 1,860
 Heated Area 1,248
 Exterior Walls AVERAGE, BD/BATTEN
 Roof Cover COMP SHNGL
 Interior Walls DRYWALL
 Frame Type N/A
 Floor Cover SHT VINYL, CARPET
 Heat AIR DUCTED
 Air Conditioning CENTRAL
 Bathrooms 2
 Bedrooms 0
 Stories 1
 Effective Year Built 1986

Building 2
 Type SGT SF
 Total Area 1,800
 Heated Area 1,300
 Exterior Walls AVERAGE, WD ON PLY
 Roof Cover COMP SHNGL
 Interior Walls DRYWALL
 Frame Type N/A
 Floor Cover SHT VINYL, CARPET
 Heat AIR DUCTED
 Air Conditioning CENTRAL
 Bathrooms 2
 Bedrooms 0
 Stories 1
 Effective Year Built 1986

Building 3
 Type CHURCH
 Total Area 3,250
 Heated Area 2,000
 Exterior Walls BD/BATTEN
 Roof Cover COMP SHNGL
 Interior Walls DRYWALL

Frame Type WOOD FRAME
 Floor Cover SHT VINYL
 Heat AIR DUCTED
 Air Conditioning CENTRAL
 Bathrooms 0
 Bedrooms 0
 Stories 0
 Effective Year Built 2003

Building 4
 Type CHURCH
 Total Area 4,817
 Heated Area 3,567
 Exterior Walls BD/BATTEN
 Roof Cover COMP SHINGL
 Interior Walls DRYWALL
 Frame Type WOOD FRAME
 Floor Cover SHT VINYL
 Heat AIR DUCTED
 Air Conditioning CENTRAL
 Bathrooms 0
 Bedrooms 0
 Stories 1
 Effective Year Built 2005

Sales

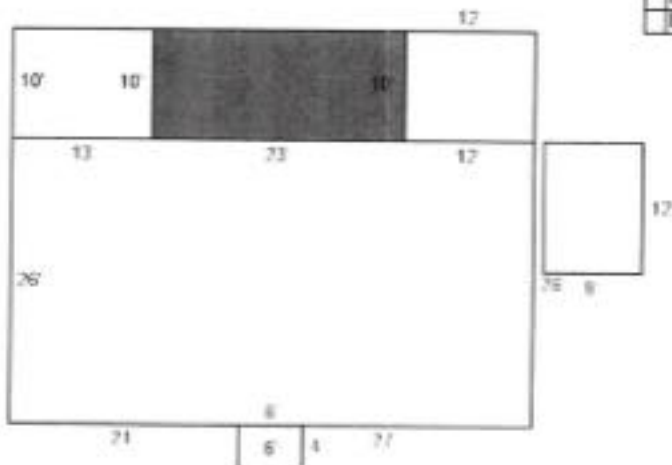
Multi Parcel	Sale Date	Sale Price	Book	Page	Grantor	Grantee
N	05/14/2015	\$450,000	1144	471	FIRST BAPTIST CHURCH OF SGI, FL INC	JJB PARTNERSHIP

Valuation

	2021 Certified	2020 Certified	2019 Certified	2018 Certified
Building Value	\$632,219	\$641,888	\$644,701	\$627,450
Extra Features Value	\$0	\$0	\$0	\$0
Land Value	\$4,183,500	\$4,183,500	\$4,183,500	\$4,183,500
Land Agricultural Value	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0
Just (Market) Value	\$4,815,719	\$4,825,388	\$4,828,201	\$4,810,950
Assessed Value	\$4,815,719	\$4,825,388	\$4,828,201	\$4,810,950
Exempt Value	\$4,815,719	\$4,825,388	\$4,828,201	\$4,810,950
Taxable Value	\$0	\$0	\$0	\$0
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$0

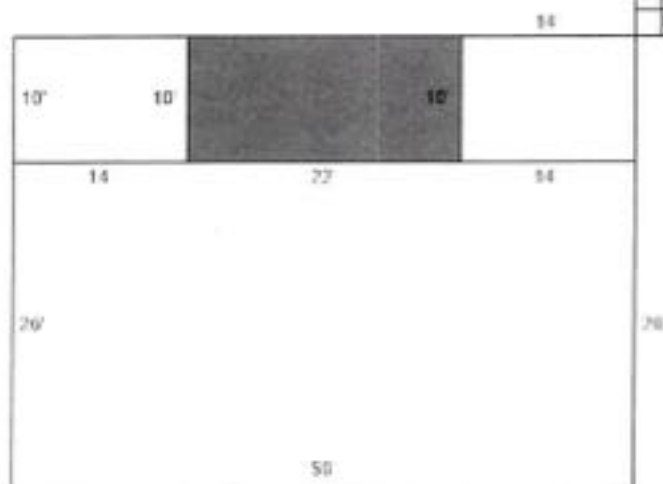
"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

Sketches

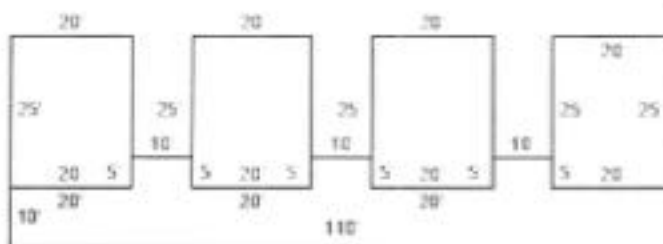


JUST	LINE STORAGE	108	1986
FSP	F SCRN PCH	230	1986
URD	URD OP PRG1	274	1986
BAS	BASE AREA	1248	1986

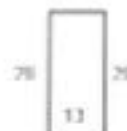
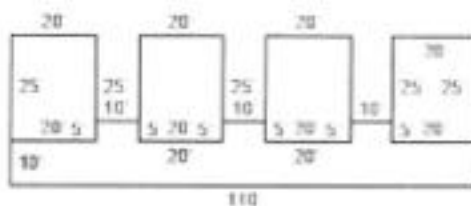
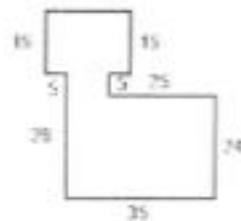
FSP	F SCRN PCH	270	1986
BOP	UNE OP PNH	270	1986
BAS	BASE AREA	1300	1986



BAS	BASE AREA	2000	2003
UOP	UNIT OPER PRH	1259	2303



BAS	BASE AREA	3567	2005
UCP	UNF OF PRH	1250	2005



THIS INSTRUMENT PREPARED BY:

Tarpon Title, Inc.

20 Avenue D

Apalachicola, FL 32320

File Number: RE 2015-1023

Inst:201519002422 Date:5/15/2015 Time:3:50 PM

Doc Stamp-Deed 3150.00

SM OC, Marcia Johnson, Franklin County B 1144 P 471

This Warranty Deed

Made this 14th day of May, 2015 A.D. by **FIRST BAPTIST CHURCH OF ST. GEORGE ISLAND, FLORIDA, INC., a Florida non profit corporation**, whose address is 501 East Bayshore Drive, St. George Island, FL 32328, hereinafter called the grantor, to **JJB PARTNERSHIP**, whose address is P. O. Box 15, Monticello, FL 32345 hereinafter called the grantee:

(Wherever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH, that the grantor, for and in consideration of the sum of \$10.00 and other valuable consideration, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, and conveys and confirms unto the grantee, all that certain land situate in **FRANKLIN County, Florida**, viz:

SEE ATTACHED "EXHIBIT A"

SUBJECT TO covenants, restrictions, reservations and easements of record, if any, and, Franklin County Comprehensive Plan and land use ordinances and all other County, State, Federal and Local laws, rules and regulations regarding the use and development of said property.

The above described subject property is not the homestead of the Grantor.

TOGETHER with all tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrance.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

*Signed, sealed and delivered
in our presence:*

FIRST BAPTIST CHURCH OF ST. GEORGE
ISLAND, FLORIDA, INC., a

Witness Signature

Florida non

Print Name: Brandilyn Kent

profit corporation

BY: [Signature]

Witness Signature

Print Name: Walter Armistead

Walter Armistead

President, chairman

BY: [Signature]

Judy Whaley
Secretary

STATE OF FLORIDA
COUNTY OF FRANKLIN

I hereby Certify that on this day, before me, as officer duly authorized to administer oaths and take acknowledgments, personally appeared **WALTER ARMISTEAD** as President and **JUDY WHALEY** as Secretary of **FIRST BAPTIST CHURCH OF ST. GEORGE ISLAND, FLORIDA, INC.**, a non profit corporation, known to be the person described in and who executed the foregoing instrument, who acknowledged before me that he executed the same, that I relied upon the following form(s) of identification of the above-named persons and that an oath was not taken.

Witness my hand and official seal in the County and State last aforesaid this 14 day of May, 2015.

[Signature]
Notary Public



EXHIBIT A

A portion of Lots 10, 11, 12, 13, 14 and 19 of Block "29" of St. George Island Gulf Beaches Unit No. 4, per plat thereof recorded in Plat Book 3, Page 14 of the Public Records of Franklin County, Florida, being more particularly described as follows:

Begin at the Southwesterly corner of Lot 19, Block "29" of St. George Island Gulf Beaches, Unit No. 4 and run Northwesterly

EXHIBIT A

A portion of Lots 10, 11, 12, 13, 14 and 19 of Block "29" of St. George Island Gulf Beaches Unit No. 4, per plat thereof recorded in Plat Book 3, Page 14 of the Public Records of Franklin County, Florida, being more particularly described as follows:

Begin at the Southwesterly corner of Lot 19, Block "29" of St. George Island Gulf Beaches, Unit No. 4 and run Northwesterly along the Southwesterly boundary of said Block "29" the following courses: North 22 degrees 20 minutes 10 seconds West 120.00 feet North 82 degrees 04 minutes 28 seconds West 233.81 feet, North 76 degrees 20 minutes 10 seconds West 147.54 feet, thence leaving said Southwesterly boundary run North 10 degrees 06 minutes 03 seconds East 99.94 feet, thence run South 55 degrees 28 minutes 34 seconds East 166.67 feet, thence run South 82 degrees 04 minutes 28 seconds East 239.40 feet, thence run South 49 degrees 43 minutes 03 seconds East 92.34 feet, South 69 degrees 49 minutes 17 seconds East 49.71 feet, thence run South 28 degrees 34 minutes 51 seconds East 33.31 feet to a point lying on the Northerly right-of-way boundary Bay Shore Drive, thence run South 67 degrees 39 minutes 50 seconds West 112.91 feet to the POINT OF BEGINNING containing 0.70 acres more or less.

TOGETHER WITH:

All of Lots 1, 2, 3, 4, 5, 6, 7, 8, and a portion of Lots 9 and 10, Block "29", and all of Lots 1, 2, 3, 4, 5, 6, and a portion of Lots 7, Block "30" of St. George Island Gulf Beaches Unit No. 4, a subdivision as per map or plat thereof recorded in Plat Book 3, Page 14 of the Public Records of Franklin County, Florida with that portion referenced above of Lots 9 and 10, Block "29" and that portion of Lot 7, Block "30" St. George Island Gulf Beaches Unit No. 4 being legally described as those portions of those said lots lying West of a surveyed line by Thurman Roddenberry & Associates, Inc., by survey dated May 11, 2015. Said surveyed line being 435.29 feet in length and being described as follows:

Commence at the Southwesterly corner of Lot 19, Block "29" of St. George Island Gulf Beaches, Unit No. 4 a subdivision as per map or plat thereof recorded in Plat Book 3, Page 14 of the Public Records of Franklin County, Florida, thence run Northwesterly along the Southwesterly boundary of said Block "29" the following courses: North 22 degrees 20 minutes 10 seconds West 120.00 feet, North 82 degrees 04 minutes 28 seconds West 233.81 feet, North 76 degrees 20 minutes 10 seconds West 147.54 feet to the POINT OF BEGINNING of said surveyed line. From said POINT OF BEGINNING and leaving said Southwesterly boundary run North 10 degrees 06 minutes 03 seconds East 435.29 feet to a point lying on the approximate mean high water line of St. George Sound which point is also on the northern boundary line of Lot 7, Block "30" St. George Island Gulf Beaches Unit No. 4, according to Plat Book 3, Page 14, Franklin County Public Records.

Adjacent Neighbor



Overview



Legend

- ☐ Parcels
- ☐ Roads
- ☐ City Labels

Parcel ID	29-095-06W-7314-0029-0020	Alternate ID	06W09529731400290020	Owner Address	JJB PARTNERSHIP
Sec/Twp/Rng	29-95-6W	Class	SINGLE FAM		P.O. BOX 15
Property Address	402 WEFING ST	Acreage	6.775		MONTICELLO, FL 32345

District 1
Brief Tax Description UNIT 4 BL 29 ALL OF LOTS

(Note: Not to be used on legal documents)

Date created: 12/1/2021
Last Data Uploaded: 12/1/2021 7:58:27 AM

Developed by  Schneider
DIGITAL

Adjacent Neighbors



Overview



Legend

-  Parcels
-  Roads
-  City Labels

Parcel Summary

Parcel ID 29-095-06W-7314-0032-0010
 Location Address 32328
 Brief Tax Description* UNIT 4 BL 32 LOT 1 OR/164/347 OR/191 PAGE 43
 *The Description above is not to be used on legal documents.
 Property Use Code STATE (008700)
 Sec/Twp/Rng 29-95-6W
 Tax District County (District 1)
 Millage Rate 11.2322
 Acreage 0.000
 Homestead N

[View Map](#)

Owner Information

Primary Owner
[Tipt/Marine Resources - Dec](#)
 Unit 4- St George Island
 3900 Commonwealth Blvd
 Tallahassee, FL 32399

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
008700	STATE	120.00	FF	0	0

Valuation

	2021 Certified	2020 Certified	2019 Certified	2018 Certified	2017 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$200,040	\$200,040	\$200,040	\$200,040	\$200,040
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$200,040	\$200,040	\$200,040	\$200,040	\$200,040
Assessed Value	\$200,040	\$200,040	\$200,040	\$200,040	\$200,040
Exempt Value	\$200,040	\$200,040	\$200,040	\$200,040	\$200,040
Taxable Value	\$0	\$0	\$0	\$0	\$0
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$0	\$0

Just (Market) Value description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sales, TRIM Notice 2021, TRIM Notice 2020, TRIM Notice 2019, Sketches.

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Version 2.1.182

Parcel Summary

Parcel ID 29-095-06W-7314-0032-0020
 Location Address -
 32328
 Brief Tax Description* UNIT 4 BL 32 LOT 2 OR/164/347 ORB 191 PAGE 43
 *The Description above is not to be used on legal documents.
 Property Use Code STATE (008700)
 Sec/Twp/Rng 29-95-6W
 Tax District County (District 1)
 Millage Rate 11.2322
 Acreage 0.000
 Homestead N

[View Map](#)

Owner Information

Primary Owner
[Turt/Marine Resources, Inc](#)
 Unit 4- St George Island
 3900 Commonwealth Blvd
 Tallahassee, FL 32399

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000147	BAY 1ST TIER SGIE	1.00	UT	0	0

Valuation

	2021 Certified	2020 Certified	2019 Certified	2018 Certified	2017 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$265,000	\$265,000	\$265,000	\$265,000	\$265,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$265,000	\$265,000	\$265,000	\$265,000	\$265,000
Assessed Value	\$265,000	\$265,000	\$265,000	\$265,000	\$265,000
Exempt Value	\$265,000	\$265,000	\$265,000	\$265,000	\$265,000
Taxable Value	\$0	\$0	\$0	\$0	\$0
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$0	\$0

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Parcel Summary

Parcel ID 29-095-06W-7314-0032-0030
Location Address
 32328
Brief Tax Description* UNIT 4 BL 32 LOT 3 OR/164/347 OR/179/4 ORB 191 PAGE 39
*The Description above is not to be used on legal documents.
Property Use Code STATE (008700)
Sec/Twp/Rng 29-95-6W
Tax District County (District 1)
Millage Rate 11.2322
Acreage 0.000
Homestead N

[View Map](#)

Owner Information

Primary Owner
[Title/Deed/Recording Resources: Dep](#)
 Unit 4 - St George Island
 C/O Dep- Douglas Bldg
 Tallahassee, FL 32399

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000147	BAY 1ST TIER SGI E	1.00	UT	0	0

Valuation

	2021 Certified	2020 Certified	2019 Certified	2018 Certified	2017 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$265,000	\$265,000	\$265,000	\$265,000	\$265,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$265,000	\$265,000	\$265,000	\$265,000	\$265,000
Assessed Value	\$265,000	\$265,000	\$265,000	\$265,000	\$265,000
Exempt Value	\$265,000	\$265,000	\$265,000	\$265,000	\$265,000
Taxable Value	\$0	\$0	\$0	\$0	\$0
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$0	\$0

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Developed by


Parcel Summary

Parcel ID: 29-095-06W-7314-0032-0040
 Location Address: 32328
 Brief Tax Description: UNIT 4 BL 32 LOT 4 OR/164/347 ORB 191 PAGE 43
 *The Description above is not to be used on legal documents.
 Property Use Code: STATE (008700)
 Sec/Twp/Rng: 29-95-6W
 Tax District: County (District 1)
 Millage Rate: 11.2322
 Acreage: 0.000
 Homestead: N

[View Map](#)

Owner Information

Primary Owner
 Tiff/Marine Resources, Dec
 Unit 4 - St George Island
 3900 Commonwealth Blvd
 Tallahassee, FL 32399

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000119	INTERIOR BAY E SGI	1.00	UT	0	0

Valuation

	2021 Certified	2020 Certified	2019 Certified	2018 Certified	2017 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$265,000	\$265,000	\$265,000	\$265,000	\$265,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$265,000	\$265,000	\$265,000	\$265,000	\$265,000
Assessed Value	\$265,000	\$265,000	\$265,000	\$265,000	\$265,000
Exempt Value	\$265,000	\$265,000	\$265,000	\$265,000	\$265,000
Taxable Value	\$0	\$0	\$0	\$0	\$0
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$0	\$0

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Version 2.0.1.1

Parcel Summary

Parcel ID 29-095-06W-7314-0032-0090
 Location Address
 32328
 Brief Tax Description* UNIT 4 BL 32 LOT 5 OR/164/347 OR/191 PAGE 43
 *The Description above is not to be used on legal documents.
 Property Use Code STATE (008700)
 Sec/Twp/Rng 29-95-6W
 Tax District County (District 1)
 Millage Rate 11.2322
 Acreage 0.000
 Homestead N

[View Map](#)

Owner Information

Primary Owner
 Tish/Marine Resources - Dee
 Unit 4 - St George Island
 3900 Commonwealth Blvd
 Tallahassee, FL 32399

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000119	INTERIOR BAY/E SGI	1.00	UT	0	0

Valuation

	2021 Certified	2020 Certified	2019 Certified	2018 Certified	2017 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$265,000	\$265,000	\$265,000	\$265,000	\$265,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$265,000	\$265,000	\$265,000	\$265,000	\$265,000
Assessed Value	\$265,000	\$265,000	\$265,000	\$265,000	\$265,000
Exempt Value	\$265,000	\$265,000	\$265,000	\$265,000	\$265,000
Taxable Value	\$0	\$0	\$0	\$0	\$0
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$0	\$0

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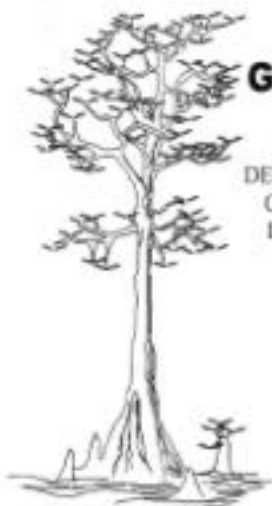
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GARLICK ENVIRONMENTAL ASSOCIATES, INC.

SPECIALIZING IN: REGULATORY PERMITS • WETLANDS/UPLAND JURISDICTIONAL
DELINEATIONS • SUBMERGED LAND LEASES • ECOLOGICAL INVENTORY ASSESSMENTS •
CONSERVATION AND OTHER EASEMENTS • EXPERT WITNESS AND ENVIRONMENTAL
LITIGATION SERVICES • MITIGATION • CULTURAL RESOURCE ANALYSIS • CREATIVE
MARINA, DOCK, AND SUBDIVISION DESIGN

RECEIVED
DEC 02 2021

BY: MCC

November 18, 2021

Ms Cortni Bankston
Franklin County Planning & Zoning
33 Commerce Street
Apalachicola, FL 32320

Re: Planning and Zoning Agenda
GEA File No. 21-209
Vincent Smith

Dear Ms. Cortni Bankston:

Please find attached a Dock Permit Application for the referenced project to be heard at the January 11, 2022 Planning and Zoning and at the Franklin County Board of County Commissioners on January 18, 2022. The proposed project consists of construction of a 558 SF Dock consisting of a 12'x28' Covered Boat Lift with (20 3'x28' catwalks, a 3'x18' catwalk associated with a Single Family Residence.

Attached are the following items:

- 1) A Dock Permit Application;
- 2) Corps of Engineers Permit in the name of Mr. Vincent Smith;
- 3) Note: Received notification on November 16, 2021 from FDEP that the permit was approved and should be issued soon. (See Attached Email);
- 4) Attached is Warranty Deed indicating proof of ownership.

Sincerely,

Mary Ann Wasmund, Permit Specialist
Garlick Environmental Associates, Inc.

Attachments



DOCK PERMIT APPLICATION

FRANKLIN COUNTY BUILDING DEPARTMENT

34 Forbes Street, Suite 1, Apalachicola, Florida 32320

Phone: 850-653-9783 Fax: 850-653-9799

http://www.franklincountvflorida.com/planning_building.aspx

PERMIT # _____

FEE: \$ _____

C.S.I : \$ _____

TOTAL: \$ _____

NOTE TO APPLICANTS AND PERMIT HOLDERS:

VIOLATIONS OF THE TERMS AND CONDITIONS OF THIS PERMIT MAY WARRANT A STOP WORK ORDER OR REVOCATION OF THIS PERMIT. THIS PERMIT IS VALID FOR ONE YEAR FROM THE DATE OF ISSUANCE.

CONSTRUCTION MUST COMMENCE WITHIN SIX MONTHS OF THIS DATE:

ISSUANCE DATE: _____ EXPIRES: _____

EXISTING HOUSE: ☐ Yes ☐ No

DEP PERMIT: ☐ Yes ☐ No

ARMY COE PERMIT: ☐ Yes ☐ No

APPROVED: ☐ Yes ☐ No

APPLICATION MUST BE COMPLETE:

Property Owner/s: Vincent Smith

Contact Information: Home #: _____ Cell #: 706-714-2447

Mailing Address: 4990 Lexington Road City/State/Zip: Athens, GA 30605

EMAIL Address: _____@gmail.com

Contractor Name: _____ Business Name: _____

Contact Information: Office #: _____ Cell #: _____

State License #: _____ County Registration #: _____

Mailing Address: _____ City/State/Zip: _____

EMAIL Address: _____@_____

PROPERTY DESCRIPTION: 911 Address: 311 River Road Carrabelle, FL 32322

Lot/s: 10 Block: 5 Subdivision: _____ Unit: _____

Parcel Identification #: 24-07S-05W-0180-0005-0199

JURISDICTION: ☒ Franklin County ☐ City of Carrabelle

☐ Apalachicola ☐ Eastpoint ☐ St. George Island ☒ Carrabelle ☐ Dog Island ☐ Lanark/ St. James ☐ St. Teresa ☐ Alligator Point

☒ SINGLE FAMILY DOCK/PIER ☐ MULTI-FAMILY DOCK/PIER ☐ COMMERCIAL

DESCRIPTION: The proposed 558 SF Dock consist of a 12'x28' covered boat lift - consisting (2) 3'x28' catwalks, a 3'x18' catwalk and a associated with a single-family residence.

ZONING DISTRICT: _____ CONTRACT COST: _____

TOTAL SQUARE FOOT: _____ FOUNDATION TYPE: _____

ROOF MATERIAL: _____

APPROVED BY: ☒ Planning & Zoning Date: 1 - 11 - 22 ☒ County Commissioners Date: 1 - 18 - 2022

WATER BODY: Carrabelle River

CRITICAL SHORELINE DISTRICT ☐ YES OR ☐ NO CRITICAL HABITAT ZONE ☐ YES OR ☐ NO

BUILDING OFFICIAL	Date	OWNER (Required)	Date	CONTRACTOR (Required)	Date
-------------------	------	------------------	------	-----------------------	------

FRANKLIN COUNTY DOCK CHECKLIST & FEE SCHEDULE

CHECKLIST:

- ☒ Application
- ☒ DEP
- ☒ Army CORPS
- ☒ Site Plan
- ☐ Lighting Plan
- ☐ Drawings (Approved by all entities)
- ☐ Approvals from local jurisdictions
- ☐ Dock Site Plan, Construction & Lighting Affidavit
- ☐ Copy of Signed Contract Cost

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

(850) 653-8899

FAX (850) 653-9656

garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: Vincent Smith

WATERBODY/CLASS: Carrabelle River

PURPOSE: Single Family Dock

PROJECT LOCATION / USGS: Franklin County - Carrabelle

LATITUDE: 29° 51' 12.05"

LONGITUDE: 84° 41' 25.71"

SECTION: 24 TOWNSHIP: 7 South

RNG: 65 West

JOB: 21-209

DEP:

COE:

OTHER:

DATE: October 18, 2021

SHEET: 1/4





PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

(850) 653-8899

FAX (850) 653-9656

garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: Vincent Smith

WATERBODY/CLASS: Carrabelle River

PURPOSE: Environmental Permitting

PROJECT LOCATION / USGS: Franklin County - Carrabelle

LATITUDE: 29° 51' 12.05"

LONGITUDE: 84° 41' 25.71"

SECTION: 24 TOWNSHIP: 7 South

RANGE: 5 West

JOB: 21-209

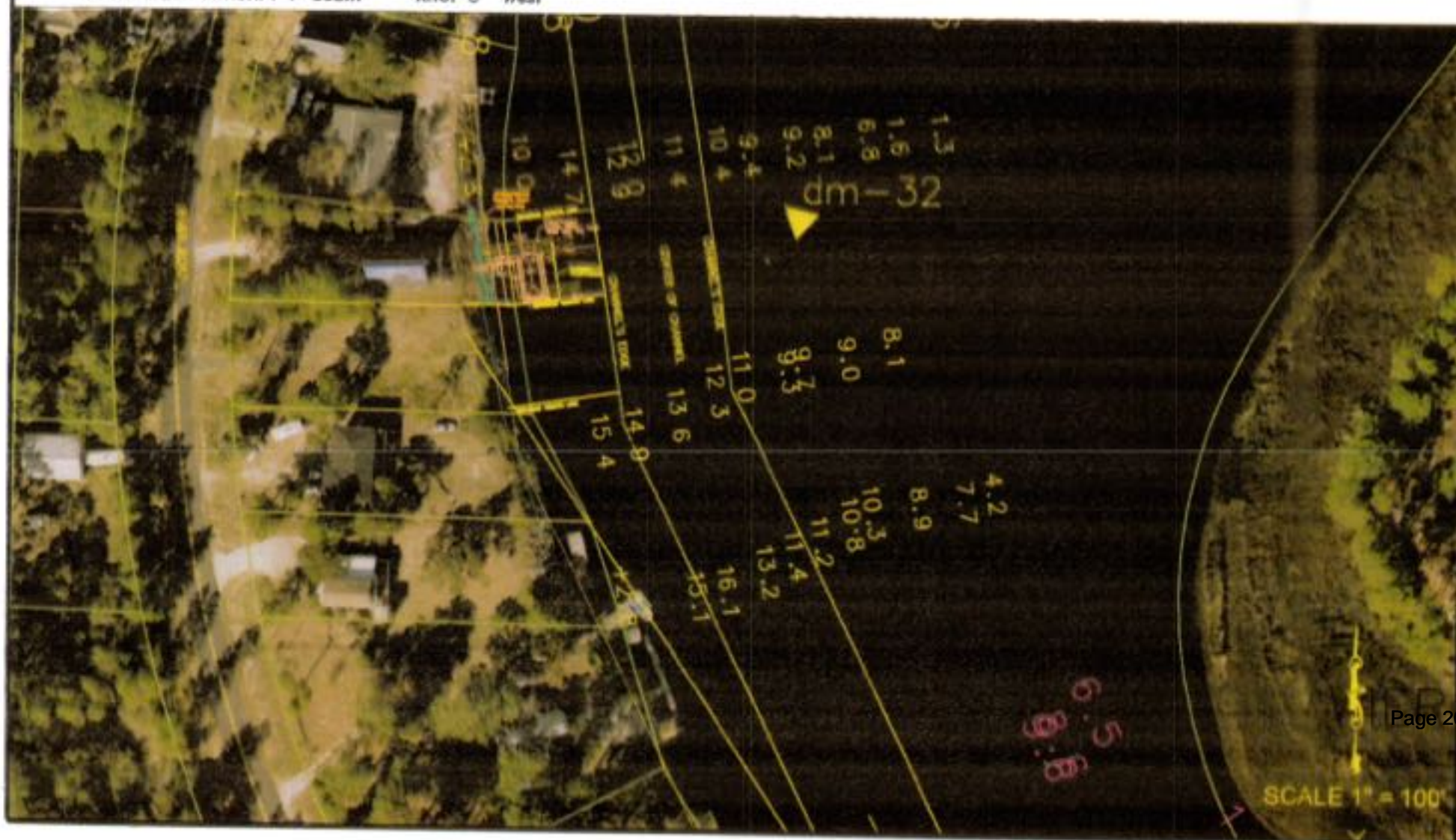
DEP:

COE:

