

ADDENDUM 1:
FDEP FIELD PERMIT AND CONSTRUCTION DRAWINGS
6TH STREET WEST DUNE WALKOVERS PROJECT
St. George Island, Franklin County, Florida



Prepared for:



FRANKLIN COUNTY BOARD OF COUNTY COMMISSIONERS

33 Market Street, Suite 305
Apalachicola, Florida 32320

Prepared by:



MRD Associates, Inc.
543 Harbor Blvd., Suite 204
Destin, Florida 32541
850.654.1555

January 21, 2025

APPENDIX "A"

Florida Department of Environmental Protection (DEP)
Field Permit



FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
Office of Resilience and Coastal Protection
Coastal Construction Control Line Program
2600 Blair Stone Road, M.S. 3522
Tallahassee, FL 32399-2400
Phone: (850) 245-8570

Permit No. 8044173 - FR
No. of Pages Attached: 23

FIELD PERMIT PURSUANT TO SECTION 161.053 OR 161.052, FLORIDA STATUTES

FINDINGS OF FACT AND CONCLUSION OF LAW: The request for a field permit was considered by the staff designee of the Department of Environmental Protection and found to be in compliance with the requirements of Chapter 62B-33, Florida Administrative Code (F.A.C.). Approval is specifically limited to the activity in the stated location and by the project description, approved plans (if any), attached standard conditions, and any special conditions stated below pursuant to Paragraph 161.053(5), Florida Statutes (F.S.). This permit may be suspended or revoked in accordance with Section 62-4.100, F.A.C.

PROJECT LOCATION:

E0021/E0027 of R FR-080
6th Street West (Franklin County Board of County Commissioners)
St. George Island, Franklin County

PROJECT DESCRIPTION:

As per attached plan and in location(s) specified, permittee is authorized to:

- 1) Remove the existing dune walkover;
- 2) Construct a post and roped parking area between the new walkover and W. Gorrie Road; and
- 3) Construct a 156 foot long, 6 foot wide (936 square feet) dune walkover extending 213.5 feet seaward of the CCCL.

Construction in/on marine turtle nesting habitat, such as dune walkover pilings, will occur between date of permit issuance and April 30, 2025. Activities not directly contacting the nesting beach, such as walkover decking or railings, may be constructed after April 30, 2025. The dune walkover will meet the standards described in the attached "Coastal Construction Control Line Dune Walkover Guidelines". Post and rope structure(s) will meet the standards described in the attached "CCCL Post and Rope Guidelines".

SPECIAL PERMIT CONDITIONS: The permit is valid only after all applicable federal, state, and local permits are obtained and does not authorize contravention of local setback requirements or zoning or building codes. This permit and public notice shall be posted on the site immediately upon issuance and shall remain posted along with local approval until the completion of any activity authorized by this permit. Other special conditions of this permit include:

Construction directly contacting marine turtle nesting habitat (i.e., the beach), such as dune walkover pilings, shall occur between date of permit issuance and April 30, 2025.
Construction access shall be from the upland. No storage of equipment on the beach is authorized.
Standard field permit conditions prevail.
No additions and/or modifications are authorized without approval.
No other structures or activities are included in this field permit.
No discharge of concrete or removal of sand seaward of the CCCL is authorized.
No lighting is authorized.

STANDARD PERMIT CONDITIONS: The permittee shall comply with the attached standard field permit conditions.

APPLICANT INFORMATION: I hereby certify that I am either: (1a) the owner of the subject property or (1b) I have the owner's consent to secure this permit on the owner's behalf; and that (2) I shall obtain any applicable licenses or permits which may be required by federal, state, county, or municipal law prior to commencement of the authorized work; (3) I acknowledge that the work is what I requested; and (4) I accept responsibility for compliance with all permit conditions.

Applicant's Signature Ricky D. Jones Date 12/11/2024 Telephone No. (850)-653-5143
Applicant's Printed Name Ricky D. Jones Address 33 Market Street, Suite 203, Apalachicola, FL 32320

If applicant is an agent:

Printed name of property owner *Property owner's address* *Property owner's telephone no.*

DEPARTMENT FINAL ACTION AND FILING AND ACKNOWLEDGMENT: This field permit is approved on behalf of the Department of Environmental Protection by the undersigned staff designee, and filed on this date, pursuant to section 120.52, F.S., with the undersigned designated Deputy Clerk, receipt of which is hereby acknowledged.

Staff Designee/Deputy Clerk *Printed Name of Designee/Deputy Clerk* *Date*

EXPIRATION DATE: 08/30/2025

(Emergency permits issued pursuant to Section 62B-33.014, F.A.C., are valid for no more than ninety days and other field permits are valid for no more than 12 months. The staff designee may specify a shorter time limit.)

EMERGENCY PERMIT: YES NO

Approved plans are attached: YES NO

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 Construction access shall be from the upland. No storage of equipment on the beach is authorized.
 Standard field permit conditions prevail.
 No additions and/or modifications are authorized without approval.
 No other structures or activities are included in this field permit.
 No discharge of concrete or removal of sand seaward of the CCCL is authorized.
 No lighting is authorized.

STANDARD PERMIT CONDITIONS: The permittee shall comply with the attached standard field permit conditions.

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Applicant's Signature _____ Date _____ Telephone No. (____) _____

Applicant's Printed Name _____ Address _____

If applicant is an agent:

_____/_____/_____
Printed name of property owner *Property owner's address* *Property owner's telephone no.*

DEPARTMENT FINAL ACTION AND FILING AND ACKNOWLEDGMENT: This field permit is approved on behalf of the Department of Environmental Protection by the undersigned staff designee, and filed on this date, pursuant to section 120.52, F.S., with the undersigned designated Deputy Clerk, receipt of which is hereby acknowledged.

Michael Carothers Digitally signed by Michael Carothers
Date: 2024.12.12 08:33:56 -05'00' / **Mike Carothers** / **12/12/2024**
Staff Designee/Deputy Clerk *Printed Name of Designee/Deputy Clerk* *Date*

EXPIRATION DATE: 08/30/2025

(Emergency permits issued pursuant to Section 62B-33.014, F.A.C., are valid for no more than ninety days and other field permits are valid for no more than 12 months. The staff designee may specify a shorter time limit.)

EMERGENCY PERMIT: YES NO

Approved plans are attached: YES NO

POST PERMIT AND PUBLIC NOTICE CONSPICUOUSLY ON THE SITE**PUBLIC NOTICE**

The foregoing constitutes final agency action. Any person whose substantial interests are affected by any decision made by the Department on the Field Permit has a right to request an administrative hearing in accordance with the provisions of Sections 120.569 and 120.57, F.S. The request for an administrative hearing must comply with the provisions of Rule 28-106.201, F.A.C., and must be received by the Department (at the address given below) within twenty-one (21) days from the date of this notice.

When the Department receives an adequate and timely filed request for hearing, the Department will request the assignment of an administrative law judge. Once the administrative law judge is requested, the Division of Administrative Hearings will have jurisdiction over the formal proceeding and the Department (as the referring agency) will take no further action with respect to the proceeding except as a party litigant.

Section 120.54(5)(b)4, F.S., and Rule 28-106.201(2), F.A.C., explain that the following items must be included in a petition for a formal administrative hearing

- (a) The name and address of each agency affected and each agency's file or identification number, if known;
- (b) The name, address, any e-mail address, any facsimile number, and telephone number of the petitioner, if the petitioner is not represented by an attorney or a qualified representative; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceedings; and an explanation of how the petitioner's substantial interests will be affected by the agency determination;
- (c) A statement of when and how the petitioner received notice of the agency decision;
- (d) A statement of all issues of material fact disputed by the petitioner, or a statement that there are no disputed facts;
- (e) A concise statement of the ultimate facts alleged, including a statement of the specific facts that the petitioner contends warrant reversal or modification of the Department's action;
- (f) A statement of the specific rules or statutes the petitioner contends require reversal or modification of the Department's action, including an explanation of how the alleged facts relate to the specific rules or statutes; and
- (g) A statement of the relief sought by the petitioner, stating precisely the action that the petitioner wants the Department to take with respect to its action.

A person may request an extension of time to petition for an administrative hearing. The person filing the request for extension must do so within the time limits for filing a petition described above. The request must state why an extension of time is needed. The Department will grant an extension only when good cause is shown.

If a petition or a request for time extension is filed, further order of the Department becomes necessary to effectuate this Field Permit. Accordingly, the Department's final action may be different from the position taken in this notice. Actions undertaken by any person under this permit, pending the lapse of time allowed for the filing of such a request for hearing, may be subject to modification, removal, or restoration.