OTHER:

DATE: October 18, 2021

SHEET: 2/4



PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

(850) 653-8899

FAX (850) 653-9656

garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: Vincent Smith

WATERBODY/CLASS: Carrabelle River

PURPOSE: Environmental Permitting

PROJECT LOCATION / USGS: Franklin County - Carrabelle

LATITUDE: 29° 51' 12.05"

LONGITUDE: 84° 41' 25.71"

SECTION: 24 TOWNSHIP: 7 South

RNG: 5 West

JOB: 21-209

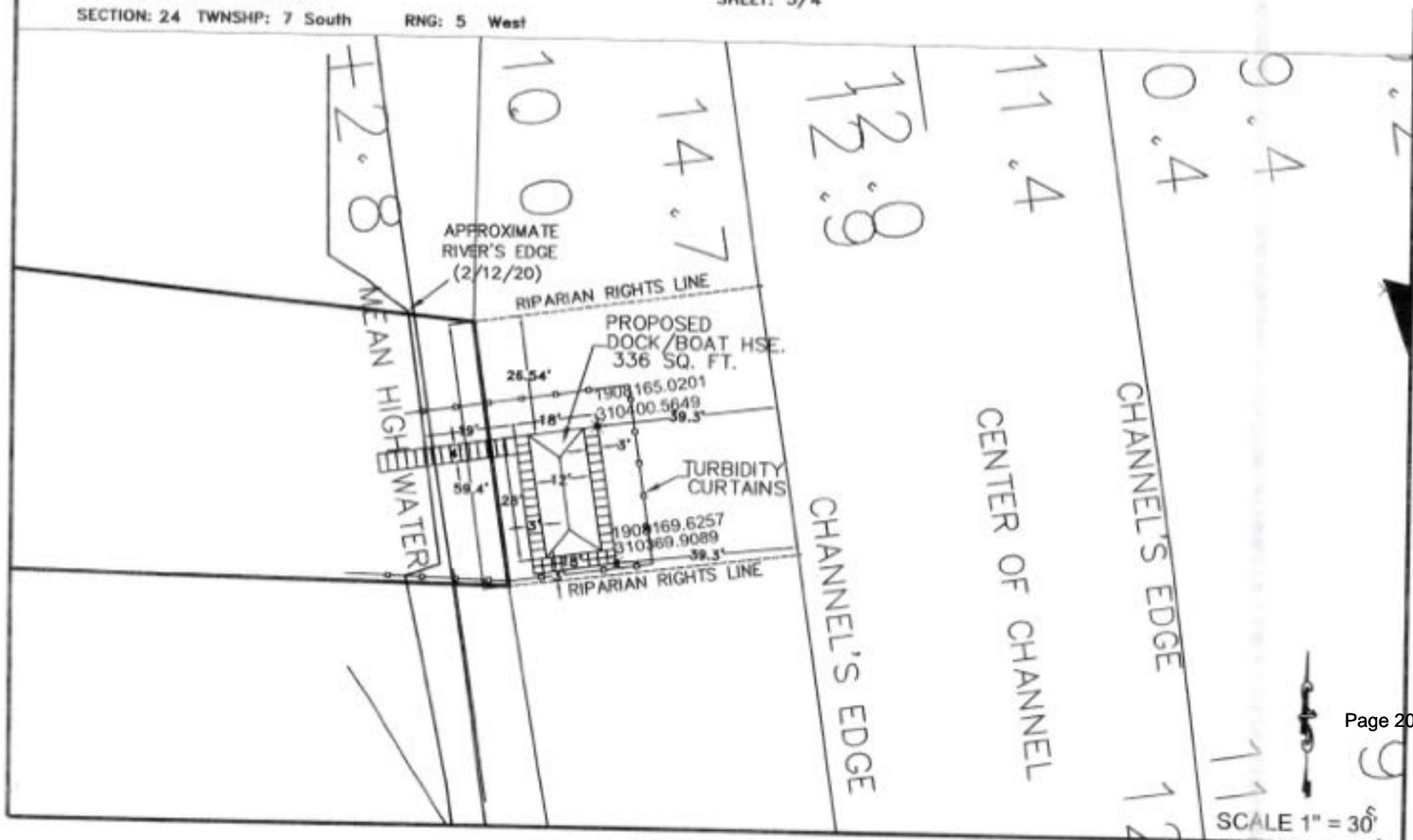
DEP:

COE:

OTHER:

DATE: October 18, 2021

SHEET: 3/4



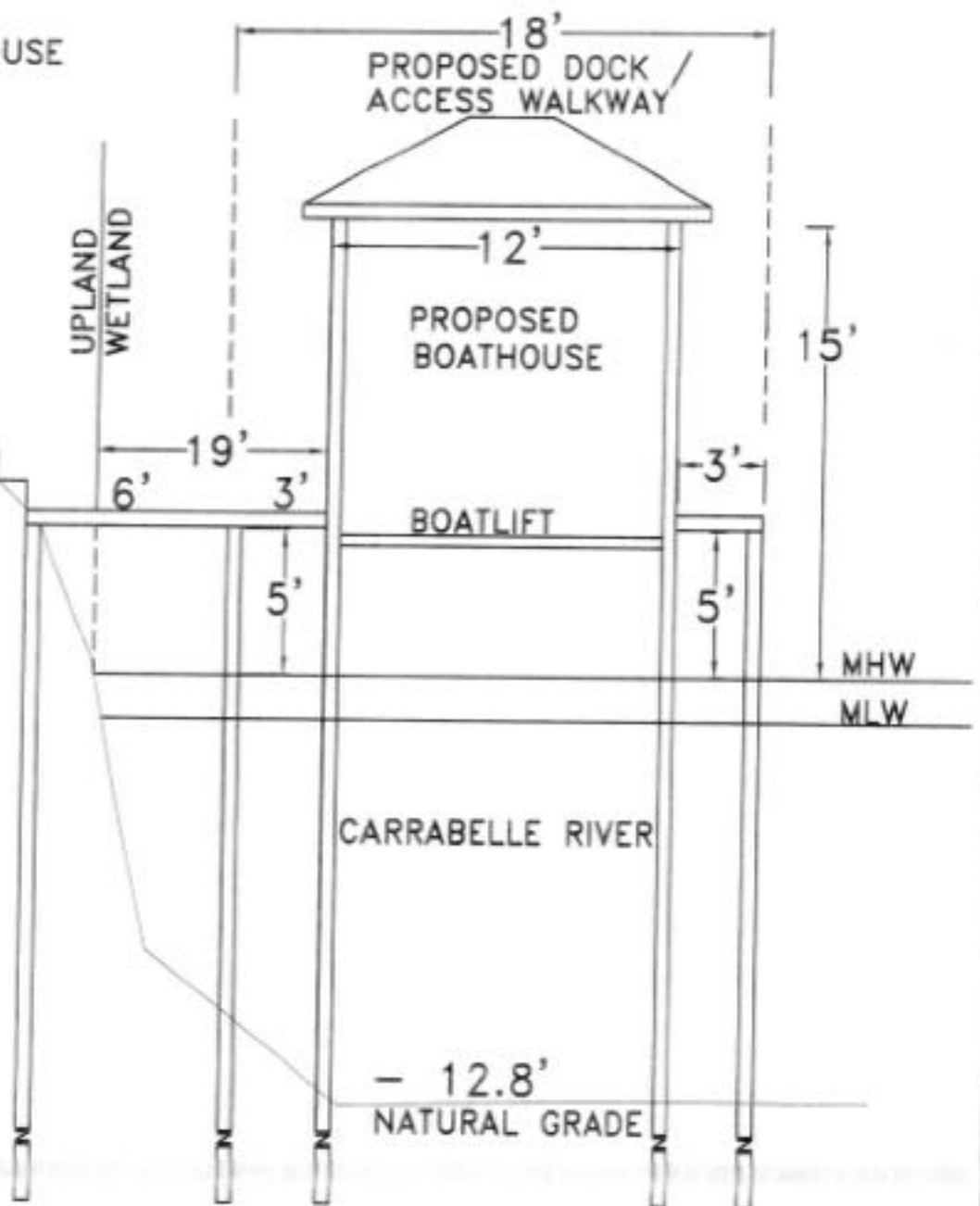
PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.



APPLICANT/CLIENT: Vincent Smith
WATERBODY/CLASS: Carrabelle River
PURPOSE: Environmental Permitting
PROJECT LOCATION / USGS: Franklin County
LATITUDE: 29° 51' 12.05"
LONGITUDE: 84° 41' 25.71"
SECTION: 24 TOWNSHIP: 7 South RING: 5 West

JOB: 21-209
DEP:
COE:
OTHER:
DATE: October 18, 2021
SHEET: 4/4

CROSS SECTION
OF PROPOSED
DOCK AND BOATHOUSE
NOT TO SCALE



These drawings are for
permitting purposes
only. Not intended for
construction purposes

LETTER OF CONCURRENCE FOR SETBACK WAIVER

TO: E. VIGORIN Smith (owner/applicant)
211 River Rd
Carrollville, FL 32322 (address of project)

File No. _____

FROM: JIMMY ROUGE (adjacent property owner)
204 River Rd
Carrollville, FL 32322

Section 18-21.004(3)(d), Florida Administrative Code, provides:

Except as provided herein, all structures, including mooring pilings, breakwaters, jetties and groins, and activities must be set back a minimum of 25 feet inside the applicant's riparian rights lines. Marginal docks, however, must be set back a minimum of 10 feet. Exceptions to the setbacks are: private residential single-family docks or piers associated with a parcel that has a shoreline frontage of less than 65 feet, where portions of such structures are located between riparian lines less than 65 feet apart, or where such structure is shared by two adjacent single-family parcels; inlet lines, bulkheads, seawalls, riprap or similar shoreline protection structures located along the shoreline; structures and activities previously authorized by the Board; structures and activities built or occurring prior to any requirement for Board authorization; when a letter of concurrence is obtained from the affected adjacent upland riparian owner; or when the Board determines that locating any portion of the structure or activity within the setback area is necessary to avoid or minimize adverse impacts to natural resources.

I hereby state that I am the owner of the adjacent upland riparian property located to the (north / south / east / west) of the facility or activity proposed to be constructed or conducted by E. VIGORIN Smith (the applicant), as shown in the above referenced file (and on the attached drawing). I understand that the subject project will be located entirely within the applicant's riparian rights area, and I do not object to the proposed structure or activity being located within the area required as a setback distance from the common riparian rights line, as required by Chapter 18-21.004(3)(d), F.A.C. This file shows the structure will be located entirely within the applicant's riparian rights area and within _____ feet of the common riparian rights line between our parcels.

Jan E. Rouge
 (Original signature of adjacent owner)

8-5-21
 (Date signed)

JAMES S. ROUGE, JR.
 (Printed name of adjacent owner)

This form is not adopted by rule; therefore, any letter of concurrence of similar content may be accepted.

PAGE 2 - DRAWING, SKETCH, OR SURVEY OF PROPOSED DOCK LOCATION



1/11/15
 8-52

Owner



Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	24-075-05W-0180-0005-0100	Alternate ID	05W075240180000050100	Owner Address	SMITH ROBERT VINCENT
Sec/Twp/Rng	24-75-5W	Class	SINGLE FAM		4990 LEXINGTON ROAD
Property Address	311 RIVER RD	Acres	0.335		ATHENS, GA 30605
District	1				
Brief Tax Description	BL SLOT 10				

(Note: Not to be used on legal documents)

Date created: 6/29/2021

Last Data Uploaded: 6/29/2021 7:56:41 AM

Developed by  **Schneider**
GEOSPATIAL



Parcel Summary

Parcel ID 24-075-05W-0180-0005-0100
 Location Address 311 RIVER RD
 32322
 Brief Tax Description* BL 5 LOT 10 CARRABELLE RIVER OR 122/7 405/184 488/208 681/527 700/354 768/628 769/576 1263/648
 *This Description above is not to be used on legal documents.
 Property Use Code SINGLE FAM (000100)
 Sec/Twp/Rng 24-75-5W
 Tax District County (District 1)
 Millage Rate 11.2222
 Acreage 0.335
 Homestead N

[View Map](#)

Owner Information

Primary Owner
 Smith Robert Vincent
 4990 Lexington Road
 Athens, GA 30605

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000130	SFR WATER	75.00	FF	75	195

Residential Buildings

Building 1
 Type SINGLE FAM
 Total Area 1,380
 Heated Area 1,080
 Exterior Walls AVERAGE
 Roof Cover COMPSHGL
 Interior Walls DRYWALL
 Frame Type N/A
 Floor Cover SHT VINYL CARPET
 Heat FORCED AIR
 Air Conditioning CENTRAL
 Bathrooms 1
 Bedrooms 2
 Stories 2
 Effective Year Built 1976

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0300	STEPS	1	0 x 0 x 0	256	UT	0
0330	STORAGE, UTILITY	1	0 x 0 x 0	80	UT	0

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	04/24/2020	\$175,000	WD	1263	648	Qualified (Q)	Improved	CAMPAGNA	SMITH
N	12/31/2003	\$100	WD	769	576	Unqualified (U)	Improved	WHITEHURST	ALLMOND
N	12/29/2003	\$307,000	WD	768	628	Qualified (Q)	Improved	ALLMOND	CAMPAGNA
N	12/29/2003	\$307,000	WD	768	628	Qualified (Q)	Improved	ALLMOND	CAMPAGNA
N	06/05/2002	\$237,000	WD	700	354	Qualified (Q)	Improved	WHITEHURST	ALLMOND
N	11/09/2001	\$170,000	WD	681	527	Qualified (Q)	Improved	PADGETT	WHITEHURST
N	03/01/1995	\$60,000	WD	488	208	Qualified (Q)	Improved	SCHIFFER	PADGETT
N	03/03/1993	\$29,750	WD	406	184	Qualified (Q)	Improved	NELSON	SCHIFFER
N	00/01/1974	\$100	WD	122	7	Unqualified (U)	Vacant		

Valuation

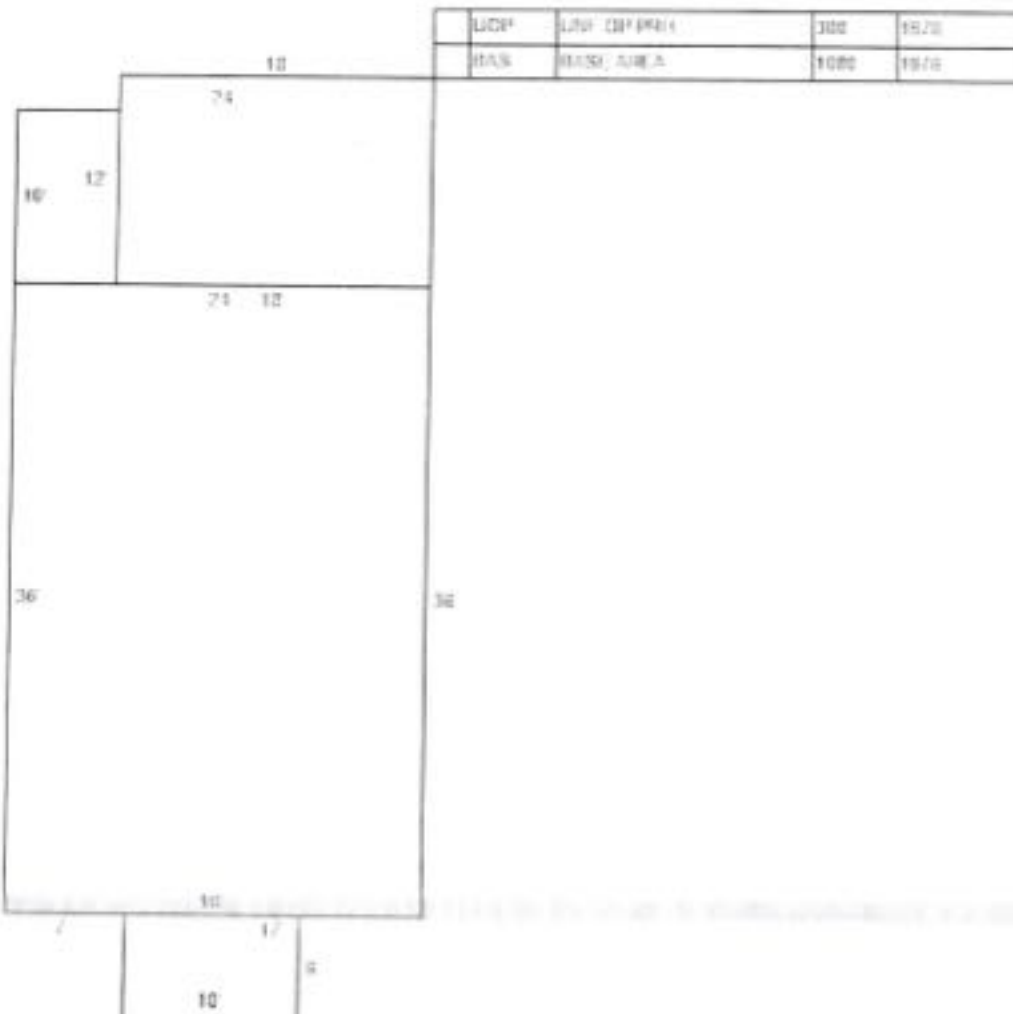
	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$70,645	\$73,102	\$77,976	\$77,976	\$82,021
Extra Features Value	\$2,080	\$2,080	\$2,080	\$2,080	\$2,080
Land Value	\$51,187	\$51,187	\$51,187	\$50,000	\$50,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$123,932	\$126,369	\$131,243	\$130,056	\$134,101
Assessed Value	\$123,932	\$126,369	\$131,243	\$130,056	\$134,101
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$123,932	\$126,369	\$131,243	\$130,056	\$134,101
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$0	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

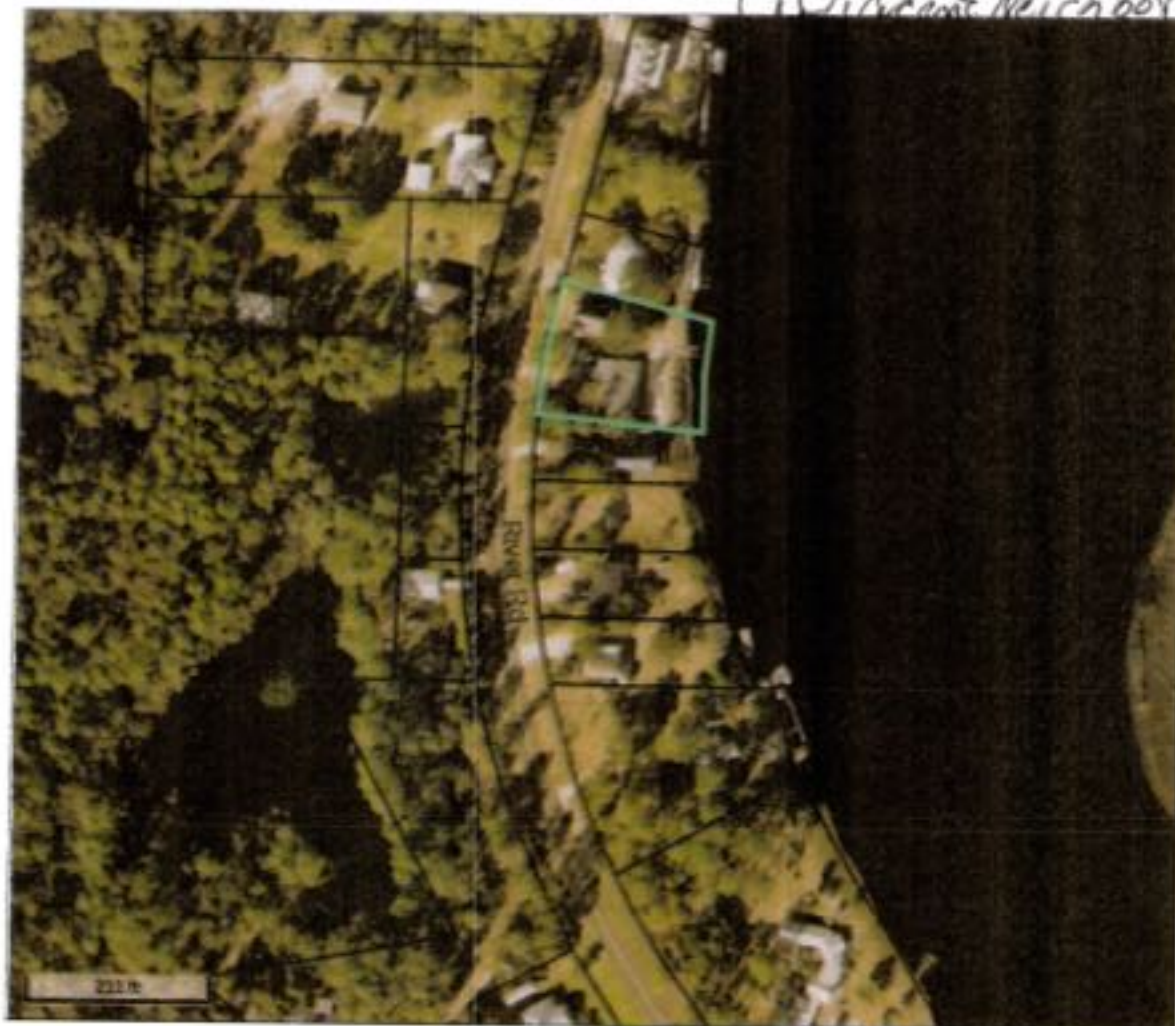
TRIM Notice 2020

TRIM Notice 2019

Sketches



Adjacent Neighbor



Overview



Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	24-075-05W-0180-0005-0080	Alternate ID	05W07524018000050080	Owner Address	PEUCKERT DANIEL & ISOLDE COOKE
Sec/Twp/Rng	24-75-5W	Class	SINGLE FAM		315 RIVER RD
Property	317 RIVER RD	Acres	0.637		CARRABELLE, FL 32322

Address
District 1
Brief Tax Description CARRABELLE RIVER SUB

(Note: Not to be used on legal documents)

Date created: 6/30/2021

Last Data Uploaded: 6/30/2021 7:56:34 AM

Developed by 



Adjacent Neighbor



Overview



Legend

- Parcels
- Roads
- City Labels

Parcel ID	24-075-05W-0180-0005-0110	Alternate ID	05W07524018000050110	Owner Address	JEM CONSTRUCTION OF TALLAHASSEE 8350 TRAM ROAD TALLAHASSEE, FL 32311
Sec/Twp/Rng	24-75-5W	Class	VACANT		
Property Address	309 RIVER RD	Acres	0.352		
District	1				
Brief Tax Description	CARRABELLE RIVER SUB				

(Note: Not to be used on legal documents)

Date created: 6/30/2021

Last Data Uploaded: 6/30/2021 7:56:34 AM

Developed by Schneider



DEPARTMENT OF THE ARMY
CORPS OF ENGINEERS, JACKSONVILLE DISTRICT
415 RICHARD JACKSON BOULEVARD, SUITE 411
PANAMA CITY BEACH, FLORIDA 32407

November 18, 2021

Regulatory Division
North Permits Branch
Panama City Permits Section
SAJ-2021-03065(GP-KAB)

Mr. Vincent Smith
4990 Lexington Road
Athens, GA 30605
Sent via email: rvsvet1@gmail.com

Dear Mr. Smith:

The U.S. Army Corps of Engineers (Corps) has completed the review of your application for a Department of the Army permit, which the Corps received on September 10, 2021. Your application was assigned file number SAJ-2021-03065. A review of the information and drawings provided indicates that the proposed work would result in the construction of a 558 SF dock consisting of (2) 3'x28' catwalks, a 3'x18' catwalk, and a 12'x28' covered boat slip, associated with a single-family residence. The activities subject to this permit are authorized pursuant to authorities under Section 10 of the Rivers and Harbors Act of 1899 (33 U.S.C. § 403). The project is located in the Carrabelle River at 311 River Road, in Section 24, Township 7 South, Range 5 West, Carrabelle, Franklin County, Florida.

This letter verifies your project, as described above and depicted on the enclosed drawings, is authorized by Regional General Permit (RGP) SAJ-20 and any subsequent modifications, if applicable. **This RGP authorization is valid until March 27, 2023.** Please access the Corps' Jacksonville District Regulatory Division Source Book webpage to view the special and general conditions for SAJ-20, which apply specifically to this authorization. The Internet URL address is: <http://www.saj.usace.army.mil/Missions/Regulatory.aspx>. Please be aware this Internet address is case sensitive; and, you will need to enter it exactly as it appears above. Once there select "Source Book"; and, then select "General Permits." Then you will need to select the specific SAJ permit noted above.

You must comply with **ALL** the RGP general and special, attached and/or incorporated by reference, and the Project Specific Special Conditions and General Conditions, listed below, or you may be subject to enforcement action.

General Conditions (33 CFR PART 320-330):

1. The time limit for completing the work authorized ends on **March 27, 2023.**
2. You must maintain the activity authorized by this permit in good condition and in conformance with the terms and conditions of this permit. You are not relieved of this requirement if you abandon the permitted activity, although you may make a good faith transfer to a third party in compliance with General Condition 4 below. Should you wish to cease to maintain the authorized activity or should you desire to abandon it without a good faith transfer, you must obtain a modification of this permit from this office, which may require restoration of the area.
3. If you discover any previously unknown historic or archeological remains while accomplishing the activity authorized by this permit, you must immediately notify this office of what you have found. We will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.
4. If you sell the property associated with this permit you must obtain the signature of the new owner on the transfer form attached to this letter and forward a copy to this office to validate the transfer of this authorization.
5. If a conditioned water quality certification has been issued for your project, you must comply with the conditions specified in the certification as special conditions to this permit. For your convenience, a copy of the certification is attached if it contains such conditions.
6. You must allow a representative from this office to inspect the authorized activity at any time deemed necessary to ensure that it is being or has been accomplished in accordance with the terms and conditions of your permit.

Project Specific Special Conditions:

The following project specific special conditions are included with this verification:

1. **Reporting Addresses:** The Permittee shall submit all reports, notifications, documentation and correspondence required by the general and special conditions of this permit to either (not both) of the following addresses:

a. For electronic mail (preferred): SAJ-RD-Enforcement@usace.army.mil (not to exceed 15 MB).

b. For standard mail: U.S. Army Corps of Engineers, Regulatory Division, Enforcement Section, P.O. Box 4970, Jacksonville, FL 32232-0019.

The Permittee shall reference this DA permit number, SAJ-2021-03065(GP-KAB), on all submittals.

2. Commencement Notification: Within 10 days from the date of initiating the work authorized by this permit the Permittee shall submit a completed *Commencement Notification* form (Attachment A).

3. Self-Certification: Within 60 days of completion of the work authorized by this permit, the Permittee shall complete the attached "Self-Certification Statement of Compliance" form (Attachment B) and submit it to the Corps. In the event that the completed work deviates in any manner from the authorized work, the Permittee shall describe the deviations between the work authorized by this permit and the work as constructed on the "Self-Certification Statement of Compliance" form. The description of any deviations on the "Self-Certification Statement of Compliance" form does not constitute approval of any deviations by the Corps.

4. Agency Changes/Approvals: Should any other agency require and/or approve changes to the work authorized or obligated by this permit, the Permittee is advised a modification to this permit instrument is required prior to initiation of those changes. It is the Permittee's responsibility to request a modification of this permit from the Panama City Permits Section. The Corps reserves the right to fully evaluate, amend, and approve or deny the request for modification of this permit.

5. Posting of Permit: The Permittee shall have available and maintain for review a copy of this permit and approved plans at the construction site.

6. Assurance of Navigation and Maintenance: The Permittee understands and agrees that, if future operations by the United States require the removal, relocation, or other alteration, of the structures or work herein authorized, or if in the opinion of the Secretary of the Army or his authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the Permittee will be required, upon due notice from the Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal or alteration.

7. Cultural Resources/Historic Properties:

a. No structure or work shall adversely affect impact or disturb properties listed in the National Register of Historic Places (NRHP) or those eligible for inclusion in the NRHP.

b. If during the ground disturbing activities and construction work within the permit area, there are archaeological/cultural materials encountered which were not the subject of a previous cultural resources assessment survey (and which shall include, but not be limited to: pottery, modified shell, flora, fauna, human remains, ceramics, stone tools or metal implements, dugout canoes, evidence of structures or any other physical remains that could be associated with Native American cultures or early colonial or American settlement), the Permittee shall immediately stop all work and ground-disturbing activities within a 100-meter diameter of the discovery and notify the Corps within the same business day (8 hours). The Corps shall then notify the Florida State Historic Preservation Officer (SHPO) and the appropriate Tribal Historic Preservation Officer(s) (THPO(s)) to assess the significance of the discovery and devise appropriate actions.

c. Additional cultural resources assessments may be required of the permit area in the case of unanticipated discoveries as referenced in accordance with the above Special Condition ; and if deemed necessary by the SHPO, THPO(s), or Corps, in accordance with 36 CFR 800 or 33 CFR 325, Appendix C (5). Based, on the circumstances of the discovery, equity to all parties, and considerations of the public interest, the Corps may modify, suspend or revoke the permit in accordance with 33 CFR Part 325.7. Such activity shall not resume on non-federal lands without written authorization from the SHPO for finds under his or her jurisdiction, and from the Corps.

d. In the unlikely event that unmarked human remains are identified on non-federal lands, they will be treated in accordance with Section 872.05 Florida Statutes. All work and ground disturbing activities within a 100-meter diameter of the unmarked human remains shall immediately cease and the Permittee shall immediately notify the medical examiner, Corps, and State Archeologist within the same business day (8-hours). The Corps shall then notify the appropriate SHPO and THPO(s). Based, on the circumstances of the discovery, equity to all parties, and considerations of the public interest, the Corps may modify, suspend or revoke the permit in accordance with 33 CFR Part 325.7. Such activity shall not resume without written authorization from the State Archeologist and from the Corps.