Failure to petition within the allowed time frame constitutes waiver of any right that a person has to request a hearing under Section 120.57, F.S., and to participate as a party to the proceeding. If a legally sufficient petition for hearing is not timely received, this notice constitutes final agency action.

When this order becomes final and is filed with the Department Clerk, any party to the order has the right to seek judicial review under Section 120.57, F.S., and Rule 9.030(b)1(c) and 9.110, Florida Rules of Appellate Procedure. A notice of appeal must be filed within thirty (30) days with both the Department Clerk (see address below) and with the appropriate district court of appeal. The notice filed with the district court must be accompanied by the filing fee specified in Section 35.33(3), F.S. Any subsequent intervention will be only by the approval of the presiding officer on motion filed under Rules 28-5.207 or 60Q-2.010, F.A.C.

All requests for hearings are to be filed with the Department at the following address:

Florida Department of Environmental Protection
Office of General Counsel
Department Clerk
3900 Commonwealth Boulevard Mail Station 35
Tallahassee, Florida 32399-3000

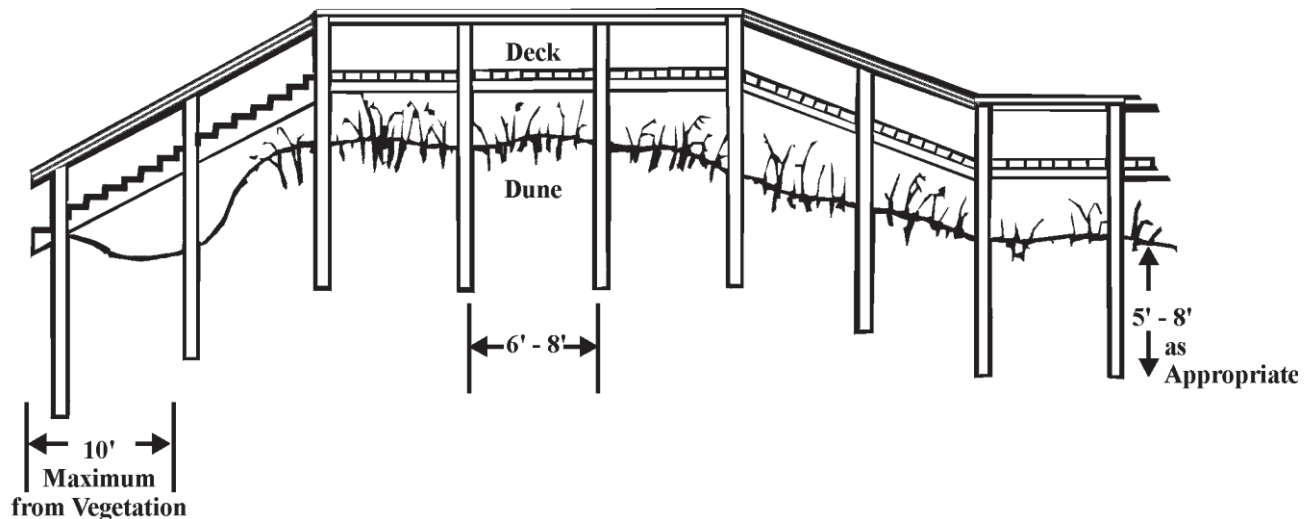


CCCL Dune Walkover Guidelines

On many of Florida's beaches, sand dunes and coastal vegetation provide significant protection to upland property, upland development, and the beach dune system. The Florida Department of Environmental Protection (DEP) encourages the design of beach access, including beach and dune walkovers, to protect the dune topography and dune vegetation from pedestrian traffic, allow for the natural recovery of damaged or eroded dunes and to not interfere with sea turtle nesting.

TYPICAL DUNE WALKOVER PROFILE

⇐ To the Beach



PERMIT REQUIREMENTS

A permit from DEP is required for construction of walkovers on most sandy beaches fronting on the open waters of the Atlantic Ocean or Gulf of Mexico. In areas where a Coastal Construction Control Line (CCCL) has been established pursuant to provisions of Section 161.053, Florida Statutes (F.S.), a permit is required for all excavation, construction, or other activities with the potential to cause beach erosion or damage coastal vegetation. On sandy shorelines where a CCCL line has not been established, a permit is required for construction activities within 50 feet of the mean high water line (see Section 161.052, F.S.).