8. Turbidity Barriers: Prior to the initiation of any of the work authorized by this permit, the Permittee shall install floating turbidity barriers with weighted skirts that extend to the bottom around all work areas that are in, or adjacent to, surface waters. The turbidity barriers shall remain in place and be maintained until the authorized work has been completed and all suspended and erodible materials have been stabilized. Turbidity barriers shall be removed upon stabilization of the work area.

9. Erosion Control: Prior to the initiation of any work authorized by this permit, the Permittee shall install erosion control measures along the perimeter of all work areas to

prevent the displacement of fill material outside the work area into waters of the United States. Immediately after completion of the final grading of the land surface, all slopes, land surfaces, and filled areas shall be stabilized using sod, degradable mats, barriers, or a combination of similar stabilizing materials to prevent erosion. The erosion control measures shall remain in place and be maintained until all authorized work is completed and the work areas are stabilized.

10. Manatee Conditions: The Permittee shall comply with the "Standard Manatee Conditions for In-Water Work – 2011" (Attachment C).

11. Jacksonville District Programmatic Biological Opinion (JAXBO), November 2017, Project Design Criteria (PDCs): Structures authorized under this permit must comply with all applicable PDCs, based on the permitted activity, as required by JAXBO. Please note that failure to comply with the applicable PDCs, where a take of listed species occurs, would constitute an unauthorized take, and noncompliance with this permit. The NMFS is the appropriate authority to enforce the terms and conditions of JAXBO. The most current version of JAXBO can be accessed at the Jacksonville District Regulatory Division internet webpage in the Endangered Species section of the Sourcebook located at: <http://www.saj.usace.army.mil/Missions/Regulatory/SourceBook.aspx>

Note - JAXBO may be subject to revision at any time. The most recent version of these conditions must be utilized during the design and construction of the permitted work. In accordance with the Endangered Species Act, and for those projects which do not comply with JAXBO, the Corps will seek individual consultation with the NMFS.

Note - some authorized activities may deviate from the PDCs. In cases, where the activity (i.e., structure dimensions, length, etc.) deviates from the PDCs, the permit drawings shall supersede the PDCs.

For each of the following authorized activities subject of this permit, the permittee shall adhere to the following PDCs, which are attached to, and made part of, this authorization/verification letter:

Activity 2 - Pile-supported Structures and Anchored Buoys: (AP.1-14; A2.1-16; S.1; S.2; S.4) (Attachment D)

Please note U.S. Coast Guard regulations may require you as permittee to provide information for a Notice to the maritime community regarding your project. You should contact the Coast Guard Sector Mobile Waterways Management Branch (spw), 1500 15th Street, Mobile, AL 36615 or by phone at 251-441-5684 to determine if a Notice is

necessary. Also any safety lights, signs and signals prescribed by the U.S. Coast Guard through their regulations or otherwise, must be installed and maintained at your expense as permittee on authorized facilities in navigable waters of the United States. To receive a U.S. Coast Guard Private Aids to Navigation marking determination, you are advised to contact the Eighth Coast Guard District (dpw), 500 Poydras St. Suite 1230, New Orleans, LA 70130, 504-671-2328 or via email to: D8oanPATON@uscg.mil prior to installation/construction of any fixed structures. For general information related to Private Aids to Navigation please visit the Eighth CG District web site at: <http://www.atlanticarea.uscg.mil/district-8/district-divisions/waterways/PATON>

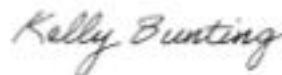
This letter of authorization does not give absolute Federal authority to perform the work as specified on your application. The proposed work may be subject to local building restrictions mandated by the National Flood Insurance Program. You should contact your local office that issues building permits to determine if your site is located in a flood-prone area, and if you must comply with the local building requirements mandated by the National Flood Insurance Program.

This letter of authorization does not preclude the necessity to obtain any other Federal, State, or local permits, which may be required.

Thank you for your cooperation with our permit program. The Corps' Jacksonville District Regulatory Division is committed to improving service to our customers. We strive to perform our duty in a friendly and timely manner while working to preserve our environment. We invite you to complete our automated Customer Service Survey at <https://regulatory.ops.usace.army.mil/customer-service-survey/>. Please be aware this Internet address is case sensitive; and, you will need to enter it exactly as it appears above. Your input is appreciated – favorable or otherwise.

Should you have any questions related to this GP verification or have issues accessing the documents reference in this letter, please contact Kelly Bunting at the letterhead address above, via telephone at 850-763-0717, or via e-mail at Kelly.A.Bunting@usace.army.mil.

Sincerely,



Kelly Bunting
Project Manager

CC: Mary Ann Wasmund, Garlick Environmental Assoc., Inc.
Enclosures

DEPARTMENT OF THE ARMY PERMIT TRANSFER REQUEST

DA PERMIT NUMBER: SAJ-2021-03065(GP-KAB)

When the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new owner(s) of the property. Although the construction period for works authorized by Department of the Army permits is finite, the permit itself, with its limitations, does not expire.

To validate the transfer of this permit and the associated responsibilities associated with compliance with its terms and conditions, have the transferee sign and date below and mail to the U.S. Army Corps of Engineers, Enforcement Section, Post Office Box 4970, Jacksonville, FL 32232-0019 or submit via electronic mail to: SAJ-RD-Enforcement@usace.army.mil (not to exceed 15 MB).

(TRANSFeree-SIGNATURE)

(SUBDIVISION)

(DATE)

(LOT)

(BLOCK)

(NAME-PRINTED)

(STREET ADDRESS)

(MAILING ADDRESS)

(CITY, STATE, ZIP CODE)

(850) 653-8899 FAX (850) 653-9656 garlick@garlickenv.com

garlick@garlickenv.com

JOB: 21-209

DEP:

COE:

OTHER: REV. 10-26-21

DATE: October 18, 2021

SHEET: 2/4

RNG: 5 West



SCALE 1" = 100'

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

(850) 653-8899

FAX (850) 653-9656

garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: Vincent Smith

WATERBODY/CLASS: Carrabelle River

PURPOSE: Environmental Permitting

PROJECT LOCATION / USGS: Franklin County - Carrabelle

LATITUDE: 29° 51' 12.05"

LONGITUDE: 84° 41' 25.71"

SECTION: 24 TOWNSHIP: 7 South

RNG: 5 West

JOB: 21-209

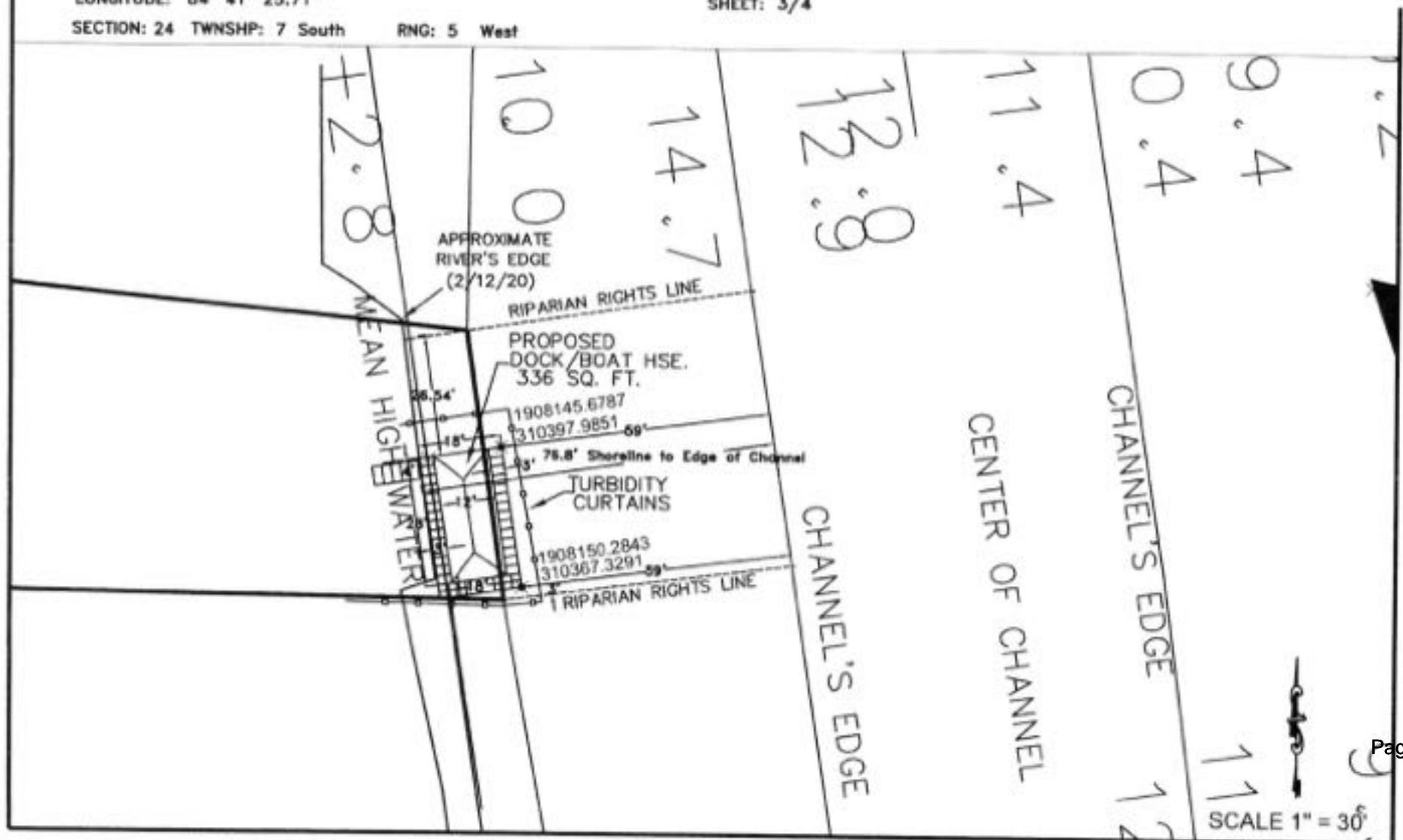
DEP:

COE:

OTHER: REVISED 10-25-21

DATE: October 18, 2021

SHEET: 3/4



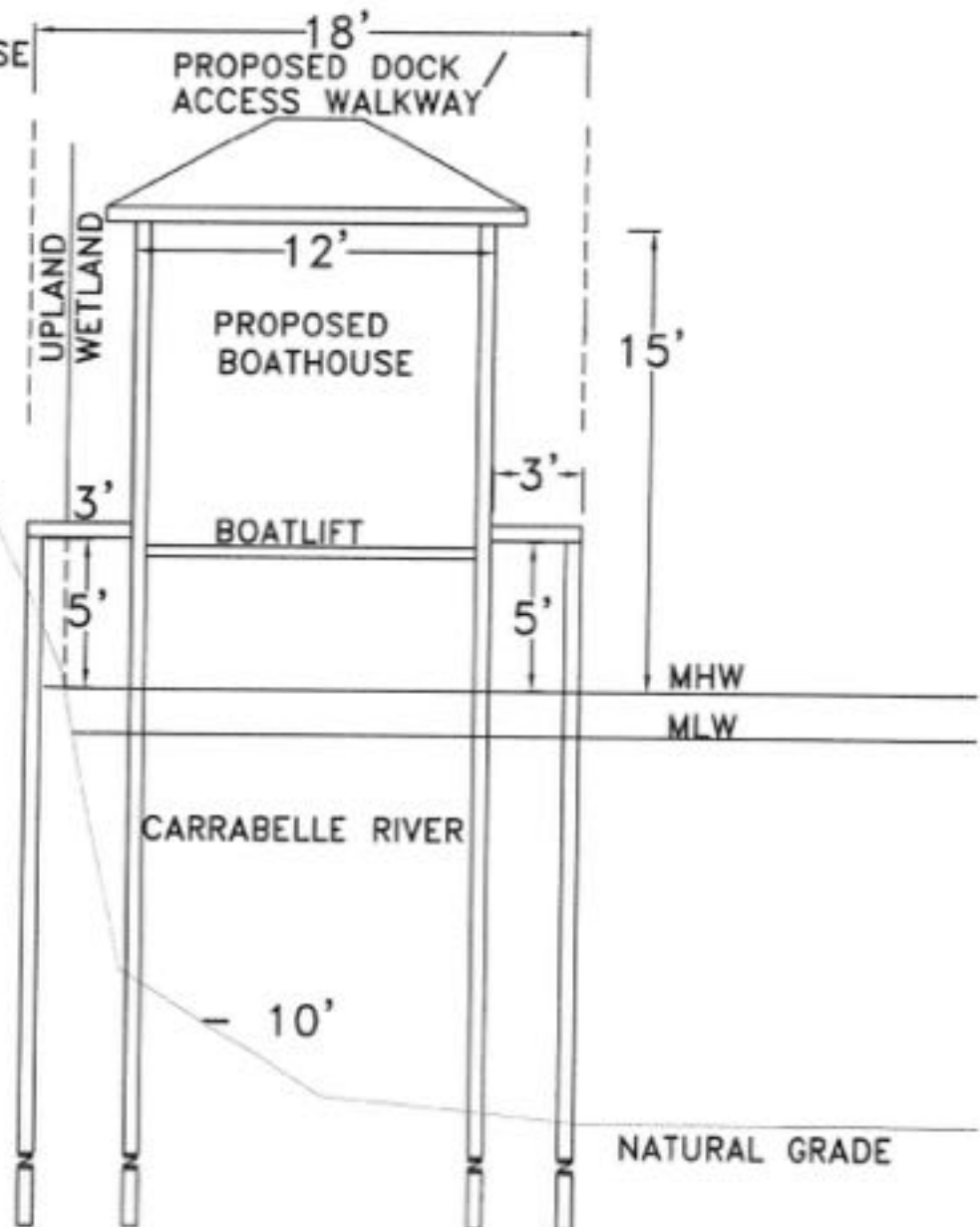
PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.



APPLICANT/CLIENT: Vincent Smith
WATERBODY/CLASS: Carrabelle River
PURPOSE: Environmental Permitting
PROJECT LOCATION / USGS: Franklin County
LATITUDE: 29° 51' 12.05"
LONGITUDE: 84° 41' 25.71"
SECTION: 24 TNSHP: 7 South RNG: 5 West

JOB: 21-209
DEP:
COE:
OTHER:
DATE: October 18, 2021
SHEET: 4/4

CROSS SECTION
OF PROPOSED
DOCK AND BOATHOUSE
NOT TO SCALE



These drawings are for
permitting purposes
only. Not intended for
construction purposes

COMMENCEMENT NOTIFICATION

Within ten (10) days of initiating the authorized work, submit this form via electronic mail to saj-rd-enforcement@usace.army.mil (preferred, not to exceed 15 MB) or by standard mail to U.S. Army Corps of Engineers, Enforcement Section, P.O. Box 4970, Jacksonville, FL 32232-0019.

1. Department of the Army Permit Number: SAJ-2021-03065(GP-KAB)

2. Permittee Information:

Name: _____

Email: _____

Address: _____

Phone: _____

3. Construction Start Date: _____

4. Contact to Schedule Inspection:

Name: _____

Email: _____

Phone: _____

Signature of Permittee

Printed Name of Permittee

Date

SELF-CERTIFICATION STATEMENT OF COMPLIANCE

*Within sixty (60) days of completion of the authorized work, submit this form via electronic mail to saj-rd-enforcement@usace.army.mil (preferred, not to exceed 15MB) **or** by standard mail to U.S. Army Corps of Engineers, Enforcement Section, P.O. Box 4970, Jacksonville, FL 32232-0019.*

1. Department of the Army Permit Number: SAJ-2021-03065(GP-KAB)
2. Permittee Information: Name: _____
Email: _____
Address: _____

Phone: _____
3. Date Authorized Work Started: _____ Completed: _____
4. Contact to Schedule Inspection: Name: _____
Email: _____
Phone: _____
5. Description of Authorized Work (e.g. bank stabilization, fill placed within wetlands, docks, dredging, etc.): _____

6. Acreage or Square Feet of Impacts to Waters of the United States: _____
7. Describe Mitigation completed (if applicable): _____

8. Describe any Deviations from Permit (attach drawing(s) depicting the deviations): _____

I certify that all work and mitigation (if applicable) was done in accordance with the limitations and conditions as described in the permit. Any deviations as described above are depicted on the attached drawing(s).

Signature of Permittee

Printed Name of Permittee

Date

STANDARD MANATEE CONDITIONS FOR IN-WATER WORK

2011

The permittee shall comply with the following conditions intended to protect manatees from direct project effects:

- a. All personnel associated with the project shall be instructed about the presence of manatees and manatee speed zones, and the need to avoid collisions with and injury to manatees. The permittee shall advise all construction personnel that there are civil and criminal penalties for harming, harassing, or killing manatees which are protected under the Marine Mammal Protection Act, the Endangered Species Act, and the Florida Manatee Sanctuary Act.
- b. All vessels associated with the construction project shall operate at "Idle Speed/No Wake" at all times while in the immediate area and while in water where the draft of the vessel provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.
- c. Siltation or turbidity barriers shall be made of material in which manatees cannot become entangled, shall be properly secured, and shall be regularly monitored to avoid manatee entanglement or entrapment. Barriers must not impede manatee movement.
- d. All on-site project personnel are responsible for observing water-related activities for the presence of manatee(s). All in-water operations, including vessels, must be shutdown if a manatee(s) comes within 50 feet of the operation. Activities will not resume until the manatee(s) has moved beyond the 50-foot radius of the project operation, or until 30 minutes elapses if the manatee(s) has not reappeared within 50 feet of the operation. Animals must not be herded away or harassed into leaving.
- e. Any collision with or injury to a manatee shall be reported immediately to the Florida Fish and Wildlife Conservation Commission (FWC) Hotline at 1-888-404-3922. Collision and/or injury should also be reported to the U.S. Fish and Wildlife Service in Jacksonville (1-904-731-3336) for north Florida or in Vero Beach (1-772-562-3909) for south Florida, and emailed to FWC at ImperiledSpecies@myFWC.com.
- f. Temporary signs concerning manatees shall be posted prior to and during all in-water project activities. All signs are to be removed by the permittee upon completion of the project. Temporary signs that have already been approved for this use by the FWC must be used. One sign which reads *Caution: Boaters* must be posted. A second sign measuring at least 8 1/2" by 11" explaining the requirements for "Idle Speed/No Wake" and the shut down of in-water operations must be posted in a location prominently visible to all personnel engaged in water-related activities. These signs can be viewed at http://www.myfwc.com/WILDLIFEHABITATS/manatee_sign_vendors.htm. Questions concerning these signs can be forwarded to the email address listed above.



GARLICK ENVIRONMENTAL ASSOCIATES, INC.

SPECIALIZING IN: REGULATORY PERMITS • WETLANDS/UPLAND JURISDICTIONAL
DELINEATIONS • SUBMERGED LAND LEASES • ECOLOGICAL INVENTORY ASSESSMENTS •
CONSERVATION AND OTHER EASEMENTS • EXPERT WITNESS AND ENVIRONMENTAL
LITIGATION SERVICES • MITIGATION • CULTURAL RESOURCE ANALYSIS • CREATIVE
MARINA, DOCK, AND SUBDIVISION DESIGN

RECEIVED
DEC 02 2021

BY: MCC

October 26, 2021

Ms Cortni Bankston
Franklin County Planning & Zoning
33 Commerce Street
Apalachicola, FL 32320

Re: Planning and Zoning Agenda
GEA File No. 21-243
Anthony Barlow

Dear Ms. Cortni Bankston:

Please find attached a Development Permit Application for the referenced project. The proposed project consists of construction of Single Family Dock and a Covered Boat Lift. The Covered Boat Lift will be constructed 26 ft. in length and 16 ft. in width for a total 416 Sq. Ft.

The Access Walkway will be constructed 47.5 ft. in length from Mean High Water and a width of 4 ft. for a total of 190 Sq. Ft. The terminus will be constructed 10 ft. in length and 8 ft. in width for a total of 80 Sq Ft. Two (2) access walkways will be constructed on both sides of the covered boat lift. One will be constructed 26 ft. in length and 4 ft. in width with a step down to access the water for a total of 104 Sq Ft. The other walkway will be constructed 16 ft. in length and 4 ft. in width for a total of 64 Sq Ft. The total Sq Ft of the proposed dock will be 439 Sq Ft.

Attached are the following items:

- 1) A Development Permit Application;
- 2) A Copy of the FDEP Permit is included (COE has not been issued as of this date);
- 3) Franklin County Property Appraiser sheet indicating our client, Anthony Barlow is the owner of the parcel in which the proposed dock will be constructed;
- 4) The Franklin County Property Appraiser sheet for the adjacent neighbors;

If you have any questions, please let me know.

Sincerely,

A handwritten signature in black ink, appearing to read "Mary Ann Wasmunds". The signature is fluid and cursive, with a large loop at the end.

Mary Ann Wasmunds, Project Manager
Garlick Environmental Associates, Inc.

Attachments



APPLICATION FOR DEVELOPMENT

FRANKLIN COUNTY BUILDING DEPARTMENT

34 Forbes Street, Suite 1, Apalachicola, Florida 32320

Phone: 850-653-9783 Fax: 850-653-9799

http://www.franklincountyflorida.com/planning_building.aspx

PERMIT # _____

FEE: \$ _____

RADON: \$ _____

TOTAL: \$ _____

NOTE TO APPLICANTS AND PERMIT HOLDERS:

VIOLATIONS OF THE TERMS AND CONDITIONS OF THIS PERMIT MAY WARRANT A STOP WORK ORDER OR REVOCATION OF THIS PERMIT. THIS PERMIT IS VALID FOR ONE YEAR FROM THE DATE OF ISSUANCE. CONSTRUCTION MUST COMMENCE WITHIN SIX MONTHS OF THIS DATE:

ISSUANCE DATE: _____ EXPIRES: _____

- ☐ New Construction
 - ☐ Commercial
 - ☐ Residential
- ☐ Substantial Improvement
- ☐ Less than Substantial

APPLICATION MUST BE COMPLETE: (Incomplete applications will be review once it has)

Property Owner/s: Anthony Barlow

Contact Information: Home #: _____ Cell #: 850-321-5194

Mailing Address: 200 Riverside Street City/State/Zip: Franklin - GA - 30217

EMAIL Address: vmadewell@gmail.com - 3030barlow@gmail.com

Contractor Name: _____ Business Name: _____

Contact Information: Office #: _____ Cell #: _____

State License #: _____ County Registration #: _____

Mailing Address: _____ City/State/Zip: _____

EMAIL Address: _____

PROPERTY DESCRIPTION: 911 Address: 291 Atlantic Avenue 512 River Road

Lot/s: 1 Block: 8 Subdivision: _____ Unit: _____

Parcel Identification #: 94-09s.08w-8360-0008-0199 18-075-04W-0000-0121-0000

JURISDICTION: ☒ Franklin County

☒ Apalachicola ☐ Eastpoint ☐ St. George Island ☒ Carrabelle ☐ Dog Island ☐ Lanark/ St. James ☐ St. Teresa ☐ Alligator Point

DESCRIPTION OF DEVELOPMENT: Placing Roof over an existing lacinius Dock with covered boat lift

ZONING DISTRICT: 3 CONTRACT COST: _____

HEATED SQ FT: _____ UN-HEATED SQ FT: _____ TOTAL SQUARE FOOT: _____

ROOF MATERIAL: _____ FOUNDATION TYPE: _____ LOT DEMENSION: _____

NO. OF STORIES: _____ STORAGE SQ FOOTAGE: _____ GAS UTILITIES: _____

(Requires Building or General Contractor if over 3 habitable stories including mezzanines.) (VE Zones: 299 Sq. Foot or Less and MUST be certified breakaway construction by Engineer)

SEPTIC TANK PERMIT # _____ OR SEWER DISTRICT: _____

WATER DISTRICT: _____ OR PRIVATE WELL: _____

WATER BODY: _____

CRITICAL SHORELINE DISTRICT: ☐ YES OR NO ☐ CRITICAL HABITAT ZONE: ☐ YES OR NO ☐

FLOOD ZONE INFORMATION: EFFECTIVE DATE: February 5, 2014

PANEL NUMBER: _____ FIRM ZONE/S: _____

ELEVATION REQUIREMENTS AS PER SURVEY:

☐ Requires V-Zone Certification ☐ Requires Elevation Certificates ☐ Requires Smart Vents ☐ Requires Breakaway Walls

BUILDING OFFICIAL: _____ DATE: _____ FLOODPLAIN ADMIN: _____ DATE: _____ OWNER/CONTRACTOR: _____ DATE: _____

SUPPLEMENTAL APPLICATION

- 1- Proposed Alteration of the Land:
 - Determination of COE & DEP Wetlands: _____
 - Amount and location of Fill to be placed on property: _____
 - Percentage of land to be placed in impervious surface: _____
- 2- Critical Shoreline Inspection:
 - Construction to be a minimum of 50 feet from the mean high water or wetland: _____
(Must be indicated on submitted site plan)
 - Construction within 50 feet of the mean high water or wetlands: _____
 - Attach the Board of Adjustment Approval: Date of Approval: _____
(Expires One Year From Approval Date)
- 3- Elevation Requirements:
 - FLOOD ZONE: _____ BASE FLOOD ELEVATION: _____
 - LOWEST BASE FLOOD ELEVATION AT BUILDING SITE: _____
 - A/AE/AH/AO ZONES: Elevation of bottom of the first floor: _____
 - VE Zones: Elevation of the first floor horizontal support structure: _____

DEVELOPMENT APPLICATION CHECKLIST

RESIDENTIAL:

- ☒ Application
- ☐ Supplemental Application
- ☐ Boundary Survey (Non-Flood Zones)
- ☒ Site Plan
- ☐ Septic Tank Permit
- ☐ Water & Sewer Letter
- ☐ Energy Code Form
- ☐ 2 Complete Sets of Building Plans
- ☐ Wind Load Analysis ☐ Engineered State Permits
- ☐ DEP Permits ☐ COE Permits ☐ FDOT Permits
- ☐ Structure Height & Number of Stories Affidavit
- ☐ Portable Toilet Agreement
- ☐ Owner/Builder Affidavit
- ☐ Dumpster Affidavit
- ☐ Termite Affidavit
- ☐ Turtle Light Affidavit (If Applicable)
- ☐ Recorded Notice of Commencement

FORMS REQUIRED IN FLOOD ZONES: (Additional)

- ☐ Topographical Survey
- ☐ Flood Plain Management Review
- ☐ V Zone Certification (If Applicable)
- ☐ Smart Vent Certification (If Applicable)
- ☐ Elevation Affidavit
- ☐ Non Conversion Agreement

COMMERCIAL: (Additional to Residential)

- ☐ P&Z Approval Notice
- ☐ BOA Approval Notice
- ☐ BCC Approval Notice
- ☐ DEP Storm Water Permit/Exemption
- ☐ DBPR Approval
- ☐ Parking Plan
- ☐ Flood Proofing Certification (If Applicable)

SUB-CONTRACTOR LIST

PLEASE BE ADVISED THAT ALL CONTRACTORS DOING WORK IN FRANKLIN COUNTY MUST BE REGISTERED IN FRANKLIN COUNTY PRIOR TO PERFORMING ANY WORK IN THIS COUNTY. ALL GENERAL, RESIDENTIAL & BUILDING, ELECTRICAL, PLUMBING, HVAC & ROOFING CONTRACTOR'S ARE REQUIRED TO PULL PERMITS ON ALL NEW, RENOVATIONS, REMODEL PROJECTS.

CONTRACTOR OR OWNER HAS CONTRACTED WITH THE FOLLOWING (OWNER/BUILDERS ARE NOT ALLOWED TO HIRE SPECIALTY FRAMING CONTRACTORS) ALL CONTRACTOR'S & SUBCONTRACTOR'S MUST BE REGISTERED WITH FRANKLIN COUNTY AND ALL APPLICABLE PERMITS MUST BE OBTAINED BEFORE COMMENCING WORK.