Permits for walkovers contain standard conditions that require construction to be conducted in a manner that minimizes short-term disturbance to the dune system and existing vegetation. Replacing vegetation destroyed during construction with similar plants suitable for beach and dune stabilization is required. Only limited excavation for the placement of support posts is allowed, and walkovers cannot be constructed during the

marine turtle-nesting season, which extends May 1 through October 31 (except for Brevard through Dade counties, which extends March 1 through October 31).

GENERAL SITING GUIDELINES

The walkover must be located and designed to protect dune features, to minimize disturbance of native vegetation, to not obstruct lateral beach access and to minimize the amount of construction material that may become debris during a storm. Elevated walkovers are not required for all beach accesses, such as in sparsely vegetated, low profile dune areas where on-grade sand or shell paths are suitable for controlling foot traffic. Note that on-grade beach mats are considered to be structures that require CCCL permits. Walkovers are generally constructed over the frontal dune and perpendicular to the shoreline. Dune walkovers are designed to extend at least to the seaward toe of the frontal dune or the existing line of vegetation and are allowed no farther than 10 feet seaward of the vegetation. The optimum siting of the walkover structure can be determined by contacting a [CCCL field inspector](#).

GENERAL DESIGN GUIDELINES

Walkovers are designed to be minor, expendable structures that pose only minimal interference with coastal processes and generate minimal amounts of debris. Walkovers constructed across native beach and dune vegetation need to be post-supported and elevated a sufficient distance above the existing or proposed vegetation to allow for sand build-up and clearance above the vegetation. Stairways and ramps leading from the dune bluff or crest down to the beach need to completely span the seaward slope of the dune without installing posts into unstable slopes steeper than approximately 30 degrees. The structure must be designed to minimize the quantity of material used in construction, such as avoiding the use of vertical wood pickets, and reducing the length and width of construction on the beach.

Single family walkovers are not to exceed 4 feet in overall width and the support posts are not to be greater than 4-inch wide posts. Multi-family walkovers are not to exceed 6 feet in overall width and the support posts are not to be greater than 6-inch wide posts. Round posts are preferred to square posts. Support posts cannot be encased in concrete nor installed into dune slopes that are steeper than approximately 30 degrees. Support posts are to have a minimum 5 feet of soil penetration or embedment. Cross bracing is not required for most structures when following the designs in the document "*Beach/Dune Walkover Structures*," referenced at the end of this document. Local governments and property owners are advised to consult with a [CCCL Permit Manager](#) prior to requesting a permit for a walkover that contains switchbacks, long ramps or other features required to comply with the Americans with Disabilities Act Accessibility Guidelines.

WALKOVER ELEVATION GUIDELINES

Walkover heights vary as the structure crosses the beach/dune system. The ground cover changes from the uplands, commonly covered with woody scrub or coastal strand vegetation (saw palmetto/sea grape/scrub oaks), over a dune bluff or one or several dune crest(s), covered with either coastal strand or coastal grassland (sea oats/bitter panicum/marsh hay), down the slope to the dry sand beach, either uncovered bare escarpment or partially covered with beach/dune vegetation (railroad vine/sea rocket/sea oats). Design of the structure and height of the deck from the dune bluff or crest down to the beach also must be considered in setting the walkover elevation with the goal of minimizing the amount of material on the beach.

Walkover Elevations in Uplands. The upland environment of coastal scrub/coastal strand habitat is characterized by more stable soil conditions with less blowing sands and infrequent storm overwash events. The stable conditions allow for the development of a mature woody vegetation and saw palmetto dominated plant community. In addition to thick above ground stem and leaf vegetation between 5 and 15 feet in height,

this plant community has an extensive below ground woody root mat. Walkovers in these upland habitats need be elevated only a sufficient distance above the ground to avoid disturbance of the soil and root systems or cutting of low tree and palmetto trunks. An elevation of the stringers from 6" to 2'-0" above existing grade is expected to be sufficient in many cases. Walkover elevations crossing coastal wetlands within upland areas may require increased elevations. Elevation of the walkover above the leaf canopy is in most cases impractical in coastal scrub or coastal strand habitats where careful pruning needs to be limited to removal of only those aerial branches to create an open passage. Deck elevations need to be no higher than five feet above grade to provide clearance for vegetation, and the movement of sand, water and sea turtles underneath the structure.