- | | | | |
|-------------------|-------------------------------------|-------------------|-------------------------------------|
| Contractor: _____ | <input type="checkbox"/> Registered | Insulation: _____ | <input type="checkbox"/> Registered |
| Electrical: _____ | <input type="checkbox"/> Registered | Painting: _____ | <input type="checkbox"/> Registered |
| Plumbing: _____ | <input type="checkbox"/> Registered | Framing: _____ | <input type="checkbox"/> Registered |
| HVAC: _____ | <input type="checkbox"/> Registered | Masonry: _____ | <input type="checkbox"/> Registered |
| Roofing: _____ | <input type="checkbox"/> Registered | Tile: _____ | <input type="checkbox"/> Registered |
| Drainage: _____ | <input type="checkbox"/> Registered | Siding: _____ | <input type="checkbox"/> Registered |
| Concrete: _____ | <input type="checkbox"/> Registered | Other: _____ | <input type="checkbox"/> Registered |
| Piling: _____ | <input type="checkbox"/> Registered | Other: _____ | <input type="checkbox"/> Registered |

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385 (850) 653-8899 FAX (850) 653-9856 garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: Anthony Borlow

WATERBODY/CLASS: Corrobballe River

PURPOSE: EP - Dock

PROJECT LOCATION / USGS: Corrobballe / Franklin County

LATITUDE: 28° 51' 47.37"

LONGITUDE: 84° 41' 2.33"

SECTION: TOWNSHIP:

RNG:

JOB: 21-143

DEP:

COE:

OTHER:

DATE: September 9, 2021

SHEET: 1/4



NOT TO SCALE



PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.
P. O. BOX 585, APALACHICOLA FLORIDA 32328-0585
LB No. 7415

APPLICANT/CLIENT: Anthony Barlow

WATERBODY/CLASS: Corroballe River

PURPOSE: EP - Dock

PROJECT LOCATION / USGS: Corroballe / Franklin County

LATITUDE: 29° 51' 47.37"

LONGITUDE: 84° 41' 2.33"

SECTION: TOWNSHIP: RNO:

JOB: 21-143

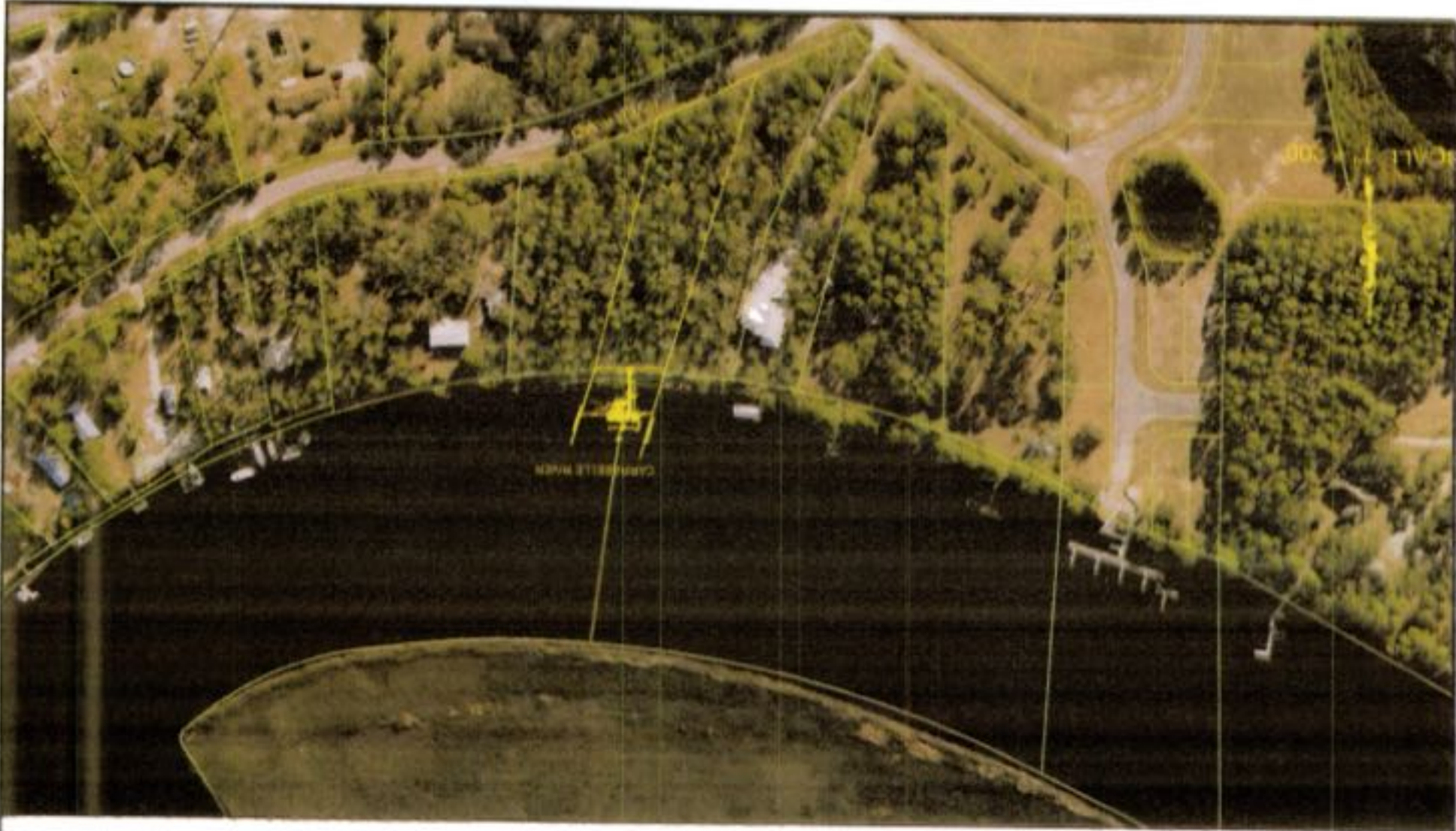
DEP:

COE:

OTHER:

DATE: September 9, 2021

SHEET: 2/4





Owner



Overview



Legend

- Parcels
- Roads
- City Labels

Parcel ID	18-075-04W-0000-0121-0000	Alternate ID	04W07518000001210000	Owner Address	BARLOW BROOKS
Sec/Twp/Rng	--	Class	VACANT		200 RIVERSIDE STREET
Property Address	512 RIVER RD	Acreage	0.743		FRANKLIN, GA 30217
	CARRABELLE				
District	1				
Brief Tax Description	100 AC ON THE CARRABELLE RIVE				
	(Note: Not to be used on legal documents)				

Date created: 9/13/2021
Last Data Uploaded: 9/13/2021 7:46:53 AM

Developed by Schneider
GEOSPATIAL

Parcel Summary

Parcel ID: 18-075-04W-0000-0121-0000
 Location Address: 512 RIVER RD
 CARRABELLE 32322
 Brief Tax Description*: 1.00 AC ON THE CARRABELLE RIVE 86/96 550/75 784/697 1003/442 1261/523 1306/376
*The Description above is not to be used on legal documents.
 Property Use Code: VACANT (000000)
 Sec/Twp/Rng: --
 Tax District: County (District 1)
 Millage Rate: 11.2322
 Acreage: 0.743
 Homestead: N

[View Map](#)

Owner Information

Primary Owner
 Barlow Brooks
 200 Riverside Street
 Franklin, GA 30217

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000130	SFR WATER	1.00	UT	90	360

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	06/30/2021	\$140,000	WD	1306	376	Qualified (Q)	Vacant	SINCLAIR	BARLOW
N	03/11/2020	\$220,000	WD	1261	123	Qualified (Q)	Vacant	POWERS JUDITH AS TRUSTEE OF POWERS	SINCLAIR
N	12/29/2009	\$100	FD	1003	442	Unqualified (U)	Vacant	GRAY	POWERS
N	04/14/2004	\$200,000	WD	784	697	Qualified (Q)	Vacant	POWERS	GRAY

Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$81,000	\$81,000	\$97,200	\$60,000	\$60,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$81,000	\$81,000	\$97,200	\$60,000	\$60,000
Assessed Value	\$79,860	\$72,600	\$66,000	\$60,000	\$60,000
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$79,860	\$72,600	\$66,000	\$60,000	\$60,000
Maximum Save Our Homes Portability	\$1,140	\$8,400	\$31,200	\$0	\$0

* Just (Market) Value* description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

TRIM History 2020

[View TRIM History 2020](#)

TRIM History 2019

[View TRIM History 2019](#)

TRIM History 2018

[View TRIM History 2018](#)

Prepared By and Return To:
Menausa, Shaw & Menausa, P.A.
140-D West First St.
St. George Island, FL 32328

File No. 21-02586U

Property Appraiser's Parcel ID (also) Number(s)
19-078-04W-0000-0121-0000

Inst: 202119004200 Date: 06/30/2021 Time: 3:46PM
Page 1 of 3 B: 1306 P: 376 Michele Maxwell, Clerk of Court Frank
County, FL 32117
Deputy Clerk Doc Stamp Deed: 990.00

WARRANTY DEED

THIS WARRANTY DEED dated June 21, 2021, by Craig Sinclair and Kimberly Sinclair, husband and wife, whose post office address is 160 Calvin Murphy Rd., Grantville, GA 30220, hereinafter called the grantor, to Brooks Barlow also known as Anthony Brooks Barlow, a married man, whose post office address is 200 Riverside Street, Frankin, GA 30217, hereinafter called the grantee.

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the grantor, for and in consideration of the sum of \$10.00 and other valuable consideration, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, alien, remises, releases, conveys, and confirms unto the grantee, all the certain land situated in Franklin County, Florida, to wit:

As shown on Exhibit A which is attached hereto and incorporated herein by reference.

Subject to easements, restrictions, reservations and limitations of record, if any.

TO HAVE AND TO HOLD the same in Fee Simple forever.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2020.

Warranty Deed (Individuals to Individuals)

WARRANTY DEED
(Continued)

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of

[Signature]
(Witness Signature)

Dusty Nelson

[Signature]
(Witness Signature)

Sammy Wansura

[Signature]
(Witness Signature)

Kimberly Sindler

160 Calvin Murphy Rd.

(Address)

Grainville, GA 30220

(Address)

STATE OF Georgia
COUNTY OF Marble

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 16 day of June, 2021 by Craig Sindler and Kimberly Sindler, who are personally known to me or who has produced Gov. ID as identification.

[Signature]
Notary Public



Warranty Deed (Individual to Individual)

WARRANTY DEED
(Continued)

EXHIBIT A

Commence at a concrete monument marking the Southwest corner of Section 18, Township 7 South, Range 4 West, Franklin County, Florida, and thence run North 89 degrees 58 minutes 18 seconds East along the South boundary of said Section 18, a distance of 185.49 feet to a concrete monument marking the Northeast corner of Section 24, thence continue North 89 degrees 58 minutes 18 seconds East along said South boundary 212.38 feet, thence run North 01 degrees 35 minutes 41 seconds East 545.89 feet to a re-rod on the Northerly right-of-way boundary of a County Road, thence run South 85 degrees 08 minutes 31 seconds West along said right-of-way boundary 200.88 feet to the POINT OF BEGINNING. From said POINT OF BEGINNING thence run North 14 degrees 10 minutes 31 seconds East 383.02 feet to the approximate mean highwater line of New River, thence run North 88 degrees 00 minutes 29 seconds West along said approximate mean highwater line 98.95 feet, thence run South 16 degrees 53 minutes 28 seconds West 457.38 feet to the Northerly right-of-way boundary of said County Road, thence run North 85 degrees 05 minutes 31 seconds East along said right-of-way boundary 149.45 feet to the POINT OF BEGINNING, containing 1.00 acre, more or less.

BEING MORE PARTICULARLY DESCRIBED BY RECENT SURVEY PREPARED BY RODDENBERRY & ASSOCIATES, INC., UNDER JOB # 20-133, AS FOLLOWS:

Commence at a concrete monument marking the Southwest corner of Section 18, Township 7 South, Range 4 West, Franklin County, Florida, and thence run North 89 degrees 52 minutes 24 seconds East along the South boundary of said Section 18, a distance of 185.95 feet to an iron rod marking the Northeast corner of Section 24, thence continue North 89 degrees 52 minutes 24 seconds East along said South boundary 747.43 feet, thence leaving said South boundary run North 01 degrees 35 minutes 41 seconds East 1828.54 feet to an iron rod and cap (marked 7150) lying on the Northerly right-of-way boundary of a River Road; thence run South 85 degrees 08 minutes 28 seconds West along said right-of-way boundary 200.95 feet to a concrete monument marking the POINT OF BEGINNING. From said POINT OF BEGINNING and leaving said right-of-way boundary North 14 degrees 10 minutes 31 seconds East 370.82 feet to a point lying on the approximate river's edge of New River, thence run South 88 degrees 42 minutes 38 seconds West along said river's edge 80.51 feet, thence run North 73 degrees 12 minutes 38 seconds West along said river's edge 18.75 feet, thence leaving said river's edge run South 17 degrees 00 minutes 23 seconds West 444.95 feet to a concrete monument lying on the Northerly right-of-way boundary of said River Road; thence run North 85 degrees 15 minutes 14 seconds East along said right-of-way boundary 149.47 feet to the POINT OF BEGINNING containing 0.97 acres, more or less.

Warranty Deed (Individuals Initialed)

Adjacent Neighbor



- Legend**
-  Parcels
 -  Roads
 -  City Labels

Parcel ID	18-075-04W-0000-0122-0000	Alternate ID	04W07518000001220000	Owner Address	SINCLAIR CRAIG & KIM
Sec/Twp/Rng	--	Class	VACANT		160 CALVIN MURPHY RD
Property Address		Acreage	0.743		GRANTVILLE, GA 30220
District	1				
Brief Tax Description	1.00 ACRE M/L ON CARRABELLE				
	<i>(Note: Not to be used on legal documents)</i>				

Date created: 9/13/2021
 Last Data Uploaded: 9/13/2021 7:46:53 AM

Developed by  **Schneider**
 GEOSPATIAL

Parcel Summary

Parcel ID: 18-075-04W-0000-0122-0000
 Location Address: 32322
 Brief Tax Description: 1.00 ACRE NW/4 ON CARRABELLE RIVER 86/96 550/75 784/706 1003/439 1261/523
 Property Use Code: VACANT (000000)
 Sec/Twp/Rng: --
 Tax District: County (District 1)
 Millage Rate: 11.2322
 Acreage: 0.743
 Homestead: N

[View Map](#)

Owner Information

Primary Owner

[Maple Creek & P, LLC](#)
 160 Calvin Murphy Rd
 Grantville, GA 30220

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000130	SFR WATER	1.00	UT	00	360

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	03/11/2020	\$220,000	WD	1261	523	Qualified (Q)	Vacant	POWERS JUDITH AS TRUSTEE OF POWERS	SINCLAIR
N	01/04/2010	\$200,000	WD	1003	439	Unqualified (U)	Vacant	GRAY	POWERS TRUSTEES
N	04/14/2004	\$200,000	WD	784	706	Qualified (Q)	Vacant	POWERS	GRAY

Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$81,000	\$81,000	\$97,200	\$60,000	\$60,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$81,000	\$81,000	\$97,200	\$60,000	\$60,000
Assessed Value	\$79,860	\$72,600	\$66,000	\$60,000	\$60,000
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$79,860	\$72,600	\$66,000	\$60,000	\$60,000
Maximum Save Our Homes Portability	\$1,140	\$8,400	\$31,200	\$0	\$0

Just (Market) Value description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

FRM Notice 2020

[View FRM Notice 2020](#)

FRM Notice 2019

[View FRM Notice 2019](#)

FRM Notice 2017

[View FRM Notice 2017](#)



Adjacent Neighbor



Overview



Legend

- Parcels
- Roads
- City Labels

Parcel ID	18-075-04W-0000-0090-0010	Alternate ID	04W07518000000900010	Owner Address	PAXTON MICHAEL CRAIG & GERIL
Sec/Twp/Rng	18-75-4W	Class	VACANT		5341 COUNTY RD 125
Property Address		Acreage	0.799		WILDWOOD, FL 34785
District	1				
Brief Tax Description	100 AC M/L OR 86/96				

(Note: Not to be used on legal documents)

Date created: 9/13/2021
Last Data Uploaded: 9/13/2021 7:46:53 AM

Developed by Schneider
GEOSPATIAL

Parcel Summary

Parcel ID: 18-075-04W-0000-0090-0010
 Location Address:
 Brief Tax Description: 100 AC M/L OR 86/96 97/130 101/260 158/408 215/381 550/75 784/864 997/590 1164/324-DC 1164/325-DC 1230/744 1230/747
**The Description above is not to be used on legal documents*
 Property Use Code: VACANT (300000)
 Sec/Twp/Rng: 18-75-4W
 Tax District: County (District 1)
 Millage Rate: 11.2322
 Acreage: 0.799
 Homestead: N

[View Map](#)

Owner Information

Primary Owner:
 Paston Michael Craig & Geri L.
 5341 County Rd 125
 Wildwood, FL 34785

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000178	NEW RIVER INTERR	1.00	UT	118	295

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	11/08/2018	\$89,900	WD	1230	747	Qualified (Q)	Vacant	BENEFIELD DARLENE MILES	PAKTON
N	10/31/2018	\$100	QC	1230	744	Unqualified (U)	Vacant	POWERS TRUST	BENEFIELD DARLENE MILES

Valuation

	2020 Certified	2019 Certified	2018 Certified
Building Value	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0
Land Value	\$87,025	\$87,025	\$130,680
Land Agricultural Value	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0
Just (Market) Value	\$87,025	\$87,025	\$130,680
Assessed Value	\$87,025	\$87,025	\$130,680
Exempt Value	\$0	\$0	\$0
Taxable Value	\$87,025	\$87,025	\$130,680
Maximum Save Our Homes Portability	\$0	\$0	\$0

Just (Market) Value description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

TRIM 66/96/30-8200

TRIM 66/96/30-8200

TRIM 66/96/30-8200



FLORIDA DEPARTMENT OF Environmental Protection

Northwest District
160 W. Government Street, Suite 308
Pensacola, Florida 32502-5740
NWD_EPOST@dep.state.fl.us

Ron DeSantis
Governor

Jeannette Núñez
Lt. Governor

Shawn Hamilton
Secretary

October 26, 2021

Anthony Barlow
200 Riverside Street
Franklin, GA 30217
3030barlow@gmail.com

File No.: 0410625-001-EE/19, Franklin County

Dear Mr. Barlow:

On October 1, 2021, we received your request for verification of exemption to perform the following activities:

To construct a single-family dock with a covered boat lift within New River, Class III Florida Waters, Unclassified Shellfish Harvesting Area. The project is located at 512 River Road, Carrabella, Florida 32322, Parcel No. 18-07S-04W-0000-0121-0000, in Section 18, Township 7 South, Range 4 West in Franklin County; 29°51'47.7337" North Latitude, -84°41'1.9942" West Longitude.

Your request has been reviewed to determine whether it qualifies for (1) regulatory exemption, (2) proprietary authorization (related to state-owned submerged lands), and (3) federal approval that may be necessary for work in wetlands or waters of the United States.

Your project did not qualify for the proprietary and federal review portion(s) of this verification request. **Additional authorization must be obtained prior to commencement of the proposed activity.** This letter does not relieve you from the responsibility of obtaining other federal, state, or local authorizations that may be required for the activity. Please refer to the specific section(s) dealing with that portion of the review below for advice on how to proceed.

If you change the project from what you submitted, the authorization(s) granted may no longer be valid at the time of commencement of the project. Please contact us prior to beginning your project if you wish to make any changes.

1. Regulatory Review – Verified

Based on the information submitted, the Department has verified that the activity as proposed is exempt, under Rule 62-330.051(5)(b), Florida Administrative Code (F.A.C.) under Section 403.813(1)(b), Florida Statutes (F.S.) from the need to obtain a regulatory permit under Part IV of Chapter 373 of the Florida Statutes.

This exemption verification is based on the information you provided the Department and the statutes and rules in effect when the information was submitted. This verification may not be valid if site conditions materially change, the project design is modified, or the statutes or rules governing the exempt activity are amended. In the event you need to re-verify the exempt status for the activity, a new request and verification fee will be required. Any substantial modifications to the project design should be submitted to the Department for review, as changes may result in a permit being required.

2. Proprietary Review – Not Required

The activity does not appear to be located on sovereign submerged lands, and does not require further authorization under Chapters 253 or 258, F.S. or Chapters 18-20 or 18-21, F.A.C.

3. Federal Review – SPGP Not Approved

Your proposed activity as outlined on your application and attached drawings **does not qualify** for Federal authorization pursuant to the State Programmatic General Permit and a **SEPARATE permit** or authorization **shall be required** from the Corps. You must apply separately to the Corps using their APPLICATION FOR DEPARTMENT OF THE ARMY PERMIT, ENG FORM 4345, or alternative as allowed by their regulations. More information on Corps permitting may be found online in the Jacksonville District Regulatory Division Source Book at: <https://www.saj.usace.army.mil/Missions/Regulatory/Source-Book>.

Authority for review - an agreement with the USACOE entitled "Coordination Agreement Between the U. S. Army Corps of Engineers (Jacksonville District) and the Florida Department of Environmental Protection (or Duly Authorized Designee), State Programmatic General Permit", Section 10 of the Rivers and Harbor Act of 1899, and Section 404 of the Clean Water Act.

Additional Information

Please retain this letter. The activities may be inspected by authorized state personnel in the future to ensure compliance with appropriate statutes and administrative codes. If the activities are not in compliance, you may be subject to penalties under Chapter 373, F.S. and Chapter 18-14, F.A.C.

NOTICE OF RIGHTS

This action is final and effective on the date filed with the Clerk of the Department unless a petition for an administrative hearing is timely filed under Sections 120.569 and 120.57, F.S., before the deadline for filing a petition. On the filing of a timely and sufficient petition, this action will not be final and effective until a subsequent order of the Department. Because the administrative hearing process is designed to formulate final agency action, the subsequent order may modify or take a different position than this action.

Petition for Administrative Hearing

A person whose substantial interests are affected by the Department's action may petition for an administrative proceeding (hearing) under Sections 120.569 and 120.57, F.S. Pursuant to Rules 28 106.201 and 28 106.301, F.A.C., a petition for an administrative hearing must contain the following information:

- (a) The name and address of each agency affected and each agency's file or identification number, if known;
- (b) The name, address, and telephone number of the petitioner; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding; and an explanation of how the petitioner's substantial interests are or will be affected by the agency determination;
- (c) A statement of when and how the petitioner received notice of the agency decision;
- (d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate;
- (e) A concise statement of the ultimate facts alleged, including the specific facts that the petitioner contends warrant reversal or modification of the agency's proposed action;
- (f) A statement of the specific rules or statutes that the petitioner contends require reversal or modification of the agency's proposed action, including an explanation of how the alleged facts relate to the specific rules or statutes; and
- (g) A statement of the relief sought by the petitioner, stating precisely the action that the petitioner wishes the agency to take with respect to the agency's proposed action.

The petition must be filed (received by the Clerk) in the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, or via electronic correspondence at Agency_Clerk@FloridaDEP.gov. Also, a copy of the petition shall be mailed to the applicant at the address indicated above at the time of filing.

Time Period for Filing a Petition

In accordance with Rule 62-110.106(3), F.A.C., petitions for an administrative hearing by the applicant and persons entitled to written notice under Section 120.60(3), F.S., must be filed within 21 days of receipt of this written notice. Petitions filed by any persons other than the applicant, and other than those entitled to written notice under Section 120.60(3), F.S., must be filed within 21 days of publication of the notice or within 21 days of receipt of the written notice, whichever occurs first. You cannot justifiably rely on the finality of this decision unless notice of this decision and the right of substantially affected persons to challenge this decision

has been duly published or otherwise provided to all persons substantially affected by the decision. While you are not required to publish notice of this action, you may elect to do so pursuant Rule 62-110.106(10)(a).

The failure to file a petition within the appropriate time period shall constitute a waiver of that person's right to request an administrative determination (hearing) under Sections 120.569 and 120.57, F.S., or to intervene in this proceeding and participate as a party to it. Any subsequent intervention (in a proceeding initiated by another party) will be only at the discretion of the presiding officer upon the filing of a motion in compliance with Rule 28-106.205, F.A.C. If you do not publish notice of this action, this waiver may not apply to persons who have not received a clear point of entry.

Extension of Time

Under Rule 62-110.106(4), F.A.C., a person whose substantial interests are affected by the Department's action may also request an extension of time to file a petition for an administrative hearing. The Department may, for good cause shown, grant the request for an extension of time. Requests for extension of time must be filed with the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, or via electronic correspondence at Agency_Clerk@FloridaDEP.gov, before the deadline for filing a petition for an administrative hearing. A timely request for extension of time shall toll the running of the time period for filing a petition until the request is acted upon.

Mediation

Mediation is not available in this proceeding.

FLAWAC Review

The applicant, or any party within the meaning of Section 373.114(1)(a) or 373.4275, F.S., may also seek appellate review of this order before the Land and Water Adjudicatory Commission under Section 373.114(1) or 373.4275, F.S. Requests for review before the Land and Water Adjudicatory Commission must be filed with the Secretary of the Commission and served on the Department within 20 days from the date when this order is filed with the Clerk of the Department.

Judicial Review

Once this decision becomes final, any party to this action has the right to seek judicial review pursuant to Section 120.68, F.S. by filing a Notice of Appeal pursuant to Florida Rules of Appellate Procedure 9.110 and 9.190 with the Clerk of the Department in the Office of General Counsel (Station #35, 3900 Commonwealth Boulevard, Tallahassee, Florida 32399-3000) and by filing a copy of the Notice of Appeal accompanied by the applicable filing fees with the appropriate district court of appeal. The notice must be filed within 30 days from the date this action is filed with the Clerk of the Department.

If you have any questions regarding this matter, please contact Allison Finch at the letterhead address, at (850)595-0564, or at Allison.Finch@FloridaDEP.gov

EXECUTION AND CLERKING

Executed in Orlando, Florida.

STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION



Allison Finch
Environmental Specialist
Submerged Lands and Environmental Resources Program

Attachment(s):

1. 62-330.051(5)(b), F.A.C. and Section 403.813(1)(b), F.S., 1 page
2. Project Drawings, 8 pages
3. Standard Manatee Conditions for In-Water Work, 2 pages

CERTIFICATE OF SERVICE

The undersigned duly designated deputy clerk hereby certifies that this document and all attachments were sent on the filing date below to the following listed persons:

Anthony Barlow, Applicant, 3030barlow@gmail.com
Mary Ann Wasmund, Consultant, maryann@garlickenv.com
Dan Garlick, Consultant, dan@garlickenv.com
Blake Chapman, FDEP, Blake.A.Chapman@FloridaDEP.gov
Allison Finch, FDEP, Allison.Finch@FloridaDEP.gov
Franklin County: michael@franklincountyflorida.com
City of Carrabelle, administrator@mycarrabelle.com, cityclerk@mycarrabelle.com

FILING AND ACKNOWLEDGMENT

FILED, on this date, pursuant to Section 120.52, F.S., with the designated Department Clerk, receipt of which is hereby acknowledged.



Clerk

October 26, 2021
Date

62-330.051

(5) Dock, Pier, Boat Ramp and Other Boating-related Work –

(b) Installation of private docks, piers, and recreational docking facilities, and installation of local governmental piers and recreational docking facilities, in accordance with section 403.813(1)(b), F.S. This includes associated structures such as boat shelters, boat lifts, and roofs, provided:

1. The cumulative square footage of the dock or pier and all associated structures located over wetlands and other surface waters does not exceed the limitations in section 403.813(1)(b), F.S.;
2. No structure is enclosed on more than three sides with walls and doors;
3. Structures are not used for residential habitation or commercial purposes, or storage of materials other than those associated with water dependent recreational use; and
4. Any dock and associated structure shall be the sole dock as measured along the shoreline for a minimum distance of 65 feet, unless the parcel of land or individual lot as platted is less than 65 feet in length along the shoreline, in which case there may be one exempt dock allowed per parcel or lot.

403.813 Permits issued at district centers; exceptions.—

(1) A permit is not required under this chapter, chapter 373, chapter 61-691, Laws of Florida, or chapter 25214 or chapter 25270, 1949, Laws of Florida, and a local government may not require a person claiming this exception to provide further department verification, for activities associated with the following types of projects; however, except as otherwise provided in this subsection, this subsection does not relieve an applicant from any requirement to obtain permission to use or occupy lands owned by the Board of Trustees of the Internal Improvement Trust Fund or a water management district in its governmental or proprietary capacity or from complying with applicable local pollution control programs authorized under this chapter or other requirements of county and municipal governments:

(b) The installation and repair of mooring pilings and dolphins associated with private docking facilities or piers and the installation of private docks, piers, and recreational docking facilities, or piers and recreational docking facilities of local governmental entities when the local governmental entity's activities will not take place in any manatee habitat, any of which docks:

1. Has 500 square feet or less of over-water surface area for a dock located in an area designated as Outstanding Florida Waters or 1,000 square feet or less of over-water surface area for a dock located in an area that is not designated as Outstanding Florida Waters;
 2. Is constructed on or held in place by pilings or is a floating dock constructed so as not to involve filling or dredging other than that necessary to install the pilings;
 3. May not substantially impede the flow of water or create a navigational hazard;
 4. Is used for recreational, noncommercial activities associated with the mooring or storage of boats and boat paraphernalia; and
 5. Is the sole dock constructed pursuant to this exemption as measured along the shoreline for a distance of 65 feet, unless the parcel of land or individual lot as platted is less than 65 feet in length along the shoreline, in which case one exempt dock may be allowed per parcel or lot.
- This paragraph does not prohibit the department from taking appropriate enforcement action pursuant to this chapter to abate or prohibit any activity otherwise exempt from permitting pursuant to this paragraph if the department can demonstrate that the exempted activity has caused water pollution in violation of this chapter.

STANDARD MANATEE CONDITIONS FOR IN-WATER WORK
2011

The permittee shall comply with the following conditions intended to protect manatees from direct project effects:

- a. All personnel associated with the project shall be instructed about the presence of manatees and manatee speed zones, and the need to avoid collisions with and injury to manatees. The permittee shall advise all construction personnel that there are civil and criminal penalties for harming, harassing, or killing manatees which are protected under the Marine Mammal Protection Act, the Endangered Species Act, and the Florida Manatee Sanctuary Act.
- b. All vessels associated with the construction project shall operate at "Idle Speed/No Wake" at all times while in the immediate area and while in water where the draft of the vessel provides less than a four-foot clearance from the bottom. All vessels will follow routes of deep water whenever possible.
- c. Siltation or turbidity barriers shall be made of material in which manatees cannot become entangled, shall be properly secured, and shall be regularly monitored to avoid manatee entanglement or entrapment. Barriers must not impede manatee movement.
- d. All on-site project personnel are responsible for observing water-related activities for the presence of manatee(s). All in-water operations, including vessels, must be shutdown if a manatee(s) comes within 50 feet of the operation. Activities will not resume until the manatee(s) has moved beyond the 50-foot radius of the project operation, or until 30 minutes elapses if the manatee(s) has not reappeared within 50 feet of the operation. Animals must not be herded away or harassed into leaving.
- e. Any collision with or injury to a manatee shall be reported immediately to the Florida Fish and Wildlife Conservation Commission (FWC) Hotline at 1-888-404-3922. Collision and/or injury should also be reported to the U.S. Fish and Wildlife Service in Jacksonville (1-904-731-3336) for north Florida or Vero Beach (1-772-562-3909) for south Florida, and to FWC at ImperiledSpecies@myFWC.com.
- f. Temporary signs concerning manatees shall be posted prior to and during all in-water project activities. All signs are to be removed by the permittee upon completion of the project. Temporary signs that have already been approved for this use by the FWC must be used. One sign which reads Caution: Boaters must be posted. A second sign measuring at least 8 1/2" by 11" explaining the requirements for "Idle Speed/No Wake" and the shut down of in-water operations must be posted in a location prominently visible to all personnel engaged in water-related activities. These signs can be viewed at MyFWC.com/manatee. Questions concerning these signs can be sent to the email address listed above.

CAUTION: MANATEE HABITAT

All project vessels

IDLE SPEED / NO WAKE

When a manatee is within 50 feet of work
all in-water activities must

SHUT DOWN

Report any collision with or injury to a manatee:

Wildlife Alert:



1-888-404-FWCC(3922)

cell *FWC or #FWC

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHOLA, FLORIDA 32329-0385

(850) 653-8899

FAX (850) 653-9556

garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: Anthony Barlow

JOB: 21-143

0410625-001-EE/19

WATERBODY/CLASS: Carrabelle River

DEP:

Page 1 of 8

PURPOSE: EP - Deck

CDE:

PROJECT LOCATION / USGS: Carrabelle / Franklin County

OTHER:

LATITUDE: 28° 51' 47.37"

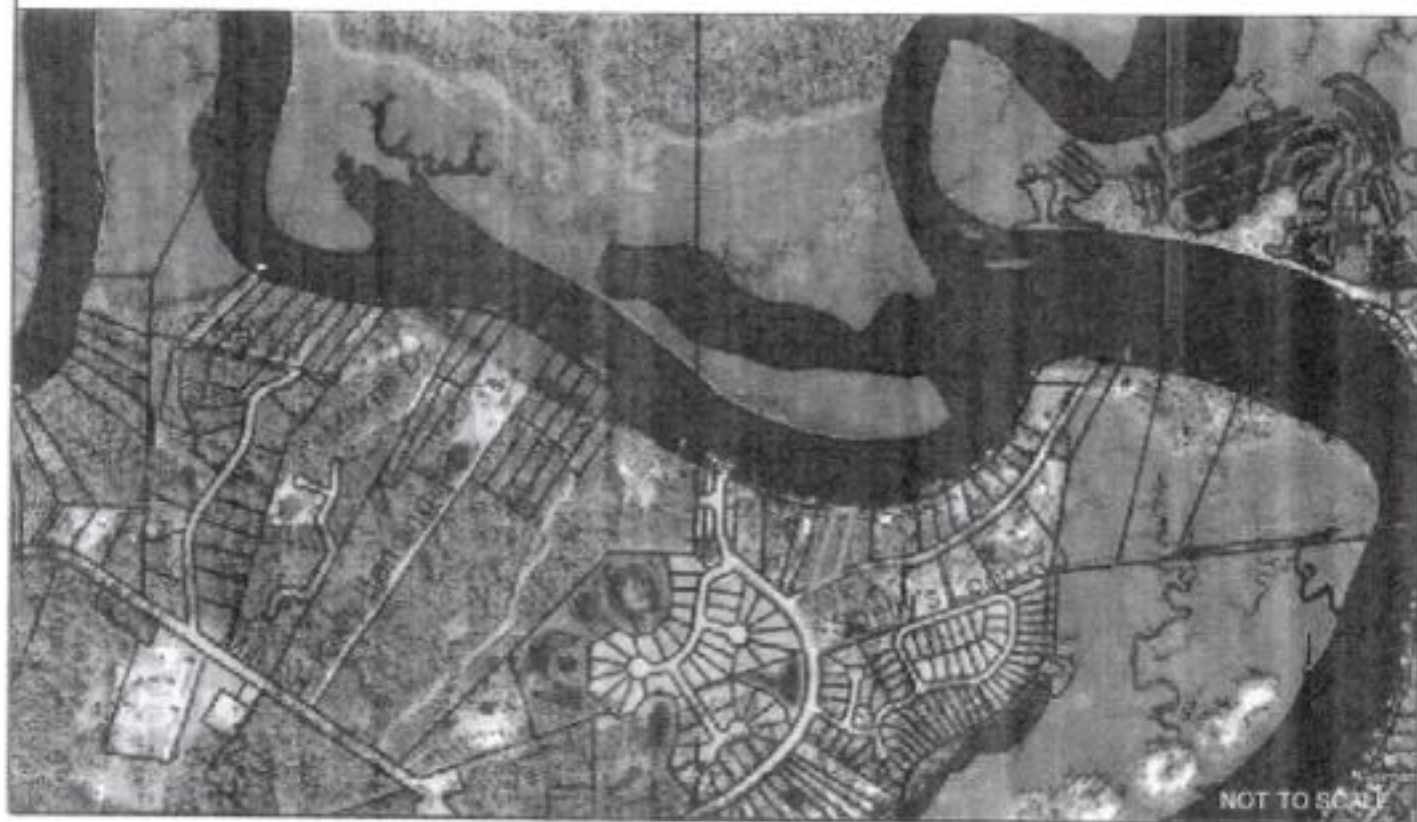
DATE: September 9, 2021

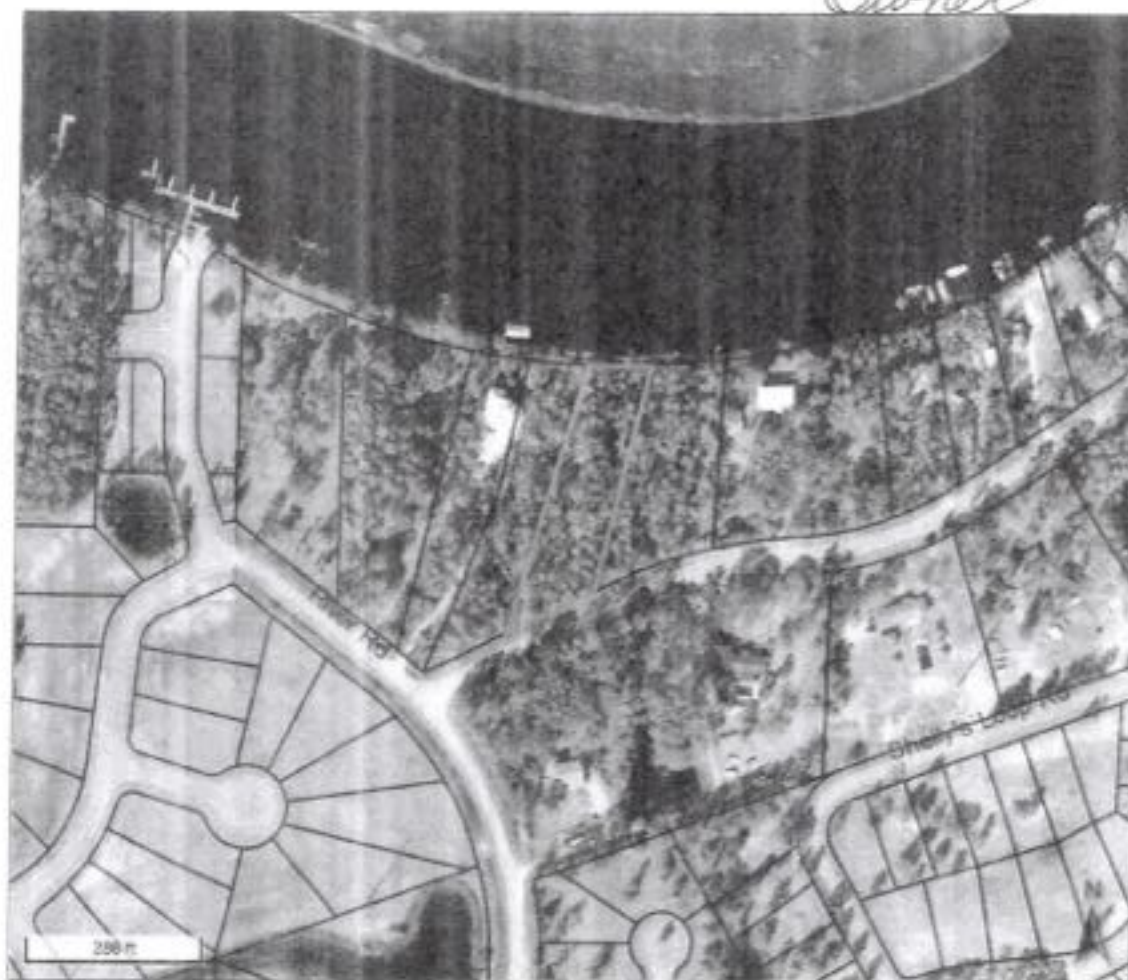
LONGITUDE: 84° 41' 2.33"

SHEET: 1/4

SECTION: TOWNSHIP:

RNG:



Owner

Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID 18-075-04W-0000-0121-0000

Sec/Twp/Rng -

Property Address 512 RIVER RD
CARRABELLE

District 1

Brief Tax Description 1.00 AC ON THE CARRABELLE RIVE

(Note: Not to be used on legal documents)

Alternate ID 04W07518000001210000

Class VACANT

Acreage 0.743

Owner Address BARLOW BROOKS

200 RIVERSIDE STREET
FRANKLIN, GA 30217

Date created: 9/13/2021

Last Data Uploaded: 9/13/2021 7:46:53 AM

Developed by  **Schneider**
GEOSPATIAL

Adjacent Neighbor



Legend
☐ Parcels
☐ Roads
☐ City Labels

Parcel ID	18-075-04W-0000-0122-0000	Alternate ID	04W07518000001220000	Owner Address	SINCLAIR CRAIG & KIM
Sec/Twp/Rng	—	Class	VACANT		160 CALVIN MURPHY RD
Property Address		Acreage	0.743		GRANTVILLE, GA 30220
District	1				
Brief Tax Description	1.00 ACRE M/L ON CARRABELLE (Note: Not to be used on legal documents)				

Date created: 9/13/2021
Last Date Uploaded: 9/13/2021 7:46:53 AM

Developed by  **Schneider**
GEOSPATIAL

Adjacent Neighbor



Legend

- ☐ Parcels
- ☐ Roads
- ☐ City Labels

Parcel ID	18-075-04W-0000-0090-0010	Alternate ID	04W07518000000900010	Owner Address	PAXTON MICHAEL CRAIG & GERIL
Sec/Twp/Rng	18-75-4W	Class	VACANT		5341 COUNTY RD 125
Property Address		Acreage	0.799		WILDWOOD, FL 34785
District	1				
Brief Tax Description	1.00 AC M/L OR 86/96				
	[Note: Not to be used on legal documents]				

Date created: 9/13/2021

Last Data Uploaded: 9/13/2021 7:46:53 AM

Developed by  **Schneider**

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

(850) 853-8888 FAX (850) 853-8888 garlick@garlickenv.co

LB No. 7415

APPLICANT/CLIENT: Anthony Barlow

JOB: 21-143

WATERBODY/CLASS: Carrabelle River

DEP:

PURPOSE: EP - Dock

CDE:

PROJECT LOCATION / USGS: Carrabelle / Franklin County

OTHER:

LATITUDE: 29° 51' 47.37"

DATE: September 9, 2021

LONGITUDE: 84° 41' 2.33"

SHEET: 2/4

SECTION: TOWNSHIP:

RNG:

0410625-001-EE/18
Page 5 of 8

AK



PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA, FLORIDA 32328-0385 (850) 853-8899 FAX (850) 853-9556 garlick@garlickenv.com
 LB No. 7415

APPLICANT/CLIENT: Anthony Barlow

WATERBODY/CLASS: Carrabelle River

PURPOSE: EP - Dock

PROJECT LOCATION / USGS: Carrabelle / Franklin County

LATITUDE: 29° 51' 47.37"

LONGITUDE: 84° 41' 2.33"

SECTION: TOWNSHIP: (N/A) (N/A)

JOB: 21-143

DEP:

COE:

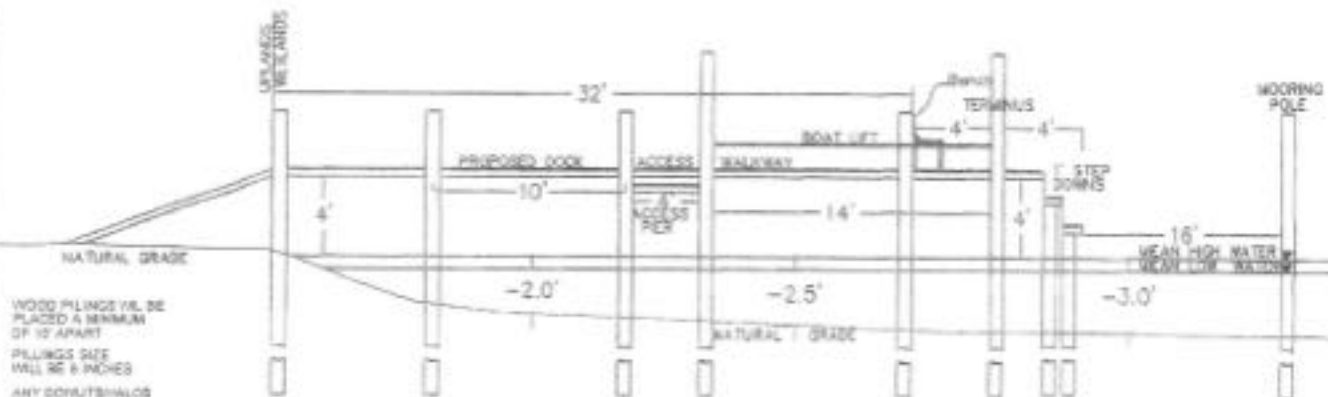
OTHER:

DATE: September 9, 2021

SHEET: 4/4

0410625-001-EE/19
 Page 5 of 8

CROSS SECTION
 OF PROPOSED DOCK
 Not To Scale



WOOD PILING WILL BE
 PLACED A MINIMUM
 OF 10' APART
 PILING SIZE
 WILL BE 6 INCHES
 ANY SCOUR/SHALLOWS
 FORMED DURING LOW
 PRESSURE JETTING
 OF PILES WILL BE
 REMOVED BY HAND
 WOOD DECKING WILL BE
 NO GREATER THAN
 8" IN WIDTH AND
 SPACED NO LESS
 THAN ONE-HALF INCH
 APART AFTER
 SHRINKAGE

These drawings are for
 permitting purposes
 only. Not intended for
 construction purposes

NOT TO SCALE

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385
 LB No. 7415

(850) 653-8899 FAX (850) 653-9556 garlick@garlickenv.com

0410623-001-EB/19
 Page 8 of 8

APPLICANT/CLIENT: Anthony Barlow
 WATERBODY/CLASS: Carrabelle River
 PURPOSE: EP - Dock

JOB: 21-143

DEP:

COE:

OTHER: Rev. 10-7-21

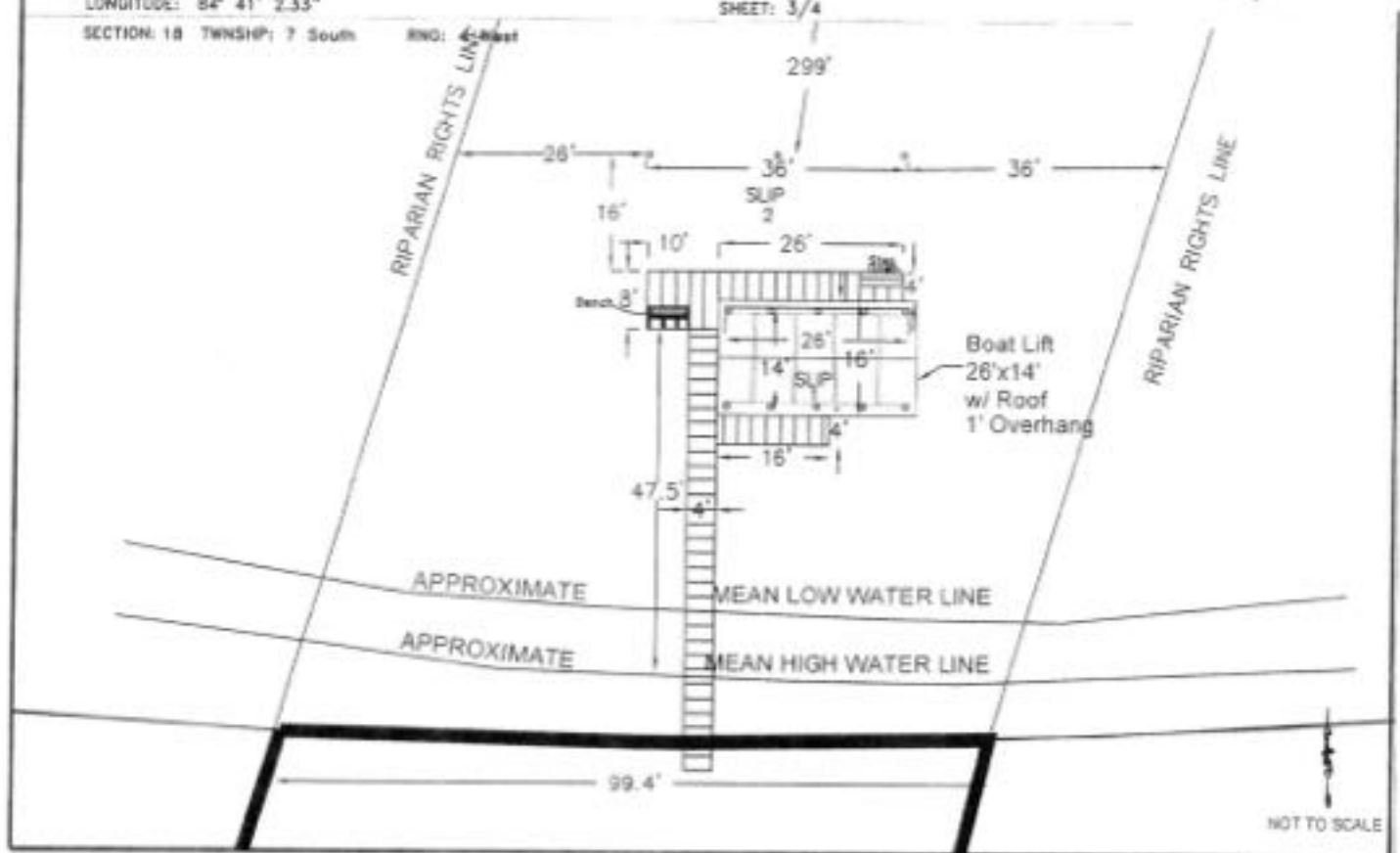
DATE: September 9, 2021

SHEET: 3/4

PROJECT LOCATION / USGS: Carrabelle / Franklin County
 LATITUDE: 29° 51' 47.37"
 LONGITUDE: 84° 41' 2.33"

SECTION: 18 TOWNSHIP: 7 South

RNG: 4 West



NOT TO SCALE



GARLICK ENVIRONMENTAL ASSOCIATES, INC.

SPECIALIZING IN: REGULATORY PERMITS • WETLANDS/UPLAND JURISDICTIONAL
DELINEATIONS • SUBMERGED LAND LEASES • ECOLOGICAL INVENTORY ASSESSMENTS •
CONSERVATION AND OTHER EASEMENTS • EXPERT WITNESS AND ENVIRONMENTAL
LITIGATION SERVICES • MITIGATION • CULTURAL RESOURCE ANALYSIS • CREATIVE
MARINA, DOCK, AND SUBDIVISION DESIGN

RECEIVED
DEC 02 2021

BY: MCC

November 19, 2021

Ms Cortni Bankston
Franklin County Planning & Zoning
33 Commerce Street
Apalachicola, FL 32320

Re: Planning & Zoning Agenda
GEA File No. 21-252
Nick Pappas

Dear Ms. Cortni Bankston:

Please find attached a Development Permit Application for the referenced project. The proposed project consists of construction of a Single Family Residential Dock and covered boat lift.

The proposed access walkway of the dock will be constructed 384 ft. in length and 4 ft. in width. The total square foot of the proposed walkway is 1,536 Sq Ft. The terminus of the dock will be constructed 6' x 26' for a total of 156 Sq Ft. The total square footage of the access walkway and terminus is 1,692 Sq Ft. A covered boat lift will be constructed adjacent to the terminus. The size of the proposed covered boat lift is 20 ft. in length and 14 ft. in width for a total of 280 Sq Ft.

Attached are the following items:

- 1) A Development Permit Application;
- 2) A Copy of the COE permit for the dock and boat lift;
- 3) A Copy of the Franklin County Property Appraiser Sheet indicating our client, Nick Pappas is the owner of the parcel in which the proposed dock will be constructed;
- 4) The Franklin County Property Appraiser sheet for the adjacent neighbors.

If you have any questions, please let us know.

Sincerely,



Mary Ann Wasraund, Permit Specialist
Garlick Environmental Associates, Inc.

Attachments

P.O. BOX 385
APALACHICOLA, FL 32329-0385
(850) 653-8899 FAX (850) 653-9656
garlick@garlickenv.com



APPLICATION FOR DEVELOPMENT

FRANKLIN COUNTY BUILDING DEPARTMENT

34 Forbes Street, Suite 1, Apalachicola, Florida 32320

Phone: 850-653-9783 Fax: 850-653-9799

http://www.franklincountyflorida.com/planning_building.aspx

PERMIT # _____

FEE: \$ _____

RADON: \$ _____

TOTAL: \$ _____

NOTE TO APPLICANTS AND PERMIT HOLDERS:

VIOLATIONS OF THE TERMS AND CONDITIONS OF THIS PERMIT MAY WARRANT A STOP WORK ORDER OR REVOCATION OF THIS PERMIT. THIS PERMIT IS VALID FOR ONE YEAR FROM THE DATE OF ISSUANCE.

CONSTRUCTION MUST COMMENCE WITHIN SIX MONTHS OF THIS DATE:

ISSUANCE DATE: _____ EXPIRES: _____

- ☐ New Constuction
☐ Commercial
☐ Residential
☐ Substantial Improvement
☐ Less than Substantial

APPLICATION MUST BE COMPLETE: (Incomplete applications will be review once it has)

Property Owner/s: Nick Pappas

Contact Information: Home #: _____ Cell #: 850-321-5194

Mailing Address: 4505 Banford Drive City/State/Zip: Sugar Hill - GA - 30518

EMAIL Address: nick@neptunepools.com

Contractor Name: _____ Business Name: _____

Contact Information: Office #: _____ Cell #: _____

State License #: _____ County Registration #: _____

Mailing Address: _____ City/State/Zip: _____

EMAIL Address: _____

PROPERTY DESCRIPTION: 911 Address: 234 Atlantic Avenue 1512 Alligator Drive

Lot/s: 3 Block: K Subdivision: _____ Unit: 2

Parcel Identification #: 08-078-01W-1042-000K-0030

JURISDICTION: ☒ Franklin County

☐ Apalachicola ☐ Eastpoint ☐ St. George Island ☐ Carrabelle ☐ Dog Island ☐ Lanark/ St. James ☐ St. Teresa ☒ Alligator Point

DESCRIPTION OF DEVELOPMENT: Construction of a Single Family Residential Dock

ZONING DISTRICT: _____ **CONTRACT COST:** _____

HEATED SQ FT: _____ **UN-HEATED SQ FT:** _____ **TOTAL SQUARE FOOT:** _____

ROOF MATERIAL: _____ **FOUNDATION TYPE:** _____ **LOT DEMENSION:** _____

NO. OF STORIES: _____ **STORAGE SQ FOOTAGE:** _____ **GAS UTILITIES:** _____

(Requires Building or General Contractor if over 3 habitable stories including mezzanines.) (VE Zones: 299 Sq. Foot or Less and MUST be certified breakaway construction by Engineer)

SEPTIC TANK PERMIT # _____ **OR SEWER DISTRICT:** _____

WATER DISTRICT: _____ **OR PRIVATE WELL:** _____

WATER BODY: _____

CRITICAL SHORELINE DISTRICT YES OR NO ☐ **CRITICAL HABITAT ZONE** YES OR NO ☐

FLOOD ZONE INFORMATION: EFFECTIVE DATE: February 5, 2014

PANEL NUMBER: _____ **FIRM ZONE/S:** _____

ELEVATION REQUIREMENTS AS PER SURVEY: _____

☐ Requires V-Zone Certification ☐ Requires Elevation Certificates ☐ Requires Smart Vents ☐ Requires Breakaway Walls

BUILDING OFFICIAL _____ **DATE** _____ **FLOODPLAIN ADMIN.** _____ **DATE** _____ **OWNER/CONTRACTOR** _____ **DATE** _____

SUPPLEMENTAL APPLICATION

- 1- Proposed Alteration of the Land:
- Determination of COE & DEP Wetlands: _____
 - Amount and location of Fill to be placed on property: _____
 - Percentage of land to be placed in impervious surface: _____
- 2- Critical Shoreline Inspection:
- Construction to be a minimum of 50 feet from the mean high water or wetland: _____
(Must be indicated on submitted site plan)
 - Construction within 50 feet of the mean high water or wetlands: _____
 - Attach the Board of Adjustment Approval: Date of Approval: _____
(Expires One Year From Approval Date)
- 3- Elevation Requirements:
- FLOOD ZONE: _____ BASE FLOOD ELEVATION: _____
 - LOWEST BASE FLOOD ELEVATION AT BUILDING SITE: _____
 - A/AE/AH/AO ZONES: Elevation of bottom of the first floor: _____
 - VE Zones: Elevation of the first floor horizontal support structure: _____

DEVELOPMENT APPLICATION CHECKLIST

RESIDENTIAL:

- ☐ Application
- ☐ Supplemental Application
- ☐ Boundary Survey (Non-Flood Zones)
- ☐ Site Plan
- ☐ Septic Tank Permit
- ☐ Water & Sewer Letter
- ☐ Energy Code Form
- ☐ 2 Complete Sets of Building Plans
- ☐ Wind Load Analysis ☐ Engineered State Permits
- ☐ DEP Permits ☐ COE Permits ☐ FDOT Permits
- ☐ Structure Height & Number of Stories Affidavit
- ☐ Portable Toilet Agreement
- ☐ Owner/Builder Affidavit
- ☐ Dumpster Affidavit
- ☐ Termite Affidavit
- ☐ Turtle Light Affidavit (If Applicable)
- ☐ Recorded Notice of Commencement

FORMS REQUIRED IN FLOOD ZONES: (Additional)

- ☐ Topographical Survey
- ☐ Flood Plain Management Review
- ☐ V Zone Certification (If Applicable)
- ☐ Smart Vent Certification (If Applicable)
- ☐ Elevation Affidavit
- ☐ Non Conversion Agreement

COMMERCIAL: (Additional to Residential)

- ☐ P&Z Approval Notice
- ☐ BOA Approval Notice
- ☐ BCC Approval Notice
- ☐ DEP Storm Water Permit/Exemption
- ☐ DBPR Approval
- ☐ Parking Plan
- ☐ Flood Proofing Certification (If Applicable)

SUB-CONTRACTOR LIST

PLEASE BE ADVISED THAT ALL CONTRACTORS DOING WORK IN FRANKLIN COUNTY MUST BE REGISTERED IN FRANKLIN COUNTY PRIOR TO PERFORMING ANY WORK IN THIS COUNTY. ALL GENERAL, RESIDENTIAL & BUILDING, ELECTRICAL, PLUMBING, HVAC & ROOFING CONTRACTOR'S ARE REQUIRED TO PULL PERMITS ON ALL NEW, RENOVATIONS, REMODEL PROJECTS.

CONTRACTOR OR OWNER HAS CONTRACTED WITH THE FOLLOWING (OWNER/BUILDERS ARE NOT ALLOWED TO HIRE SPECIALTY FRAMING CONTRACTORS). ALL CONTRACTOR'S & SUBCONTRACTOR'S MUST BE REGISTERED WITH FRANKLIN COUNTY AND ALL APPLICABLE PERMITS MUST BE OBTAINED BEFORE COMMENCING WORK.

- | | | | |
|-------------------|-------------------------------------|-------------------|-------------------------------------|
| Contractor: _____ | <input type="checkbox"/> Registered | Insulation: _____ | <input type="checkbox"/> Registered |
| Electrical: _____ | <input type="checkbox"/> Registered | Painting: _____ | <input type="checkbox"/> Registered |
| Plumbing: _____ | <input type="checkbox"/> Registered | Framing: _____ | <input type="checkbox"/> Registered |
| HVAC: _____ | <input type="checkbox"/> Registered | Masonry: _____ | <input type="checkbox"/> Registered |
| Roofing: _____ | <input type="checkbox"/> Registered | Tile: _____ | <input type="checkbox"/> Registered |
| Propane: _____ | <input type="checkbox"/> Registered | Siding: _____ | <input type="checkbox"/> Registered |
| Concrete: _____ | <input type="checkbox"/> Registered | Other: _____ | <input type="checkbox"/> Registered |
| Piling: _____ | <input type="checkbox"/> Registered | Other: _____ | <input type="checkbox"/> Registered |



Direction Sheet To Site



Overview



Legend

- ☐ Parcels
- ☐ Roads
- ☐ City Labels

Parcel ID	06-075-01W-1042-000K-0030	Alternate ID	01W075061042000K0030	Owner Address	PAPPAS MONICA W
Sec/Twp/Rng	6-75-1W	Class	SINGLE FAM		4570 BARONY DRIVE
Property Address	1512 ALLIGATOR DR	Acreage	0.361		SUWANNEE, GA 30024
	ALLIGATOR POINT				
District	7				
Brief Tax Description	UNIT 2 BL K LOT 3				

(Note: Not to be used on legal documents)

Date created: 9/28/2021
Last Data Uploaded: 9/28/2021 7:41:03 AM

Developed by Schneider
NEOSPATIAL

Direction TO Site:

Beginning @ the west end of Carrabelle Bridge continue on Hwy 98 for a distance of approx. 11 miles (Note Rd splits) Turn Right @ the split & continue for 9.3 miles TO Alligator Drive. Turn Right onto Alligator Dr. Continue for 7 miles on Alligator Drive. Site will be on your right.