Walkover Elevations over Bluffs. The low stringer elevation recommended for uplands can be carried to an eroded bluff line. This will reduce the length of a ramp or walkover down to the beach. Again the objective the walkover elevation is to reduce damage to coastal scrub soils and root systems.

Walkover Elevations over Dune Crests. Dune environments are characterized by mobile sands subject to storm effects (which lower grade elevations) and wind effects (which can raise elevation as sand is trapped). Dunes are dominated by coastal grassland plants adapted to the dynamic environment. These include sea oats, bitter panicum, and little bluestem. Walkovers sited within active dune systems are required to be elevated sufficiently to allow for sand movement and growth of vegetation. Walkover designs published in "Beach/Dune Walkover Structures" referenced below specify a 3'-10" minimum clearance from existing grade to the bottom of the stringers of an up to 6-foot wide (overall dimension) multi-family or public beach access structures, and a 3'-0" minimum clearance to the top of the deck for an up to 4-foot wide single family structures.

Walkover Elevations on Seaward Dune or Bluff Slopes. The elevation of the walkover at the dune crest and the distance of the seaward terminus from the water's edge determine the height of the steps or ramps crossing the seaward slope. The design objective is to get the structure down to the beach in as short a shore-normal (perpendicular to the shoreline) distance as possible while reducing the shore-parallel coverage of the slope. Department guidelines require that the seaward terminus of the structure be no farther seaward than 10 feet from the line of permanent beach dune vegetation or the toe of the frontal dune. Reducing the seaward encroachment and shore-parallel width decreases the potential for storms interacting with the structure, occupation of sea turtle nesting habitat by the structure, and interference with lateral public beach access. Walkovers designed for the Americans with Disabilities Act often increase the length of walkover ramps on the beach. This requires the need for a site specific review for environmental impacts. The burial of the ramp or step terminus a minimum amount (0.5 to 1.0 feet)-foot below grade may allow for use of the walkover after some lowering of the beach elevation from minor storms. However, placement of this terminus below the depth of a post storm beach profile is discouraged as this portion of the walkover will most likely have been damaged by larger storms and to have interfered with coastal processes.

On Grade Access. Elevated walkovers are not necessary in all site conditions and use situations. Where dune development is minimal, beach dune vegetation is sparse and the use infrequent, on-grade footpaths may be preferred. The Department discourages solid concrete walks and footpath surfaces such as stepping stones that create debris or missiles. Other surfaces such as geotextile fabrics, cabled wood planks, or shell require a case by case review. No permanent path surfaces are allowed farther seaward than 10-feet from the dune or vegetation line or within sea turtle nesting habitat.

ALIGNMENT

Wood Walkovers. Elevated wood walkovers designed for reducing erosion of high dunes are recommended to be aligned perpendicular to the shore to reduce the shore-parallel extent of structure subject to wave attack and the amount of material used in construction.

On Grade Access. Sand paths, beach mats and low elevation walkovers crossing low dune systems subject to more frequent flooding are recommended to be layed out at an angle to the dune and shoreline. Diagonal access routes to the beach provide less of a direct path for storm waves to travel inland, may have a “self-healing” function that fills in during storm events, and are expected to provide a less direct route for ebb surge waters to scour channels as the storm’s floodwaters return toward the ocean.

WALKOVER LIGHTING GUIDELINES

Elevated Walkovers. Lights are generally prohibited on dune walkovers or elevated boardwalks and may only be considered under the following conditions: the lighting is required for purposes of building code compliance; light fixtures must be located landward of the frontal or primary dune, whichever is further landward; lighting must be long wavelength, downward directed, full cutoff and fully shielded and cannot be directly, indirectly, or cumulatively visible from the beach.

Beach Access Points. Lighting of beach access routes may be located and configured only for the minimal illumination of pedestrian paths landward of the beach and frontal dunes. All lighting of beach access points must be long wavelength, downward directed, full cutoff and fully shielded and cannot be directly, indirectly, or cumulatively visible from the beach.

OTHER CONSTRUCTION

Decks and Platforms. Decks and platforms are not allowed on the frontal dune and may be attached to the walkover in the dune system if landward of the frontal dune crest and cantilevered from an elevated, post supported walkover otherwise following these guidelines. Landward of the dune or bluff, cantilevered decks can have a maximum two-foot cantilever on each side of a single family walkover for a maximum 8-foot wide deck as measured in the shore-parallel dimension.

Roofs. Roofs and other permanent coverings are generally prohibited on walkovers or attached decks and platforms except where gazebos and other non-beach access related structures are allowable landward of the dune system.

Showers and Waterlines. Pipes and fixtures for showers, footbaths or fish cleaning stations may be run to the landward extent of the walkover, not out onto the beach or frontal dune. Water systems are recommended to include shut off valves in the uplands that can prevent uncontrolled discharges which can erode the beach or dune sand or flood sea turtle nests.

Railings. As minor, frangible or breakaway structures, dune walkovers are to be designed with the minimum amount of wood and other solid material needed to provide access through the dune system. Open railings instead of pickets and use of cables or other materials to prevent falls as required by building code for safety can minimize the amount of materials placed in the dune system that may become debris or missiles in storm events.

REFERENCES

Beach/Dune Walkover Structures, SUSF-SG-76 by Todd L. Walton, Jr., and Thomas C. Skinner. Published by the Marine Advisory Program of the Florida Cooperative Extension Service and the Florida Sea Grant, March, 1983.

Coastal Construction Manual, Volume III: Principles and Practices of Planning, Siting, Designing, Constructing, and Maintaining Buildings in Coastal Areas, Appendix I, Dune Walkover Guidance. FEMA.



CCCL Post and Rope Guidelines

The state of Florida requires permits for post and rope barriers and other structures or activities seaward of the coastal construction control line (CCCL) under section 161.053, Florida Statutes, of the Beach and Shore Preservation Act and the CCCL Rule Chapter 62B-33, Florida Administrative Code (F.A.C).



Figure 1: Post and rope fence constructed to state of Florida CCCL specifications. This pedestrian barrier rerouted foot traffic that was trampling newly installed beach dune plants and creating footpaths through the dune. **Post and rope barriers are not to be run out onto the sandy beach and block lateral beach access.**

General Post and Rope Requirements

- A permit from the Department of Environmental Protection (DEP) is required prior to the installation of any post and rope structure or series of upright posts connected with line and serving as a barrier or fence seaward of a CCCL. Go to www.FloridaDEP.gov/CCCL for permit assistance and to learn [How to determine if your property is seaward of the CCCL using 'Map Direct'](#).
- Applicants for CCCL permits to install post and rope structures must own or control the property on which the structure is placed or have the property owner's approval to place the structure.
- Post and rope structures are installed immediately adjacent to dune vegetation in locations where they are expected to be both effective as pedestrian barriers and to meet CCCL regulatory requirements. Installation in these structures must be as far landward as practicable and follow the Sea Turtle Protection Measures contained within these guidelines.
- Post and rope must be of low impact, breakaway construction and use biodegradable materials when possible. Posts are recommended to be small diameter (3-inch to 4-inch), round, untreated wood poles embedded in sand a minimum of 2-feet (ft.) deep. Posts shall not be encased in concrete.
- Structures are to be installed in a way that does not alter dune topography, damage beach-dune vegetation, drive vehicles or other equipment across dunes, disturb marked sea turtle nests or known nest locations, obstruct public beach access (both to and along the beach) or damage adjacent properties. No trespass is authorized.
- Disturbance of the beach or dune ground surface caused during construction must be smoothed out to pre-project conditions. Native dune plants damaged during construction must be replaced and approved by DEP. Damaged post and rope structures must be repaired or removed.

*coastal construction questions? email cccl@dep.state.fl.us, call 850/245-2094
or look up a CCCL field inspector at www.FloridaDEP.gov/CCCL*

CCCL Post and Rope Guidelines (p. 2)

Sea Turtle Protection Measures

The Florida Fish and Wildlife Conservation Commission (FWC), Imperiled Species Management Section specifies sea turtle protection measures for post and rope permits issued by DEP and offers helpful sea turtle conservation information at <https://myfwc.com/wildlifehabitats/wildlife/sea-turtle/>. FWC staff provide consultation and specific sea turtle protection measures for DEP coastal construction permits for coastal construction projects.