AXA CR 370



Owner



Overview



Legend

- Parcels
- Roads
- City Labels

Parcel ID 06-075-01W-1042-000K-0030

Sec/Twp/Rng 6-75-1W

Property Address 1512 ALLIGATOR DR

ALLIGATOR POINT

Alternate ID 01W075061042000K0030

Class SINGLE FAM

Acreage 0.361

Owner Address PAPPAS MONICA W

4570 BARDON DRIVE

SUWANNEE, GA 30024

District 7

Brief Tax Description UNIT 2 BL K LOT 3

(Note: Not to be used on legal documents)

Date created: 9/23/2021

Last Data Uploaded: 9/23/2021 7:45:03 AM

Developed by Schneider
GEOSPATIAL

Parcel Summary

Parcel ID 06-075-01W-1042-000K-0030
Location Address 1512 ALLIGATOR DR
 ALLIGATOR POINT 32346
Brief Tax Description* UNIT 2 BL K LOT 3 PENN POINT OR 295/145 OR 597/740 633/114 725/741 785/345 996/70 1313/28
*The Description above is not to be used on legal documents.
Property Use Code SINGLE FAM (000100)
Sec/Twp/Rng 6-75-1W
Tax District Alligator Point (District 7)
Millage Rate 13.022
Acreage 0.361
Homestead N

[View Map](#)

Owner Information

Primary Owner
 Pappas Monica W
 4570 Barony Drive
 Suwannee, GA 30024

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
011103	APT BAY FRONT	15,750.00	SF	90	175

Residential Buildings

Building 1
Type SINGLE FAM
Total Area 2,935
Heated Area 2,006
Exterior Walls VINYL SIDE
Roof Cover COMP SHINGL
Interior Walls DRYWALL
Frame Type WOOD FRAME
Floor Cover PINE WOOD
Heat AIR DUCTED
Air Conditioning CENTRAL
Bathrooms 2
Bedrooms 0
Stories 0
Effective Year Built 1950

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0641	SHOWER	1	0 x 0 x 0	1	UT	2000
0300	STEPS	1	0 x 0 x 0	46	SF	1982
0170	FPLC BELOW AVERAGE	1	0 x 0 x 0	1	UT	1982
0320	CONCRETE	1	0 x 0 x 0	738	UT	0
0310	WD WALK	1	0 x 0 x 0	204	UT	0
0080	DECK	1	0 x 0 x 0	384	UT	0

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	09/01/2021	\$525,000	WD	1313	28	Qualified (Q)	Improved	LEVINE	PAPPAS
N	08/20/2009	\$300,000	WD	998	70	Qualified (Q)	Improved	TEAGUE/TEAGUE	LEVINE
N	04/20/2004	\$100	QC	785	245	Unqualified (U)	Improved	TEAGUE/ROGERS	TEAGUE
N	02/10/2003	\$100	QC	725	741	Unqualified (U)	Improved	TEAGUE JR	TEAGUE
N	02/04/2000	\$72,500	WD	633	114	Unqualified (U)	Improved	ROGERS	TEAGUE

Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$70,065	\$70,857	\$62,091	\$62,091	\$63,449
Extra Features Value	\$5,528	\$5,528	\$5,528	\$5,528	\$5,528
Land Value	\$126,000	\$157,500	\$126,000	\$126,000	\$110,250
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$201,593	\$233,885	\$193,619	\$193,619	\$179,227
Assessed Value	\$201,593	\$212,981	\$193,619	\$193,042	\$175,493
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$201,593	\$212,981	\$193,619	\$193,042	\$175,493
Maximum Save Our Homes Portability	\$0	\$20,904	\$0	\$577	\$3,734

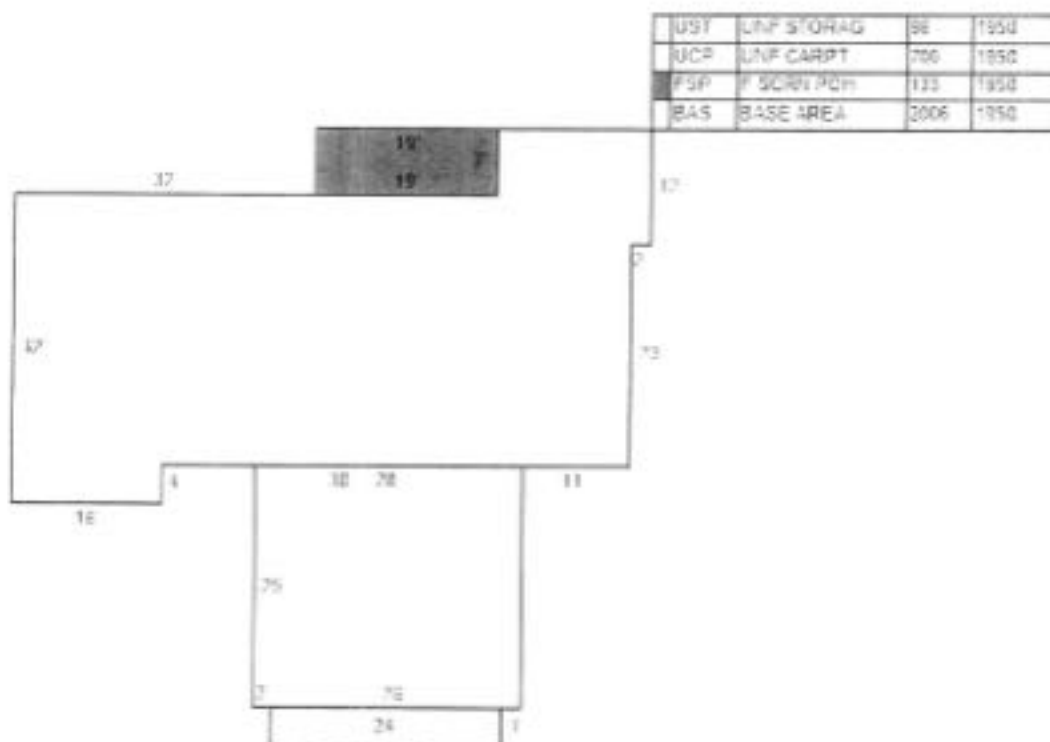
Just (Market) Value description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

TRIM Notice 2021

TRIM Notice 2020

TRIM Notice 2019

Sketches



No data available for the following modules: Commercial Buildings.

THIS INSTRUMENT PREPARED BY AND RETURN TO:
KATHRYN PLOUFFE

Inst: 20210905678 Date: 09/09/2021 Time: 10:07:54
Page 1 of 1 Bl: 1213 Pl: 28, Michele Maxwell, Clerk of Court Franklin
County, Fla. 321
Deputy Clerk/Doe Stamp-Died: 3678.00

WAKULLA TITLE COMPANY, INC.
3004 Crawfordville Highway
Crawfordville, FL 32327

Property Appraisers Parcel Identification (Folio) Numbers: 06-07S-01W-1042-000K-0030

Space Above This Line For Recording Data

THIS WARRANTY DEED, made the 1st day of September, 2021 by LISA S. LEVINE, herein called the grantor, to MONICA W. PAPPAS, whose post office address is 4570 BARONY DRIVE, SUWANNEE, GA 30024, hereinafter called the Grantee:

(Whoever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee all that certain land situate in FRANKLIN County, State of Florida, viz.:

Lot 3, Block "K", Peninsular Point, Unit No. 2, a subdivision as per map or plat thereof recorded in Plat Book 1, Page 21, of the Public Records of Franklin County, Florida.

Subject to restrictions, easements and reservations of record, if any, not specifically reimposed or extended hereby.

THE ABOVE DESCRIBED PROPERTY IS NOT THE HOMESTEAD OF THE GRANTOR, WITHIN THE MEANING OF FLORIDA LAW, AND GRANTOR'S SPOUSE HAS NO INTEREST IN THE PROPERTY REQUIRING THEIR JOINDER HEREIN.

TOGETHER, with all the covenants, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2020.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:


Witness #1 Signature
Kathryn Plouffe
Witness #1 Printed Name


LISA S. LEVINE
764 VIOLET STREET, TALLAHASSEE, FL 32308


Witness #2 Signature
Jane Wild
Witness #2 Printed Name



Adjacent Neighbor



Overview



Legend

- Parcels
- Roads
- City Labels

Parcel ID	06-075-01W-1042-000K-0020	Alternate ID	01W075061042000K0020	Owner Address	ATKINSON TIMOTHY ETAL
Sec/Twp/Rng	6-75-1W	Class	SINGLE FAM		326 MEADOW RIDGE DR
Property Address	1514 ALLIGATOR DR	Acreage	0.392		TALLAHASSEE FL 32312
District	7				
Brief Tax Description	UNIT 2 BL K LOT 2 PENN POINT				

(Note: Not to be used on legal documents)

Date created: 9/28/2021
Last Data Uploaded: 9/28/2021 7:41:03 AM

Developed by Esri

Parcel Summary

Parcel ID: 06-075-01W-1042-000K-0020
 Location Address: 1534 ALLIGATOR DR
 32346 N/A
 Brief Tax Description*: UNIT 2 BL K LOT 2 PENN POINT OR 18/68 582/637 693/339
 *The Description above is not to be used on legal documents
 Property Use Code: SINGLE FAM (000100)
 Sec/Twp/Rng: 6-75-1W
 Tax District: Alligator Point (District 7)
 Millage Rate: 13.022
 Acreage: 0.392
 Homestead: N

[View Map](#)

Owner Information

Primary Owner
 Atkinson Timothy Etal
 326 Meadow Ridge Dr
 Tallahassee, FL 32312

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
011103	APT BAY FRONT	17,100.00	SF	100	171

Residential Buildings

Building 1
 Type: ALPT PILIN
 Total Area: 2,106
 Heated Area: 1,616
 Exterior Walls: AVERAGE
 Roof Cover: BUILT-UP
 Interior Walls: DRYWALL
 Frame Type: N/A
 Floor Cover: SHT VINYL CARPET
 Heat: AIR DUCTED
 Air Conditioning: CENTRAL
 Bathrooms: 0.2
 Bedrooms: 0
 Stories: 2
 Effective Year Built: 1979

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0080	DECK	1	0 x 0 x 0	104	SF	0
0320	CONCRETE	1	0 x 0 x 0	1,858	UT	0
0300	STEPS	1	0 x 0 x 0	40	UT	0

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	03/25/2002	\$100	WD	693	339	Unqualified (U)	Improved	ATKINSON	ATKINSON

Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$113,623	\$78,023	\$79,130	\$79,130	\$80,237
Extra Features Value	\$4,094	\$4,094	\$4,094	\$4,094	\$4,094
Land Value	\$136,800	\$171,000	\$136,800	\$136,800	\$119,700
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$254,517	\$253,117	\$220,024	\$220,024	\$204,031
Assessed Value	\$254,517	\$242,026	\$220,024	\$220,024	\$197,525
Exempt Value	\$0	\$0	\$0	\$0	\$25,000
Taxable Value	\$254,517	\$242,026	\$220,024	\$220,024	\$172,525
Maximum Save Our Homes Portability	\$0	\$11,091	\$0	\$0	\$6,506

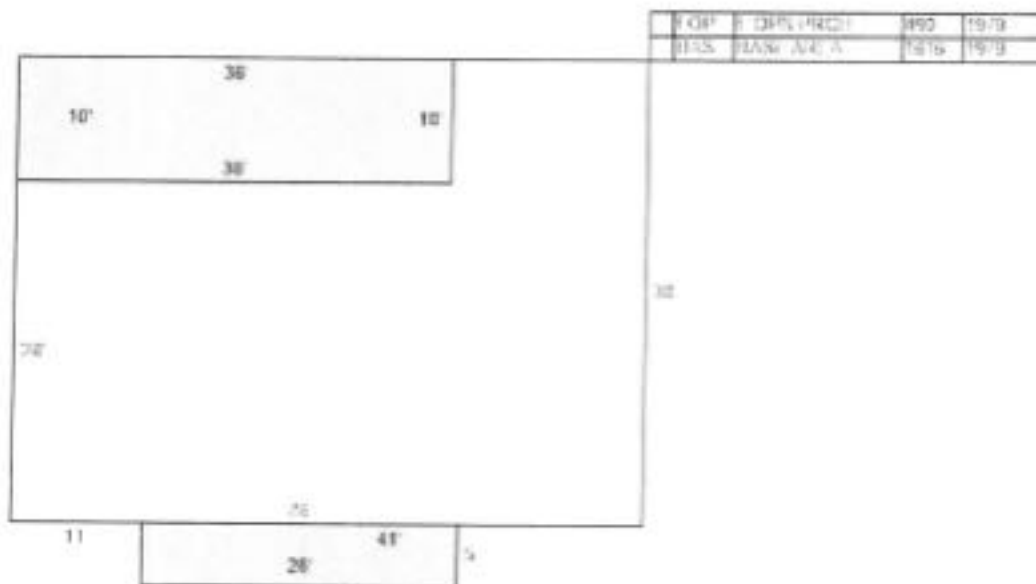
*1. Unit's Market Value (Market Value) - This is the value established by the Property Appraiser for all information purposes. This value does not represent anticipated selling price.

TRIM Notice 2021

TRIM Notice 2020

TRIM Notice 2019

Sketches



No data available for the following modules: Commercial Buildings

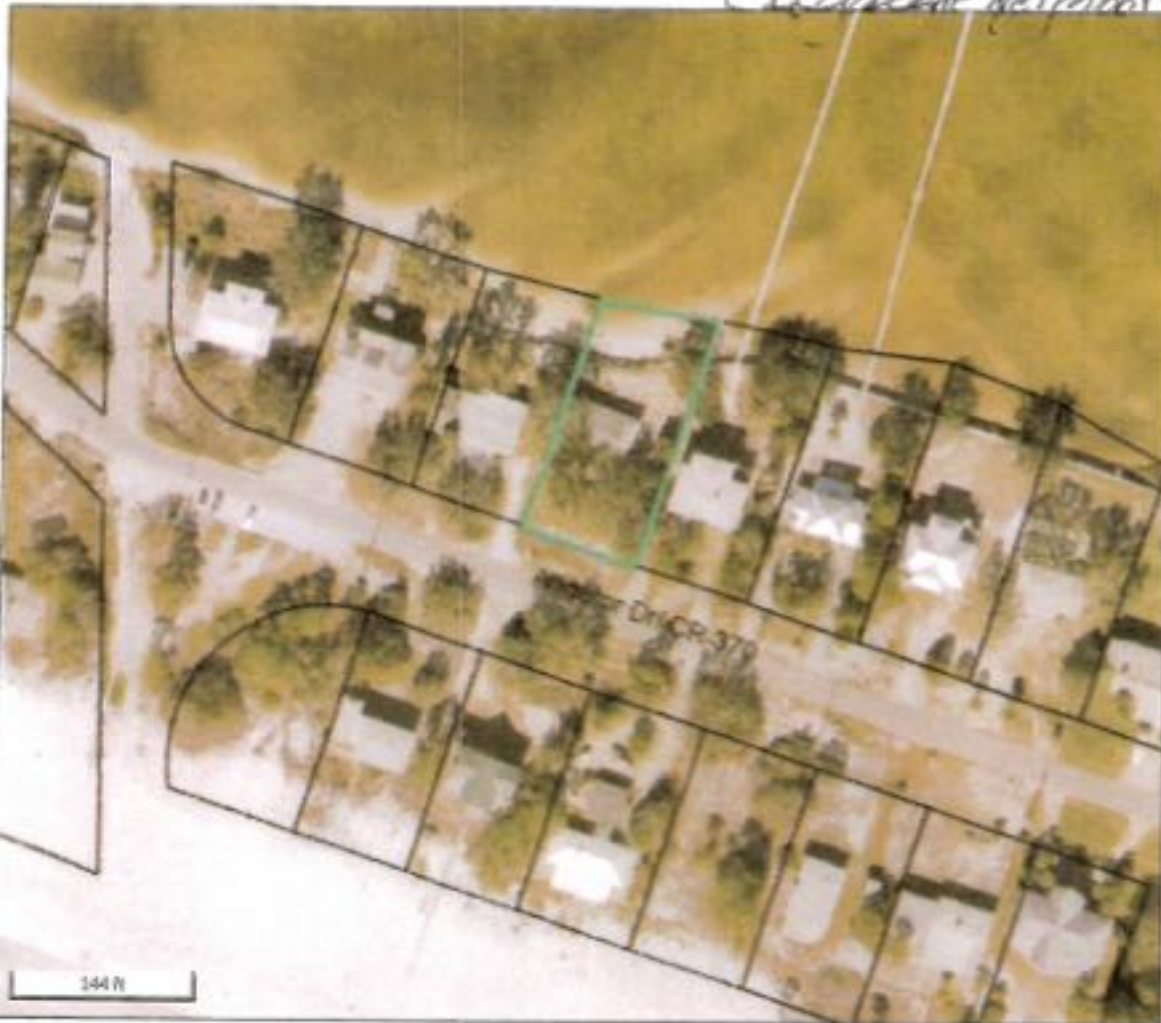
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Adjacent Neighbor



Overview



Legend

- Parcels
- Roads
- City Labels

Parcel ID 06-075-01W-1042-000K-0040
Sec/Twp/Rng 6-75-1W
Property Address 1510 ALLIGATOR DRIVE
ALLIGATOR POINT

Alternate ID 01W075061042000K0040
Class SINGLE FAM
Acreage 0.384

Owner Address WEBB ROBERT ARTHUR JR
P.O. BOX 592
WARD COVE, AK 99928

District 7
Brief Tax Description UNIT 2 BL K LOT 4

(Note: Not to be used on legal documents)

Date created: 9/28/2021
Last Date Uploaded: 9/28/2021 7:41:03 AM

Developed by Schneider
GEO SPATIAL

Parcel Summary

Parcel ID 06-075-01W-1042-000K-0040
Location Address 1510 ALLIGATOR DRIVE
 ALLIGATOR POINT 32346 FLA
Brief Tax Description* UNIT 2 BL K LOT 4 OR/107/308 OR/154/269 PENN POINT ORB 0098 PAGE 0042 ORB 912/211 1251/1
*The Description Above is not to be used on legal documents.
Property Use Code SINGLE FAM (000100)
Sec/Twp/Rng 6-75-1W
Tax District Alligator Point (District 7)
Millage Rate 13.022
Acreage 0.384
Homestead N

[View Map](#)

Owner Information

Primary Owner
 Webb Robert Arthur Jr
 PO Box 592
 Ward Cove, AK 99928

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
011103	APT BAY FRONT	16,740.00	SF	90	186

Residential Buildings

Building 1
Type SINGLE FAM
Total Area 1,386
Heated Area 1,044
Exterior Walls BELOW AVG.
Roof Cover COMP SHNGL
Interior Walls WALL BD/WD, DRYWALL
Frame Type WOOD FRAME
Floor Cover PINE WOOD
Heat NONE
Air Conditioning WINDOW
Bathrooms 2
Bedrooms 3
Stories 1
Effective Year Built 1952

Extra Features

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0300	STEPS	1	12 x 4 x 0	48	SF	2000
0080	DECK	1	8 x 8 x 0	64	SF	2000
0080	DECK	1	5 x 5 x 0	25	SF	2006
0641	SHOWER	1	0 x 0 x 0	1	UT	2003
0300	STEPS	1	0 x 0 x 0	36	UT	0
	STORAGE	1	0 x 0 x 0	130	UT	2000
	DOCK	1	0 x 0 x 0	192	UT	1997

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	10/03/2019	\$100	TD	1251	1	Unqualified (U)	Improved	WEBB AS TRUSTEE	WEBB
N	09/07/2006	\$100	WD	912	211	Unqualified (U)	Improved	WEBB	WEBB AS TRUSTEE
N	01/01/1970	\$4,700	WD	88	42	Unqualified (U)	Improved		

Valuation

	2020 Certified	2019 Certified	2018 Certified	2017 Certified	2016 Certified
Building Value	\$22,758	\$23,009	\$20,153	\$20,153	\$20,385
Extra Features Value	\$4,093	\$4,093	\$4,093	\$4,093	\$4,093
Land Value	\$133,920	\$147,400	\$133,920	\$133,920	\$117,180
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$160,771	\$194,502	\$158,166	\$158,166	\$141,858
Assessed Value	\$160,771	\$173,983	\$158,166	\$146,329	\$133,026
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$160,771	\$173,983	\$158,166	\$146,329	\$133,026
Maximum Save Our Homes Portability	\$0	\$20,519	\$0	\$11,837	\$6,832

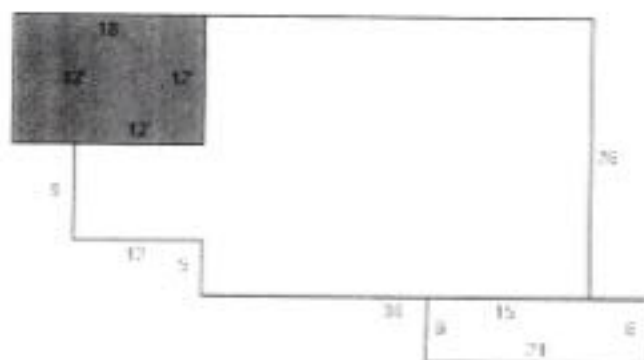
Just (Market) Value description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

TRIM Notice 2021

TRIM Notice 2020

TRIM Notice 2019

Sketches



UOP	UNF OP PRH	128	1952
SP1	SCHW. HD1	718	1757
BAS	BASE AREA	1044	1952

No data available for the following modules: Commercial Buildings.

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DEPARTMENT OF THE ARMY
CORPS OF ENGINEERS, JACKSONVILLE DISTRICT
415 RICHARD JACKSON BOULEVARD, SUITE #11
PANAMA CITY BEACH, FLORIDA 32407

November 17, 2021

Regulatory Division
North Permits Branch
Panama City Permits Section
SAJ-2021-03388(GP-KAB)

Mr. Nick Pappas
4505 Banford Drive
Sugar Hill, GA 30518
Sent via email: nick@neptuneools.com

Dear Mr. Pappas:

The U.S. Army Corps of Engineers (Corps) has completed the review of your application for a Department of the Army permit, which the Corps received on October 1, 2021. Your application was assigned file number SAJ-2021-03388. A review of the information and drawings provided indicates that the proposed work would result in the construction of a 1,972 SF dock consisting of a 4'x384' access dock, a 6'x26' terminal platform and a 14'x20' covered boat slip, associated with a single-family residence. The activities subject to this permit are authorized pursuant to authorities under Section 10 of the Rivers and Harbors Act of 1899 (33 U.S.C. § 403). The project is located in Alligator Harbor at 1512 Alligator Drive, in Section 6, Township 7 South, Range 1 West, Alligator Point, Franklin County, Florida.

This letter verifies your project, as described above and depicted on the enclosed drawings, is authorized by Regional General Permit (RGP) SAJ-20 and any subsequent modifications, if applicable. **This RGP authorization is valid until March 27, 2023.** Please access the Corps' Jacksonville District Regulatory Division Source Book webpage to view the special and general conditions for SAJ-20, which apply specifically to this authorization. The Internet URL address is: <http://www.saj.usace.army.mil/Missions/Regulatory.aspx>. Please be aware this Internet address is case sensitive; and, you will need to enter it exactly as it appears above. Once there select "Source Book"; and, then select "General Permits." Then you will need to select the specific SAJ permit noted above.

You must comply with **ALL** the RGP general and special, attached and/or incorporated by reference, and the Project Specific Special Conditions and General Conditions, listed below, or you may be subject to enforcement action.

General Conditions (33 CFR PART 320-330):

1. The time limit for completing the work authorized ends on **March 27, 2023.**
2. You must maintain the activity authorized by this permit in good condition and in conformance with the terms and conditions of this permit. You are not relieved of this requirement if you abandon the permitted activity, although you may make a good faith transfer to a third party in compliance with General Condition 4 below. Should you wish to cease to maintain the authorized activity or should you desire to abandon it without a good faith transfer, you must obtain a modification of this permit from this office, which may require restoration of the area.
3. If you discover any previously unknown historic or archeological remains while accomplishing the activity authorized by this permit, you must immediately notify this office of what you have found. We will initiate the Federal and state coordination required to determine if the remains warrant a recovery effort or if the site is eligible for listing in the National Register of Historic Places.
4. If you sell the property associated with this permit you must obtain the signature of the new owner on the transfer form attached to this letter and forward a copy to this office to validate the transfer of this authorization.
5. If a conditioned water quality certification has been issued for your project, you must comply with the conditions specified in the certification as special conditions to this permit. For your convenience, a copy of the certification is attached if it contains such conditions.
6. You must allow a representative from this office to inspect the authorized activity at any time deemed necessary to ensure that it is being or has been accomplished in accordance with the terms and conditions of your permit.

Project Specific Special Conditions:

The following project specific special conditions are included with this verification:

1. **Reporting Addresses:** The Permittee shall submit all reports, notifications, documentation and correspondence required by the general and special conditions of this permit to either (not both) of the following addresses:
 - a. For electronic mail (preferred): SAJ-RD-Enforcement@usace.army.mil (not to exceed 15 MB).
 - b. For standard mail: U.S. Army Corps of Engineers, Regulatory Division, Enforcement Section, P.O. Box 4970, Jacksonville, FL 32232-0019.

The Permittee shall reference this DA permit number, SAJ-2021-03388(GP-KAB), on all submittals.

2. Commencement Notification: Within 10 days from the date of initiating the work authorized by this permit the Permittee shall submit a completed *Commencement Notification* form (Attachment A).

3. Self-Certification: Within 60 days of completion of the work authorized by this permit, the Permittee shall complete the attached "Self-Certification Statement of Compliance" form (Attachment B) and submit it to the Corps. In the event that the completed work deviates in any manner from the authorized work, the Permittee shall describe the deviations between the work authorized by this permit and the work as constructed on the "Self-Certification Statement of Compliance" form. The description of any deviations on the "Self-Certification Statement of Compliance" form does not constitute approval of any deviations by the Corps.

4. Agency Changes/Approvals: Should any other agency require and/or approve changes to the work authorized or obligated by this permit, the Permittee is advised a modification to this permit instrument is required prior to initiation of those changes. It is the Permittee's responsibility to request a modification of this permit from the Panama City Permits Section. The Corps reserves the right to fully evaluate, amend, and approve or deny the request for modification of this permit.

5. Posting of Permit: The Permittee shall have available and maintain for review a copy of this permit and approved plans at the construction site.

6. Assurance of Navigation and Maintenance: The Permittee understands and agrees that, if future operations by the United States require the removal, relocation, or other alteration, of the structures or work herein authorized, or if in the opinion of the Secretary of the Army or his authorized representative, said structure or work shall cause unreasonable obstruction to the free navigation of the navigable waters, the Permittee will be required, upon due notice from the Corps of Engineers, to remove, relocate, or alter the structural work or obstructions caused thereby, without expense to the United States. No claim shall be made against the United States on account of any such removal or alteration.

7. Cultural Resources/Historic Properties:

a. No structure or work shall adversely affect impact or disturb properties listed in the National Register of Historic Places (NRHP) or those eligible for inclusion in the NRHP.

b. If during the ground disturbing activities and construction work within the permit area, there are archaeological/cultural materials encountered which were not the subject of a previous cultural resources assessment survey (and which shall include, but not be limited to: pottery, modified shell, flora, fauna, human remains, ceramics, stone tools or metal implements, dugout canoes, evidence of structures or any other physical remains that could be associated with Native American cultures or early colonial or American settlement), the Permittee shall immediately stop all work and ground-disturbing activities within a 100-meter diameter of the discovery and notify the Corps within the same business day (8 hours). The Corps shall then notify the Florida State Historic Preservation Officer (SHPO) and the appropriate Tribal Historic Preservation Officer(s) (THPO(s)) to assess the significance of the discovery and devise appropriate actions.

c. Additional cultural resources assessments may be required of the permit area in the case of unanticipated discoveries as referenced in accordance with the above Special Condition ; and if deemed necessary by the SHPO, THPO(s), or Corps, in accordance with 36 CFR 800 or 33 CFR 325, Appendix C (5). Based, on the circumstances of the discovery, equity to all parties, and considerations of the public interest, the Corps may modify, suspend or revoke the permit in accordance with 33 CFR Part 325.7. Such activity shall not resume on non-federal lands without written authorization from the SHPO for finds under his or her jurisdiction, and from the Corps.

d. In the unlikely event that unmarked human remains are identified on non-federal lands, they will be treated in accordance with Section 872.05 Florida Statutes. All work and ground disturbing activities within a 100-meter diameter of the unmarked human remains shall immediately cease and the Permittee shall immediately notify the medical examiner, Corps, and State Archeologist within the same business day (8-hours). The Corps shall then notify the appropriate SHPO and THPO(s). Based, on the circumstances of the discovery, equity to all parties, and considerations of the public interest, the Corps may modify, suspend or revoke the permit in accordance with 33 CFR Part 325.7. Such activity shall not resume without written authorization from the State Archeologist and from the Corps.