CCCL post and rope permits are conditioned to provide the following sea turtle protection measures in addition to the standard permit conditions contained in coastal construction rule 62B-33.0155, F.A.C.:

- Construction activities within sea turtle nesting habitat, including the entire sandy beach and frontal dune, must be minimized. Impacts to nesting habitat can be minimized by only installing post and rope barriers along pedestrian paths through the dunes and using signs to reduce foot traffic across the dune.
- Structures must be located as far landward on the sea turtle nesting beach as is possible. No posts are to be installed closer than 5 ft. to a seawall, revetment or dune scarp to avoid trapping nesting sea turtles between the post and the upland structure.
- Post and rope structures located on or seaward of a frontal dune or seaward of a seawall are to be arranged as follows and described in the Figure 2 diagram:
 - Posts must be spaced at least 7 ft. apart.
 - Ropes between posts must be tight and droop no closer than 3 feet above the ground.
- Operating, transporting or storing equipment or materials is not allowed seaward of a frontal dune or rigid coastal structure during sea turtle nesting season. In Brevard, Indian River, St. Lucie, Martin, Palm Beach and Broward counties the sea turtle nesting season is March 1 through October 31. In all other counties, the sea turtle nesting season is May 1 through October 31.

FWC staff can assist with conservation measures for other coastal wildlife, such as gopher tortoises, beach nesting shorebirds and beach mice potentially affected by post and rope installation projects. Contact FWC sea turtle program staff at 850/922-4330 or marineturtle@myfwc.com.

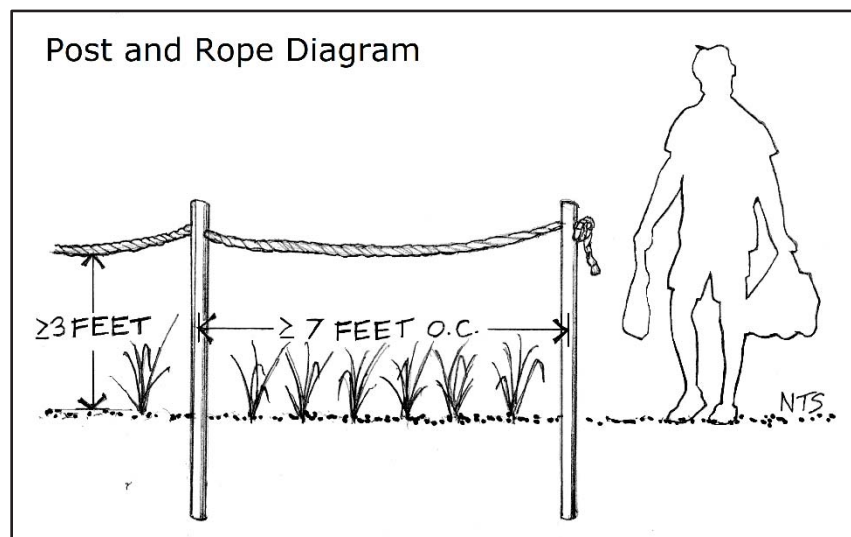


Figure 2: Post and rope fence diagram. Small diameter untreated wood posts are to be installed a minimum of 7-ft. apart and the rope or line strung tight between posts so that the sag in the line is at least 36-inches above the ground. Wood posts are embedded a minimum of 2-feet into the sand and not encased in concrete.

FIELD PERMIT CONDITIONS

The following conditions shall apply to **FIELD PERMITS** (unless waived by DEP or modified by special permit condition). In the event of a conflict between a field permit condition and a special permit condition, the special condition shall prevail.