8. Turbidity Barriers: Prior to the initiation of any of the work authorized by this permit, the Permittee shall install floating turbidity barriers with weighted skirts that extend to the bottom around all work areas that are in, or adjacent to, surface waters. The turbidity barriers shall remain in place and be maintained until the authorized work has been completed and all suspended and erodible materials have been stabilized. Turbidity barriers shall be removed upon stabilization of the work area.

9. Erosion Control: Prior to the initiation of any work authorized by this permit, the Permittee shall install erosion control measures along the perimeter of all work areas to

prevent the displacement of fill material outside the work area into waters of the United States. Immediately after completion of the final grading of the land surface, all slopes, land surfaces, and filled areas shall be stabilized using sod, degradable mats, barriers, or a combination of similar stabilizing materials to prevent erosion. The erosion control measures shall remain in place and be maintained until all authorized work is completed and the work areas are stabilized.

10. Manatee Conditions: The Permittee shall comply with the "Standard Manatee Conditions for In-Water Work – 2011" (Attachment C).

11. Jacksonville District Programmatic Biological Opinion (JAXBO), November 2017, Project Design Criteria (PDCs): Structures authorized under this permit must comply with all applicable PDCs, based on the permitted activity, as required by JAXBO. Please note that failure to comply with the applicable PDCs, where a take of listed species occurs, would constitute an unauthorized take, and noncompliance with this permit. The NMFS is the appropriate authority to enforce the terms and conditions of JAXBO. The most current version of JAXBO can be accessed at the Jacksonville District Regulatory Division internet webpage in the Endangered Species section of the Sourcebook located at: <http://www.saj.usace.army.mil/Missions/Regulatory/SourceBook.aspx>

Note - JAXBO may be subject to revision at any time. The most recent version of these conditions must be utilized during the design and construction of the permitted work. In accordance with the Endangered Species Act, and for those projects which do not comply with JAXBO, the Corps will seek individual consultation with the NMFS.

Note - some authorized activities may deviate from the PDCs. In cases, where the activity (i.e., structure dimensions, length, etc.) deviates from the PDCs, the permit drawings shall supersede the PDCs.

For each of the following authorized activities subject of this permit, the permittee shall adhere to the following PDCs, which are attached to, and made part of, this authorization/verification letter:

Activity 2 - Pile-supported Structures and Anchored Buoys: (AP.1-14; A2.1-16; S.1; S.2; S.4) (Attachment E)

Please note U.S. Coast Guard regulations may require you as permittee to provide information for a Notice to the maritime community regarding your project. You should contact the Coast Guard Sector Mobile Waterways Management Branch (spw), 1500 15th Street, Mobile, AL 36615 or by phone at 251-441-5684 to determine if a Notice is

necessary. Also any safety lights, signs and signals prescribed by the U.S. Coast Guard through their regulations or otherwise, must be installed and maintained at your expense as permittee on authorized facilities in navigable waters of the United States. To receive a U.S. Coast Guard Private Aids to Navigation marking determination, you are advised to contact the Eighth Coast Guard District (dpw), 500 Poydras St. Suite 1230, New Orleans, LA 70130, 504-671-2328 or via email to: D8oanPATON@uscg.mil prior to installation/construction of any fixed structures. For general information related to Private Aids to Navigation please visit the Eighth CG District web site at: <http://www.atlanticarea.uscg.mil/district-8/district-divisions/waterways/PATON>

This letter of authorization does not give absolute Federal authority to perform the work as specified on your application. The proposed work may be subject to local building restrictions mandated by the National Flood Insurance Program. You should contact your local office that issues building permits to determine if your site is located in a flood-prone area, and if you must comply with the local building requirements mandated by the National Flood Insurance Program.

This letter of authorization does not preclude the necessity to obtain any other Federal, State, or local permits, which may be required.

Thank you for your cooperation with our permit program. The Corps' Jacksonville District Regulatory Division is committed to improving service to our customers. We strive to perform our duty in a friendly and timely manner while working to preserve our environment. We invite you to complete our automated Customer Service Survey at <https://regulatory.ops.usace.army.mil/customer-service-survey/>. Please be aware this Internet address is case sensitive; and, you will need to enter it exactly as it appears above. Your input is appreciated – favorable or otherwise.

Should you have any questions related to this GP verification or have issues accessing the documents reference in this letter, please contact Kelly Bunting at the letterhead address above, via telephone at 850-763-0717, or via e-mail at Kelly.A.Bunting@usace.army.mil.

Sincerely,



Kelly Bunting
Project Manager

CC: Dan Garlick, Garlick Environmental Assoc., Inc.
Enclosures

DEPARTMENT OF THE ARMY PERMIT TRANSFER REQUEST

DA PERMIT NUMBER: SAJ-2021-03388(GP-KAB)

When the structures or work authorized by this permit are still in existence at the time the property is transferred, the terms and conditions of this permit will continue to be binding on the new owner(s) of the property. Although the construction period for works authorized by Department of the Army permits is finite, the permit itself, with its limitations, does not expire.

To validate the transfer of this permit and the associated responsibilities associated with compliance with its terms and conditions, have the transferee sign and date below and mail to the U.S. Army Corps of Engineers, Enforcement Section, Post Office Box 4970, Jacksonville, FL 32232-0019 or submit via electronic mail to:

SAJ-RD-Enforcement@usace.army.mil (not to exceed 15 MB).

(TRANSFeree-SIGNATURE)

(SUBDIVISION)

(DATE)

(LOT)

(BLOCK)

(NAME-PRINTED)

(STREET ADDRESS)

(MAILING ADDRESS)

(CITY, STATE, ZIP CODE)

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 300, APALACHICOLA FLORIDA 32329-0300

(850) 853-8899 FAX (850) 853-9858 garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: Nick Pappas

JOB: 21-252

WATERBODY/CLASS: Alligator Harbor

DEP:

PURPOSE: Development Feasibility Assessment

COE:

PROJECT LOCATION / USGS: Alligator Harbor / Franklin County

OTHER:

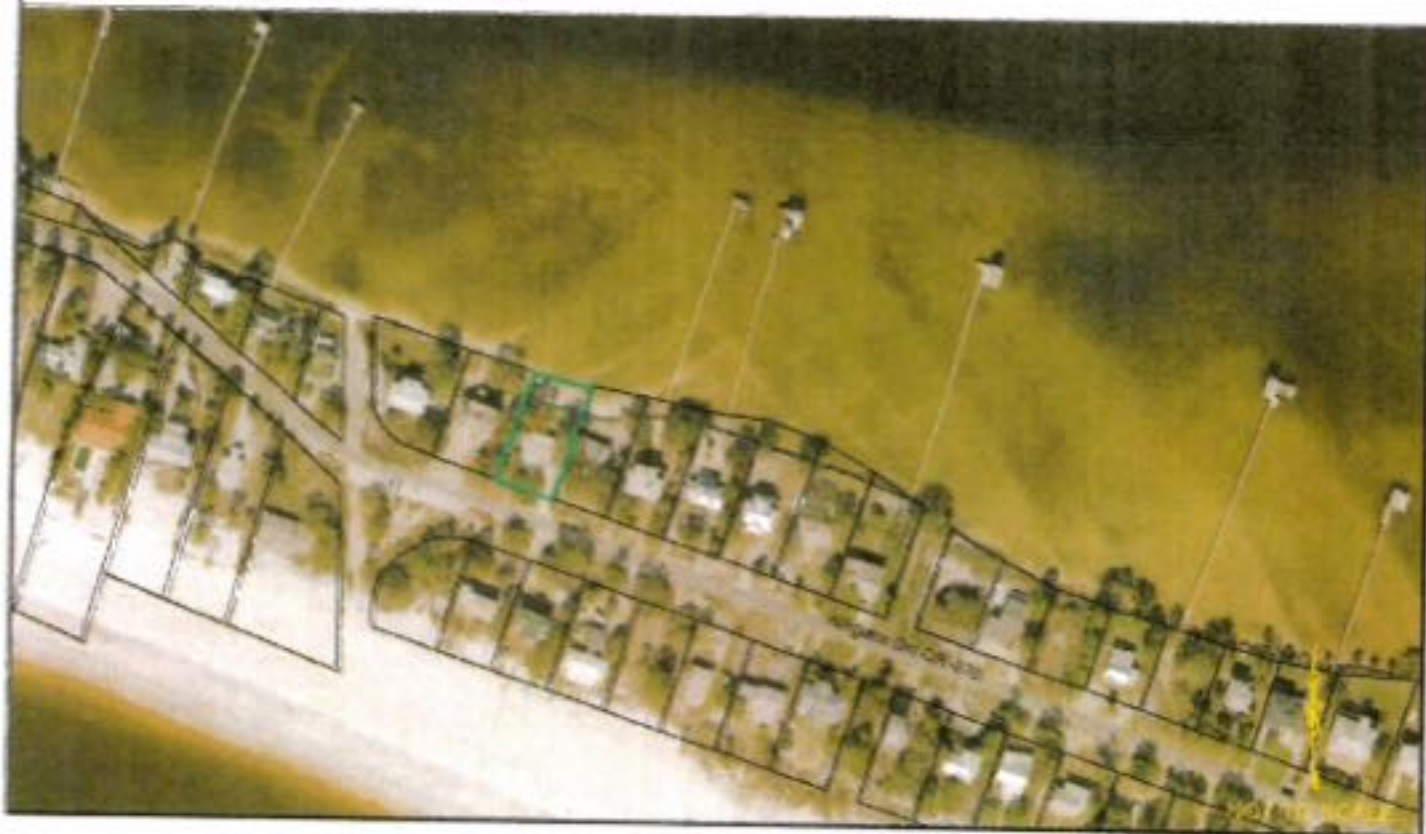
LATITUDE: 29° 34' 1.12"

DATE: September 27, 2021

LONGITUDE: 84° 23' 48.17"

SHEET: 1/4

SECTION: 8 TOWNSHIP: 7 South RING: 1 West



PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.



APPLICANT/CLIENT: Nick Pappas
WATERBODY/CLASS: Alligator Harbor / Class II / OFW / AP
PURPOSE: Environmental Permitting
PROJECT LOCATION / USGS: Alligator Point / Franklin County
LATITUDE: 29° 54' 1.12"
LONGITUDE: 84° 23' 48.17"
SECTION: 06 TOWNSHIP: 7 South RNG: 1 West

JOB: 20-185
DEP:
COE:
OTHER:
DATE: September 24, 2021
SHEET: 2/4

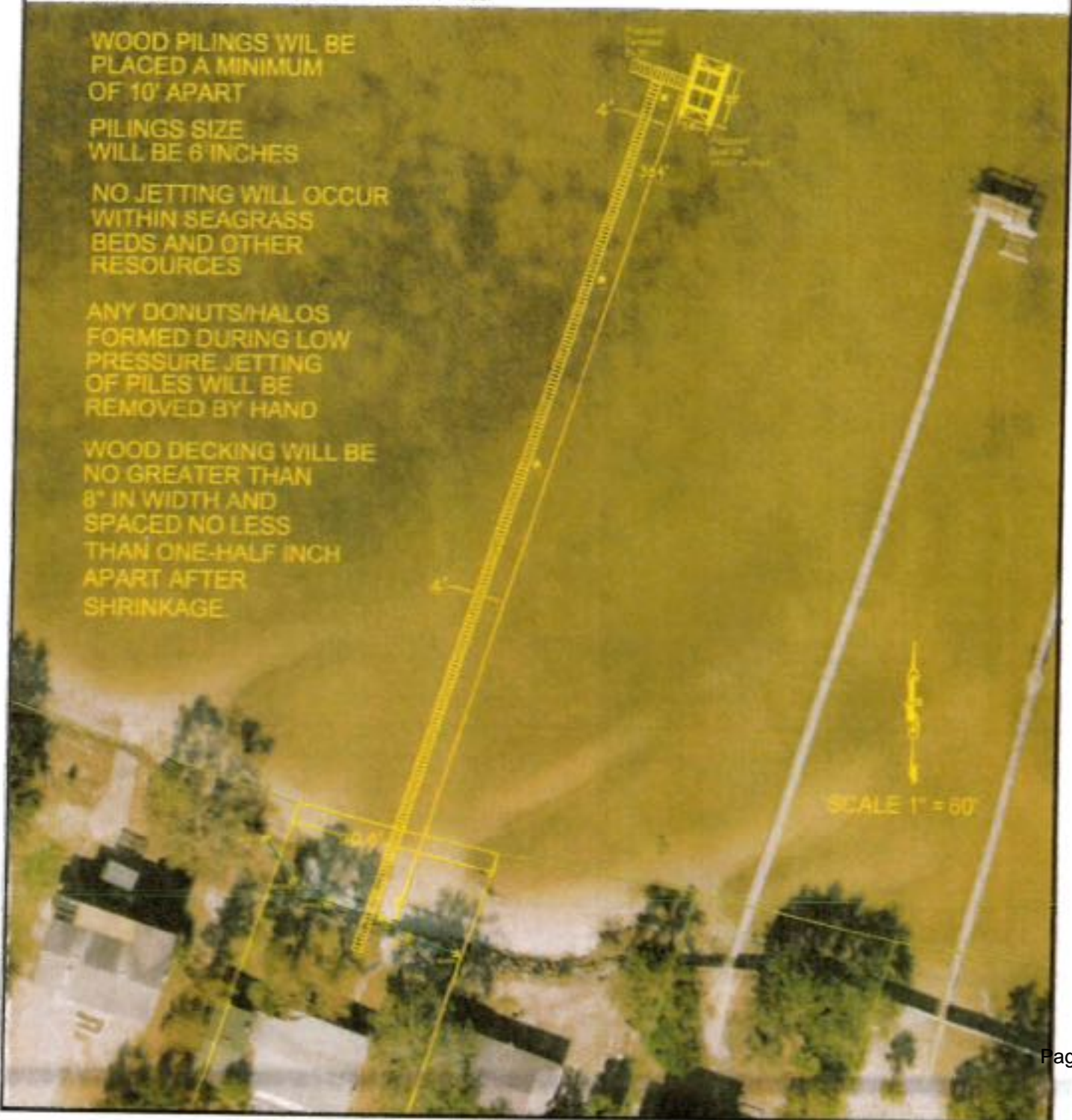
WOOD PILINGS WILL BE
PLACED A MINIMUM
OF 10' APART

PILINGS SIZE
WILL BE 6 INCHES

NO JETTING WILL OCCUR
WITHIN SEAGRASS
BEDS AND OTHER
RESOURCES

ANY DONUTS/HALOS
FORMED DURING LOW
PRESSURE JETTING
OF PILES WILL BE
REMOVED BY HAND

WOOD DECKING WILL BE
NO GREATER THAN
8" IN WIDTH AND
SPACED NO LESS
THAN ONE-HALF INCH
APART AFTER
SHRINKAGE



PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

APPLICANT/CLIENT: Nick Pappas
WATERBODY/CLASS: Alligator Harbor / Class II / OFW / AP
PURPOSE: Environmental Permitting
PROJECT LOCATION / USGS: Alligator Point / Franklin County
LATITUDE: 29° 54' 1.12"
LONGITUDE: 84° 23' 48.17"
SECTION: 06 TOWNSHIP: 7 South RANG: 1 West

JOB: 20-185
DEP:
COE:
OTHER:
DATE: September 24, 2021
SHEET: 3/4



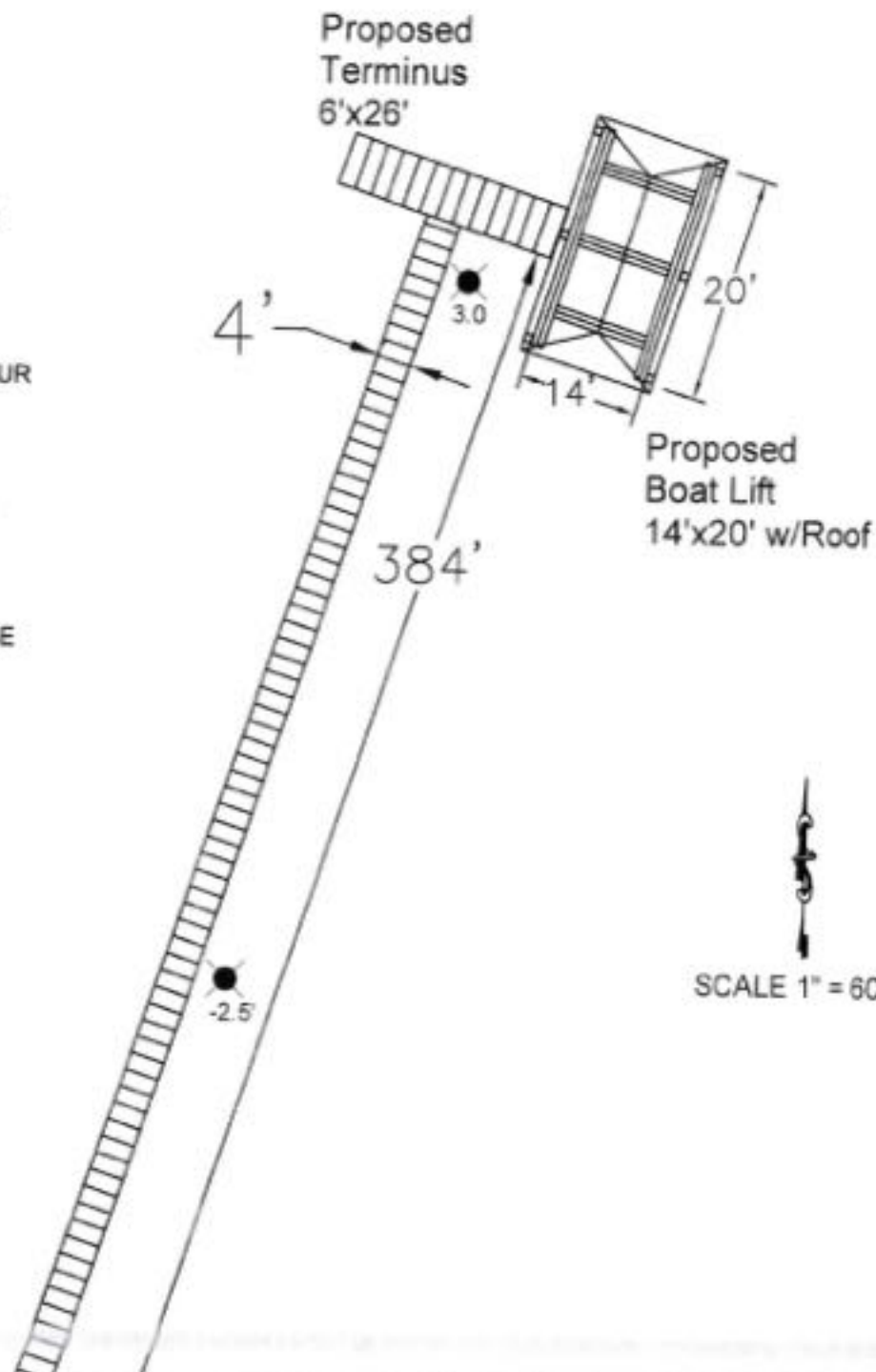
WOOD PILINGS WILL BE
PLACED A MINIMUM
OF 10' APART

PILINGS SIZE
WILL BE 6 INCHES

NO JETTING WILL OCCUR
WITHIN SEAGRASS
BEDS AND OTHER
RESOURCES

ANY DONUTS/HALOS
FORMED DURING LOW
PRESSURE JETTING
OF PILES WILL BE
REMOVED BY HAND

WOOD DECKING WILL BE
NO GREATER THAN
8" IN WIDTH AND
SPACED NO LESS
THAN ONE-HALF INCH
APART AFTER
SHRINKAGE.



SCALE 1" = 60'

PREPARED BY: GARLICK ENVIRONMENTAL ASSOCIATES, INC.

P. O. BOX 385, APALACHICOLA FLORIDA 32329-0385

(850) 653-8899 FAX (850) 653-9456 garlick@garlickenv.com

LB No. 7415

APPLICANT/CLIENT: Nick Pappas

JOB: 21-252

WATERBODY/CLASS: Alligator Harbor

DEP:

PURPOSE: Development Feasibility Assessment

COE:

PROJECT LOCATION / USGS: Alligator Harbor / Franklin County

OTHER:

LATITUDE: 28° 54' 1.12"

DATE: September 24, 2021

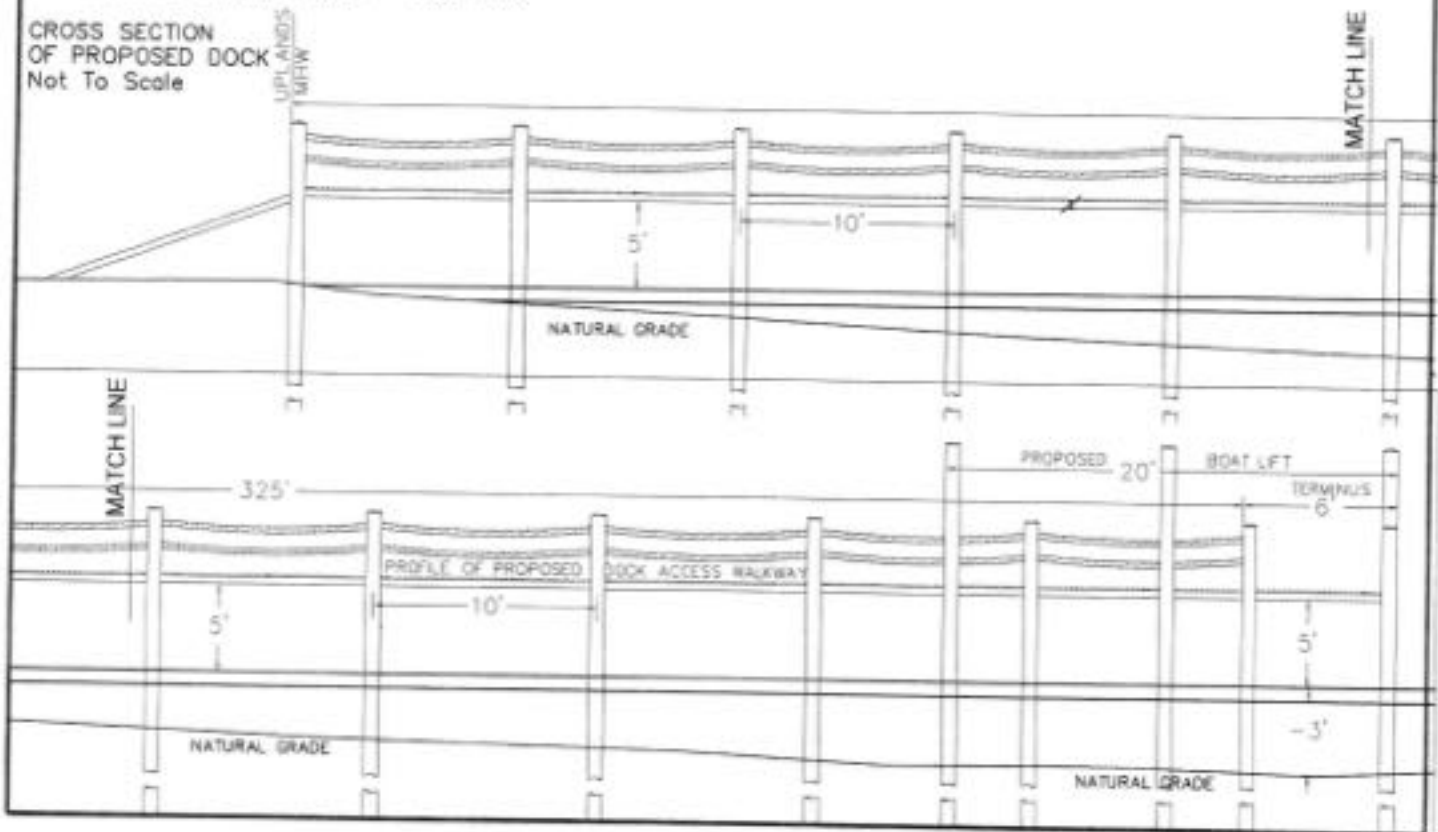
LONGITUDE: 84° 23' 48.17"

SHEET: 4/4

SECTION: 6 TOWNSHIP: 7 South RANG: 1 West



CROSS SECTION
OF PROPOSED DOCK
Not To Scale





RE-ZONING & LAND USE CHANGE APPLICATION

FRANKLIN COUNTY BUILDING DEPARTMENT

34 Forbes Street, Suite 1, Apalachicola, FL 32320

PHONE: 850-653-9783 FAX: 850-653-9799

<https://www.franklincountyflorida.com/county-government/planning-building/planning-services/>

Instructions: Complete application, include proof of ownership in the form of a deed, any necessary information supporting your request, and a boundary survey. Application fees: \$250.00 for Re-zoning & \$250.00 for Land Use Change. Return to the following address:

Franklin County Building Department
34 Forbes Street, Suite 1
Apalachicola, FL 32320

PROPERTY OWNER'S INFORMATION

PROPERTY OWNER'S NAME: East Point Lands, LLC
MAILING ADDRESS: 183 N. Bayshore Drive CITY/STATE/ZIP: East Point, FL 32348
CONTACT NUMBER: Bruce 850-899-3020 EMAIL: info@senguestsented.com
AGENT'S NAME: Bruce Millender
CONTACT NUMBER: 850-899-3020 EMAIL: _____

PROPERTY DESCRIPTION

911 ADDRESS: 79 Otter Slide CITY/STATE/ZIP: East Point, FL 32328
LOT(S): _____ BLOCK: _____ SUBDIVISION: _____ UNIT: _____
PARCEL IDENTIFICATION NUMBER: 30-085-0610-0000-0010-0621

JURISDICTION

___ APALACHICOLA ☒ EASTPOINT ___ ST. GEORGE ISLAND ___ CARRABELLE ___ DOG ISLAND ___ LANARK
___ ST. JAMES ___ ST. THERESA ___ ALLIGATOR POINT

DESCRIPTION OF REQUEST

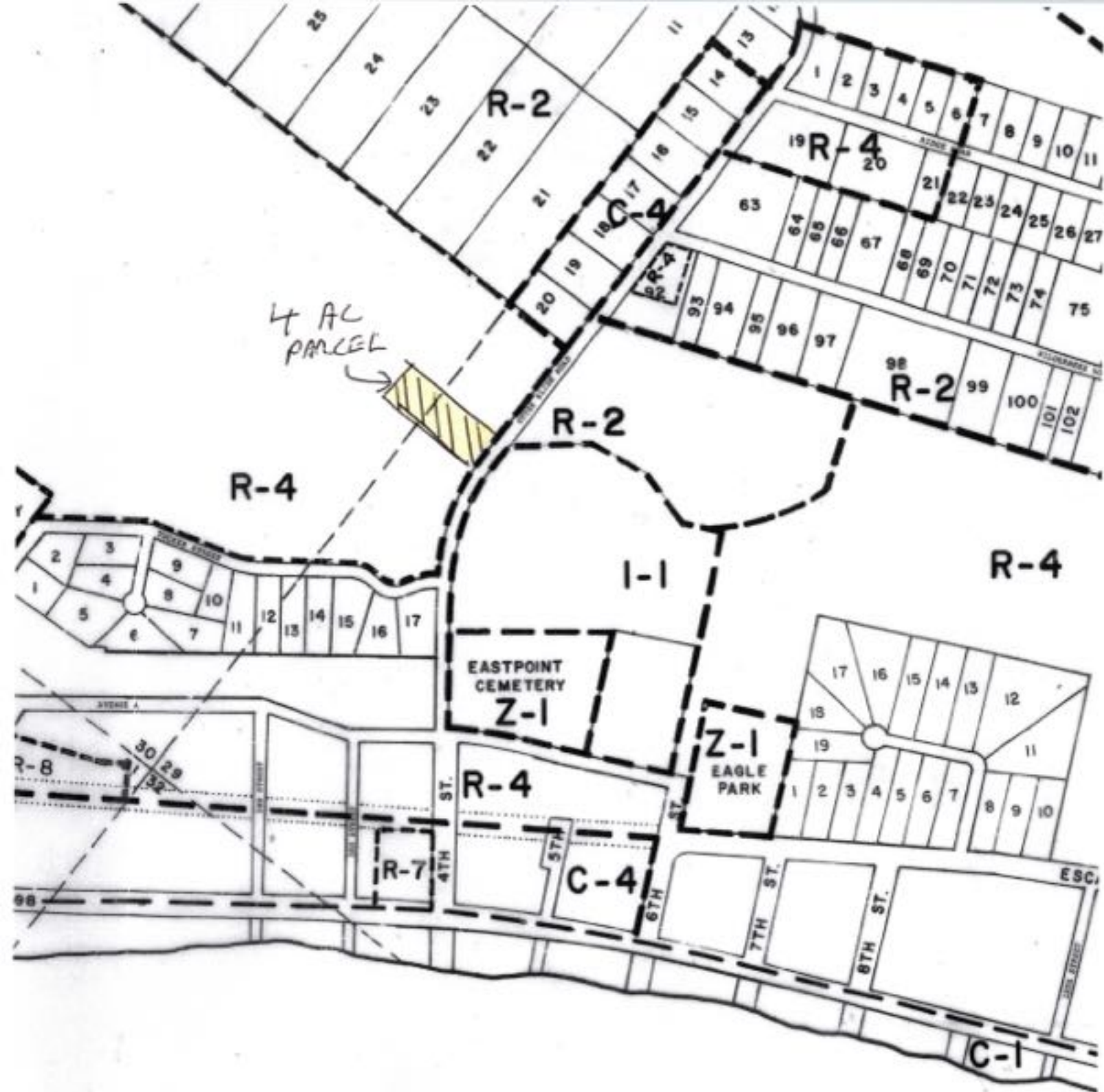
CURRENT ZONING: R-4 CURRENT LAND USE: Vacant
REQUESTED ZONING: C4 REQUESTED LAND USE: Commercial Residential
ACREAGE: 4 Ac.

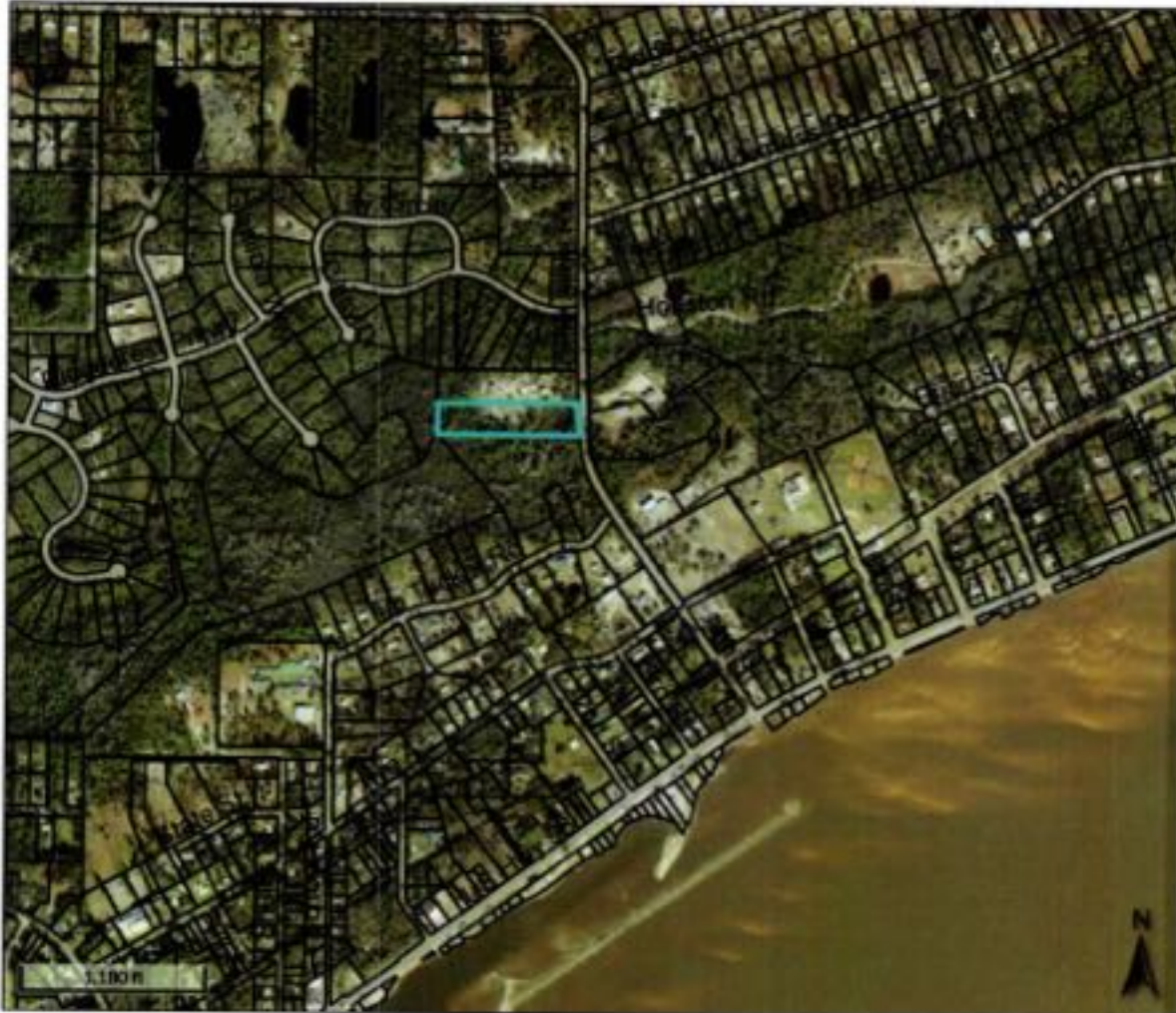
OFFICE USE ONLY

ADJUSTMENT BOARD MEETING DATE: _____ APPROVED/DENIED/TABLED: _____
BOARD OF COUNTY COMMISSION DATE: _____ APPROVED/DENIED/TABLED: _____
PUBLIC HEARING DATED: _____ APPROVED/DENIED/TABLED: _____

FRANKLIN COUNTY, FLORIDA
REQUIRED ANALYSIS FOR LAND USE OR ZONING CHANGE

1. **Eastpoint Urban Service Area.** Is this property located within the Eastpoint Urban Service Area?
(Y/N) yes
2. **Coastal High Hazard Area.** Is this property located within the Coastal High Hazard Area?
(Y/N) no
3. **Critical Shoreline Zone.** Is this property located within the Critical Shoreline Zone?
(Y/N) no
4. **Soil Conditions.** Copies of the 1994 Soil Survey of Franklin County are available in the Franklin County Building and Planning Office.
5. **Topography.** What is the topography of this property? _____
6. **Drainage.** Are there any natural drainage features located on this property?
(Y/N) If yes, please describe: no
7. **Wetlands.** Are there wetlands located on this property? The only way to definitively know if there are wetlands on this property is to have a qualified individual survey the site for wetlands, but the U.S. Fish and Wildlife Service's National Wetlands Inventory can give a general overview of what potential wetlands might be location on the property. The website can be accessed at: <https://www.fws.gov/wetlands/data/mapper.html>.
(Y/N) no
8. **Floodplains.** What flood zone is this property located in? _____
The Flood maps for Franklin County can be found at: <https://maps.nwfwmdfloodmaps.com/esri-viewer/map.aspx?cty=franklin>
9. **Potential Wildfire Areas.** Is this property susceptible to wildfires?
(Y/N) no
10. **Historic or Cultural Sites.** Are there any historic or cultural sites located on this property? The Florida Master Site File keeps a list of recorded historic and cultural sites in Florida. They can be reached at (850) 245-6440 or sitefile@dos.myflorida.com
(Y/N) no
11. **Endangered Species.** Are there any endangered species located on this property? The Florida Fish and Wildlife Conservation Commission's website showing the location of Bald Eagle nests in the state can be found at <https://myfwc.com/wildlifehabitats/wildlife/>
(Y/N) no
12. **Traffic Circulation.** How will this development affect traffic on the roads that serve the development?
none
The Florida Department of Transportation traffic counts can be found at <https://tdaappsprod.dot.state.fl.us/flo/>.
13. **Affordable Housing.** Will this change increase the supply of affordable housing in Franklin County?
(Y/N) yes
14. **Economic Development.** How will this change promote economic development in Franklin County? _____
30bs
15. **Water and Sewer.** Will this development be served by central water and sewer, or will it be on individual water wells and septic tanks? yes





Overview



Legend

- ☐ Parcels
- ☐ Roads
- ☐ City Labels

Parcel ID	30-085-06W-0000-0010-0621	Alternate ID	06W08530000000100621	Owner Address	EASTPOINT LANDS,LLC
Sec/Twp/Rng	--	Class	VACANT		183 NORTH BAYSHORE DRIVE
Property Address	89 OTTERSLIDE RD	Acreage	n/a		EASTPOINT, FL 32328
	EASTPOINT				
District	5				
Brief Tax Description	4 AC IN SEC 30-85-6W				
	(Note: Not to be used on legal documents)				

Date created: 12/14/2021
Last Data Uploaded: 12/14/2021 7:57:18 AM

Developed by  **Schneider**
GEOSPATIAL

Inst: 201019002828 Date: 6/3/2010 Time: 2:40 PM

Doc Stamp-Deed 322.00

SM J.C. Marcia Johnson, Franklin County B-1012 P-253

WARRANTY DEED

THIS INDENTURE, made this 2nd day of June, 2010, by and between **HERITAGE COAST PROPERTIES, LLC, a Florida Limited Liability Company**, whose address is 183 North Bayshore Drive, Eastpoint, Florida 32328 ("Grantor") and **EASTPOINT LANDS, LLC, a Florida Limited Liability Company**, whose address is 183 North Bayshore Drive, Eastpoint, Florida 32328 ("Grantee").

WITNESSETH, that the Grantor, for and in consideration of the sum of Ten and No/100 Dollars (\$10.00) and other valuable consideration, in hand paid by the said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained, sold and transferred to the said Grantee, its heirs, successors and assigns forever, the following described land, situate, lying and being in the County of Franklin, State of Florida, to wit:

SEE ATTACHED EXHIBIT "A"

Being the same property described in that Corrective Warranty Deed dated October 24, 2005 and recorded at O. R. Book 879, Page 341 of the Public Records of Franklin County, Florida.

And the Grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims and demands of all persons whomsoever.

IN WITNESS WHEREOF, the said Grantor has executed this instrument under seal the day and year first above written.

Signed, sealed and delivered
in the presence of:

Barbara Yonclas

Signature

BARBARA YONCLAS

Print Name

Signature

NICHOLAS YONCLAS

Print Name

HERITAGE COAST PROPERTIES, LLC

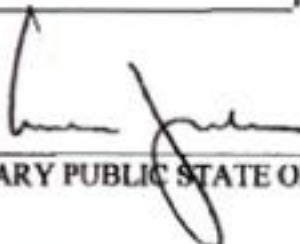
By: *[Signature]*

Its Managing Member

ACKNOWLEDGMENT

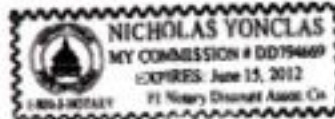
STATE OF FLORIDA
COUNTY OF FRANKLIN

The foregoing instrument was acknowledged before me this 2nd day of June, 2010, by Bruce Millender, Managing Member of Heritage Coast Properties, LLC, who [☒] is personally known to me or [☐] who has produced _____ identification and who did not take an oath.



NOTARY PUBLIC STATE OF FLORIDA

My Commission Expires:



Prepared By and Return to:

Nicholas Yonclas
Nicholas Yonclas, P.A.
P.O. Box 386
Eastpoint, FL 32328

Inst:0200509922 Date:11/17/2005 Time:15:07

Doc Stamp-Deed : 0.00

DC, Marcia Johnson, FRANKLIN County B:879 P:342

Commence at a concrete monument marking the Northeast corner of Section 30, Township 8 South, Range 6 West, Franklin County, Florida and run South 00 degrees 45 minutes 08 seconds West 659.56 feet to a re-rod (marked #5826) lying on the Southerly right-of-way boundary of Twin Lakes Road said point also marking a point of curve to the right, thence run Easterly and Southeasterly along said right-of-way boundary and said curve having a radius of 251.23 through a central angle of 87 degrees 15 minutes 38 seconds for an arc distance of 382.62 feet (chord being South 45 degrees 52 minutes 09 seconds East 346.70 feet) to a re-rod (marked #5826) lying on the Westerly right-of-way boundary of Otter Springs Road, thence run Southerly along said right-of-way boundary the following 3 courses: South 02 degrees 12 minutes 53 seconds East 187.49 feet to a re-rod (marked #5826), South 02 degrees 12 minutes 41 minutes East 523.03 feet to a re-rod (marked #4440), South 02 degrees 14 minutes 46 seconds East 1408.69 feet to a re-rod (marked #4261) marking the POINT OF BEGINNING. From said POINT OF BEGINNING continue South 02 degrees 14 minutes 46 seconds East along said right-of-way boundary a distance of 8.06 feet to a re-rod (marked #5826), marking a point of curve to the left, thence run Southerly along said right-of-way boundary and said curve having a radius of 2351.32 feet through a central angle of 04 degrees 39 minutes 24 seconds for an arc distance of 191.11 feet (chord being South 04 degrees 33 minutes 45 seconds East 191.05 feet) to a re-rod (marked #4261), thence leaving said right-of-way boundary run West 886.79 feet to a re-rod (marked #4261), thence run North 198.50 feet to a re-rod (marked #4261), thence run East 871.28 feet to the POINT OF BEGINNING containing 4.00 acres, more or less.



Franklin County, FL

Parcel Summary

Parcel ID 30-08S-06W-0000-0010-0621
 Location Address 89 POTTERSLIDE RD
 EASTPOINT 32328
 Brief Tax Description* 4 AC IN SEC 30-8S-6W 844/373 879/341 1012/263
 *The Description above is not to be used on legal documents.
 Property Use Code VACANT (000000)
 Sec/Twp/Rng --
 Tax District East Point (District 5)
 Millage Rate 14.2322
 Acreage 0.000
 Homestead N

[View Map](#)

Owner Information

Primary Owner
[Eastpoint Lands LLC](#)
 183 North Bayshore Drive
 Eastpoint, FL 32328

Land Information

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000000	VAC RES	4.00	UT	0	0

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	06/02/2010	\$46,000	WD	1012	263	Unqualified (U)	Vacant	HERITAGE COAST PROPERTIES LLC	EASTPOINT LANDS, LLC
N	11/17/2005	\$100	CD	879	341	Unqualified (U)	Vacant	HOLLENBECK	HERITAGE COAST PROPERTIES, LLC
N	04/12/2005	\$120,000	WD	844	373	Qualified (Q)	Vacant	HOLLENBECK	HERITAGE COAST PROPERTIES, LLC

Valuation

	2021 Certified	2020 Certified	2019 Certified	2018 Certified	2017 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$0	\$0	\$0	\$0	\$0
Land Value	\$23,800	\$23,800	\$24,000	\$24,000	\$24,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$23,800	\$23,800	\$24,000	\$24,000	\$24,000
Assessed Value	\$23,800	\$23,800	\$24,000	\$24,000	\$24,000
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$23,800	\$23,800	\$24,000	\$24,000	\$24,000
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$0	\$0

Just (Market) Value description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

TRIM Notice 2021

[2021 TRIM Notice \(PDF\)](#)

TRIM Notice 2020

[2020 TRIM Notice \(PDF\)](#)

TRIM Notice 2019

[2019 TRIM Notice \(PDF\)](#)

No data available for the following modules: Residential Buildings, Commercial Buildings, Extra Features, Sketches.

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

[User Privacy Policy](#)
[GDPR Privacy Notice](#)

Developed by
 Schneider
GEOSPATIAL

[Last Data Upload: 12/14/2021, 7:57:18 AM](#)

Version 2.3.165



RE-ZONING & LAND USE CHANGE APPLICATION

FRANKLIN COUNTY BUILDING DEPARTMENT

34 Forbes Street, Suite 1, Apalachicola, FL 32320

PHONE: 850-653-9783 FAX: 850-653-9799

<https://www.franklincountyflorida.com/county-government/planning-building/planning-services/>

Instructions: Complete application, include proof of ownership in the form of a deed, any necessary information supporting your request, and a boundary survey. Application fees: \$250.00 for Re-zoning & \$250.00 for Land Use Change. Return to the following address:

Franklin County Building Department
34 Forbes Street, Suite 1
Apalachicola, FL 32320

PROPERTY OWNER'S INFORMATION

PROPERTY OWNER'S NAME: East Point Lands, LLC
MAILING ADDRESS: 18347 Bayshore Drive CITY/STATE/ZIP: East Point, Fla. 32328
CONTACT NUMBER: 850-899-3020 EMAIL: info@seaguestseated.com
AGENT'S NAME: Bruce Millender
CONTACT NUMBER: 850-899-3020 EMAIL: SAME

PROPERTY DESCRIPTION

911 ADDRESS: 478 Ave A CITY/STATE/ZIP: East Point, Fla. 32328
LOT(S): _____ BLOCK: _____ SUBDIVISION: _____ UNIT: _____
PARCEL IDENTIFICATION NUMBER: 30-085-0640-000-0130-0000

JURISDICTION

☐ APALACHICOLA ☒ EASTPOINT ☐ ST. GEORGE ISLAND ☐ CARRABELLE ☐ DOG ISLAND ☐ LANARK
☐ ST. JAMES ☐ ST. THERESA ☐ ALLIGATOR POINT

DESCRIPTION OF REQUEST

CURRENT ZONING: R-4 CURRENT LAND USE: VACANT
REQUESTED ZONING: RS REQUESTED LAND USE: Residential
ACREAGE: 1.390

OFFICE USE ONLY

ADJUSTMENT BOARD MEETING DATE: _____ APPROVED/DENIED/TABLED: _____
BOARD OF COUNTY COMMISSION DATE: _____ APPROVED/DENIED/TABLED: _____
PUBLIC HEARING DATED: _____ APPROVED/DENIED/TABLED: _____

FRANKLIN COUNTY, FLORIDA
REQUIRED ANALYSIS FOR LAND USE OR ZONING CHANGE

1. **Eastpoint Urban Service Area.** Is this property located within the Eastpoint Urban Service Area?
(Y/N) yes
2. **Coastal High Hazard Area.** Is this property located within the Coastal High Hazard Area?
(Y/N) NO
3. **Critical Shoreline Zone.** Is this property located within the Critical Shoreline Zone?
(Y/N) NO
4. **Soil Conditions.** Copies of the 1994 Soil Survey of Franklin County are available in the Franklin County Building and Planning Office.
5. **Topography.** What is the topography of this property? _____
6. **Drainage.** Are there any natural drainage features located on this property?
(Y/N) If yes, please describe: NO
7. **Wetlands.** Are there wetlands located on this property? The only way to definitively know if there are wetlands on this property is to have a qualified individual survey the site for wetlands, but the U.S. Fish and Wildlife Service's National Wetlands Inventory can give a general overview of what potential wetlands might be location on the property. The website can be accessed at: <https://www.fws.gov/wetlands/data/mapper.html>.
(Y/N) NO
8. **Floodplains.** What flood zone is this property located in? _____
The Flood maps for Franklin County can be found at: <https://maps.nwfwd/floodmaps.com/esri-viewer/map.aspx?city=franklin>
9. **Potential Wildfire Areas.** Is this property susceptible to wildfires?
(Y/N) NO
10. **Historic or Cultural Sites.** Are there any historic or cultural sites located on this property? The Florida Master Site File keeps a list of recorded historic and cultural sites in Florida. They can be reached at (850) 245-6440 or sitefile@dos.myflorida.com
(Y/N) NO
11. **Endangered Species.** Are there any endangered species located on this property? The Florida Fish and Wildlife Conservation Commission's website showing the location of Bald Eagle nests in the state can be found at <https://myfwc.com/wildlifehabitats/wildlife/>
(Y/N) NO
12. **Traffic Circulation.** How will this development affect traffic on the roads that serve the development?
none
The Florida Department of Transportation traffic counts can be found at <https://tdaappsprod.dot.state.fl.us/ftc/>.
13. **Affordable Housing.** Will this change increase the supply of affordable housing in Franklin County?
(Y/N) yes
14. **Economic Development.** How will this change promote economic development in Franklin County? Jobs
15. **Water and Sewer.** Will this development be served by central water and sewer, or will it be on individual water wells and septic tanks? yes



R-4

R-2

R

R-2

R-4

BROWN
ELEMENTARY
SCHOOL
Z-1

I-1

EASTPOINT
CEMETERY
Z-1

R-8

R-4

Z-1
EAGLE
PARK

R-7

C-4

C-1

GEORGE SOUND



RE-ZONING & LAND USE CHANGE APPLICATION

FRANKLIN COUNTY BUILDING DEPARTMENT

34 Forbes Street, Suite 1, Apalachicola, FL 32320

PHONE: 850-653-9783 FAX: 850-653-9799

<https://www.franklincountyflorida.com/county-government/planning-building/planning-services/>

Instructions: Complete application, include proof of ownership in the form of a deed, any necessary information supporting your request, and a boundary survey. Application fees: \$250.00 for Re-zoning & \$250.00 for Land Use Change. Return to the following address:

Franklin County Building Department
34 Forbes Street, Suite 1
Apalachicola, FL 32320

PROPERTY OWNER'S INFORMATION

PROPERTY OWNER'S NAME: East Point Lands, LLC
MAILING ADDRESS: 183 N. Bayshore Dr. CITY/STATE/ZIP: East Point, Fla. 32328
CONTACT NUMBER: 850-899-3020 EMAIL: info@sequesterland.com
AGENT'S NAME: _____
CONTACT NUMBER: _____ EMAIL: _____

PROPERTY DESCRIPTION

911 ADDRESS: 16 N. Franklin St. CITY/STATE/ZIP: East Point, Fla. 32328
LOT(S): _____ BLOCK: _____ SUBDIVISION: _____ UNIT: _____
PARCEL IDENTIFICATION NUMBER: 31-085-06W-0000-1640-0010

JURISDICTION

☐ APALACHICOLA ☒ EASTPOINT ☐ ST. GEORGE ISLAND ☐ CARRABELLE ☐ DOG ISLAND ☐ LANARK
☐ ST. JAMES ☐ ST. THERESA ☐ ALLIGATOR POINT

DESCRIPTION OF REQUEST

CURRENT ZONING: R-4 CURRENT LAND USE: Vacant
REQUESTED ZONING: C4 REQUESTED LAND USE: Commercial + Residential
ACREAGE: 1

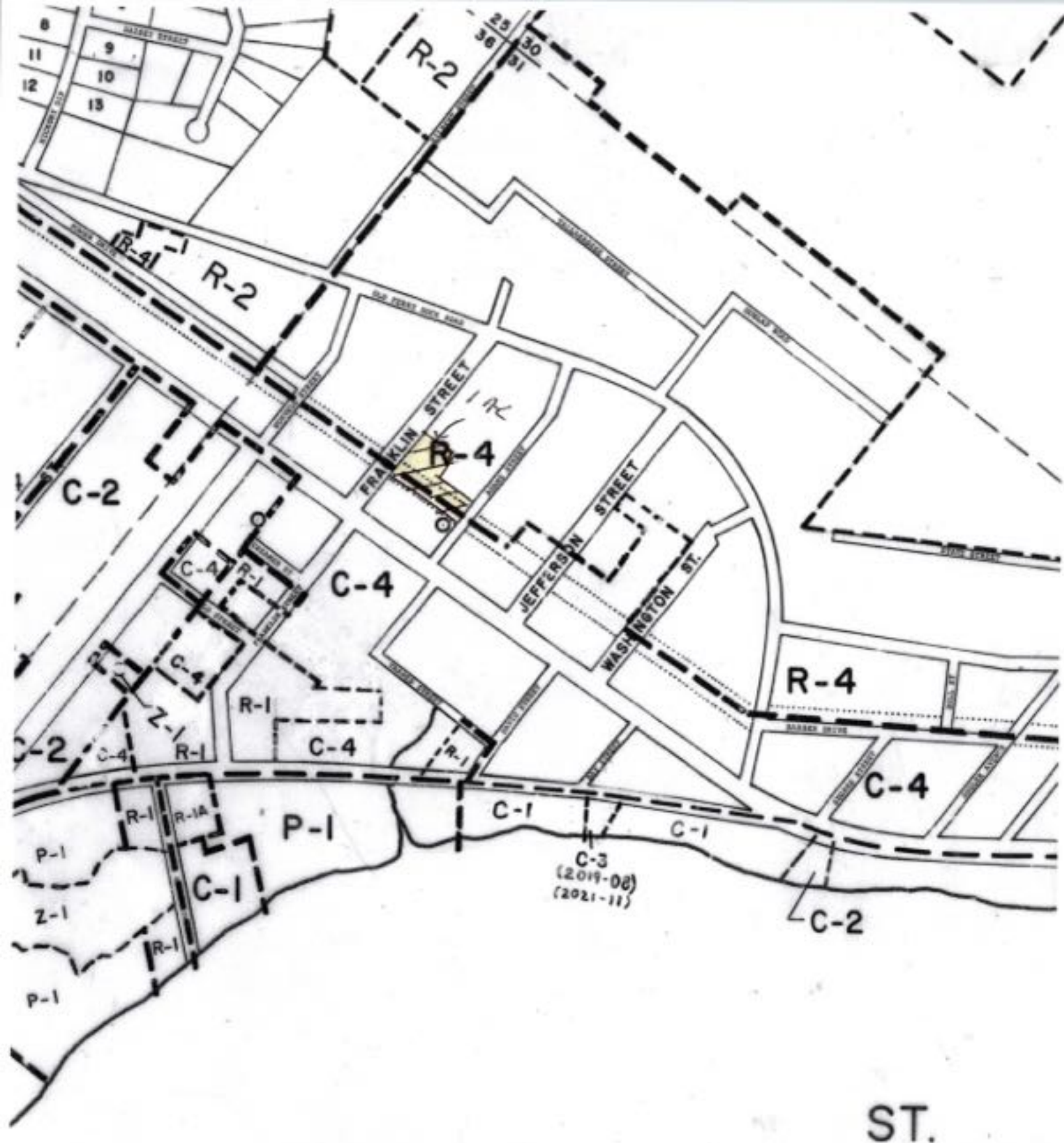
OFFICE USE ONLY

ADJUSTMENT BOARD MEETING DATE: _____ APPROVED/DENIED/TABLED: _____
BOARD OF COUNTY COMMISSION DATE: _____ APPROVED/DENIED/TABLED: _____
PUBLIC HEARING DATED: _____ APPROVED/DENIED/TABLED: _____

FRANKLIN COUNTY, FLORIDA
REQUIRED ANALYSIS FOR LAND USE OR ZONING CHANGE

1. **Eastpoint Urban Service Area.** Is this property located within the Eastpoint Urban Service Area?
(Y/N) yes
2. **Coastal High Hazard Area.** Is this property located within the Coastal High Hazard Area?
(Y/N) no
3. **Critical Shoreline Zone.** Is this property located within the Critical Shoreline Zone?
(Y/N) no
4. **Soil Conditions.** Copies of the 1994 Soil Survey of Franklin County are available in the Franklin County Building and Planning Office.
5. **Topography.** What is the topography of this property? _____
6. **Drainage.** Are there any natural drainage features located on this property?
(Y/N) If yes, please describe: yes
7. **Wetlands.** Are there wetlands located on this property? The only way to definitively know if there are wetlands on this property is to have a qualified individual survey the site for wetlands, but the U.S. Fish and Wildlife Service's National Wetlands Inventory can give a general overview of what potential wetlands might be location on the property. The website can be accessed at: <https://www.fws.gov/wetlands/data/mapper.html>.
(Y/N) no
8. **Floodplains.** What flood zone is this property located in? no flood zone
The Flood maps for Franklin County can be found at: <https://maps.nwfwdmfdloodmaps.com/esri-viewer/map.aspx?cty=franklin>
9. **Potential Wildfire Areas.** Is this property susceptible to wildfires?
(Y/N) no
10. **Historic or Cultural Sites.** Are there any historic or cultural sites located on this property? The Florida Master Site File keeps a list of recorded historic and cultural sites in Florida. They can be reached at (850) 245-6440 or sitefile@dos.myflorida.com
(Y/N) no
11. **Endangered Species.** Are there any endangered species located on this property? The Florida Fish and Wildlife Conservation Commission's website showing the location of Bald Eagle nests in the state can be found at <https://myfwc.com/wildlifehabitats/wildlife/>
(Y/N) no
12. **Traffic Circulation.** How will this development affect traffic on the roads that serve the development?
no
The Florida Department of Transportation traffic counts can be found at <https://tdaappsprod.dot.state.fl.us/fto/>.
13. **Affordable Housing.** Will this change increase the supply of affordable housing in Franklin County?
(Y/N) yes
14. **Economic Development.** How will this change promote economic development in Franklin County? yes
15. **Water and Sewer.** Will this development be served by central water and sewer, or will it be on individual water wells and septic tanks? yes





LEGEND

○ WATER WELLS

RICHARD WATSON
FRANKLIN COUNTY TAX COLLECTOR

2021 REAL ESTATE

NOTICE OF AD VALOREM TAXES AND NON-AD VALOREM ASSESSMENTS

PROPERTY I.D. NUMBER	ESCROW CD	EXEMPTIONS	DIST CD
31-08S-06W-0000-1640-0010			005

TAX BILL R 1082400
NUMBER

EASTPOINT LANDS, LLC
185 NORTH BAYSHORE DRIVE
EASTPOINT, FL 32328-3363

A PARCEL BEING 197X107 FRONT
AND 100X200 FRONTING ADA
817/698 EXHIBIT A

MAILING ADDRESS: P.O. DRAWER 188, APALACHICOLA FL 32329 * (850) 653-9323 or (850) 653-8384

SITE: 16 N FRANKLIN ST 32328

AD VALOREM TAXES					
TAXING AUTHORITY	MILLAGE RATE	ASSESSED VALUE	EXEMPTION VALUE	TAXABLE VALUE	TAXES LEVIED
COUNTY	.00547070	15,048		15,048	82.32
SCHOOL-LRE	.00280600	23,000		23,000	64.54
SCHOOL-DISC	.00224800	23,000		23,000	51.70
NW FL WATER MGMT	.00002940	15,048		15,048	0.44
EASTPOINT DISTRICT	.00325000	15,048		15,048	48.91
TOTAL MILLAGE 0.01380410					AD VALOREM TAXES 247.91

NON-AD VALOREM ASSESSMENTS		
LEVYING AUTHORITY	RATE	AMOUNT
EASTPOIN ACREAGE		10.00
NON-AD VALOREM ASSESSMENTS		10.00

COMBINED TAXES AND ASSESSMENTS	257.91	See reverse side for important information
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IF PAID BY:	NOV01-NOV30	DEC01-DEC31	JAN01-JAN31	FEB01-FEB28	MAR01-MAR31
	247.59	250.17	252.75	255.33	257.91

RETAIN THIS PORTION FOR YOUR RECORDS
WALK-IN CUSTOMERS
PLEASE BRING FOR RECEIPT