- 1) The permittee shall carry out the construction or activity for which the permit was granted in accordance with the plans and specifications that were approved by DEP as part of the permit. Any deviation there from shall be grounds for suspension of the work and revocation of the permit pursuant to Section 120.60(7), F.S., and may result in assessment of civil fines or issuance of an order to alter or remove the unauthorized structure, or both. No other construction or activities shall be conducted. No modifications to project size, location, or structural design are authorized. A copy of the permit shall be conspicuously displayed at the project site.
- 2) The permittee shall conduct the construction or activity authorized under the permit using extreme care to prevent any adverse impacts to the beach and dune system, marine turtles and their nests and habitats, or adjacent property and structures.
- 3) The permittee shall allow any duly authorized member of the staff to enter upon the premises associated with the project authorized by the permit for the purpose of ascertaining compliance with the terms of the permit and with the rules of DEP, until all construction or activities authorized or required in the permit have been completed and the project accepted by DEP.
- 4) The permittee shall hold and save the State of Florida, DEP, its officers and employees, harmless from any damage (no matter how occasioned and no matter what the amount) to persons or property that might result from the construction or activity authorized under the permit and from any and all claims and judgments resulting from such damage.
- 5) The permittee shall allow DEP to use all submitted records, notes, monitoring data, and other information relating to construction or any activity under the permit for any purpose it may deem necessary or convenient, except where such use is otherwise specifically forbidden by law.
- 6) Construction traffic shall not operate and building materials shall not be stored on vegetated areas seaward of the control line, unless specifically authorized by the permit. If (in the opinion of DEP staff) this requirement is not being met, positive control measures shall be provided by the permittee at the direction of DEP staff. Such measures may include temporary fencing, designated access roads, adjustment of construction sequence, or other requirements.
- 7) The permittee shall not disturb existing beach and dune topography and vegetation except as expressly authorized in the permit. Before the project is considered complete, any disturbed topography or vegetation shall be restored (as prescribed in the permit) with suitable fill material or revegetated with appropriate beach and dune vegetation.
- 8) The fill material shall be obtained from a source landward of the control line and shall consist of sand which is similar to that already on the site in both grain size and coloration. This fill material shall be free of construction debris, rocks, or other foreign matter. A sample of the sand shall be provided to the staff representative of the Bureau of Beaches and Coastal Systems during the preconstruction conference.
- 9) If surplus sand fill results from any approved excavation seaward of the CCCL, such material shall be distributed seaward of the CCCL on the site, as directed by DEP staff (unless otherwise specifically authorized by the permit).
- 10) Any native salt-resistant vegetation destroyed during construction shall be replaced with plants of the same species or, by authorization of DEP, with other native salt-resistant vegetation suitable for beach and dune stabilization. Unless otherwise specifically authorized by the staff, all plants installed in beach and coastal areas (whether to replace vegetation displaced, damaged, or destroyed during construction or otherwise) shall be of species indigenous to Florida beaches and dunes (i.e., sea oats, sea grape, saw palmetto, panic grass, salt meadow hay cord grass, seashore salt grass, and railroad vine).
- 11) All topographic restoration and revegetation work is subject to approval and acceptance by DEP staff.
- 12) If not specifically authorized elsewhere in this permit, no operation, transportation, or storage of equipment or materials is authorized seaward of the dune crest or rigid coastal structure during the marine turtle-nesting season. The marine turtle-nesting season is May 1 through October 31 in all counties (except Brevard, Indian River, St. Lucie, Martin, Palm Beach and Broward counties where marine turtle nesting occurs during the period of March 1 through October 31).
- 13) If not specifically authorized elsewhere in this permit, no temporary lighting of the construction area is authorized at any time during the marine turtle-nesting season and no additional permanent exterior lighting is authorized.
- 14) This permit has been issued to a specified property owner and is not valid for any other person.

APPENDIX "B"

Construction Drawings and Technical Specifications
For Bidding Only

THE SKETCHES ARE FOR BIDDING PURPOSES ONLY AND NOT FOR CONSTRUCTION

Construction Drawings and Technical Specifications

6th Street West Dune Walkover

Section 29, Township 9 S, Range 6 W
 Franklin County, Florida
 Lat 29°39'25.47" N, Long 84°52'29.67" W

APPLICANT NAME AND ADDRESS



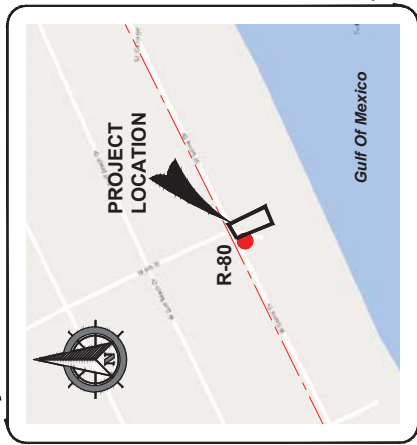
Franklin County Board of County Commissioners
 c/o Mr. Ricky Jones, Chairman
 33 Market Street, Suite 305
 Apalachicola, Florida, 32320

INDEX OF SHEETS

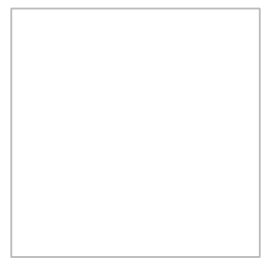
SHEET NO.	DESCRIPTION
1	..... Cover and Index of Sheets
2	..... Existing Conditions and Demolition Plan
3	..... Site Plan
4	..... Cross Sections
5	..... Cross Sections along walkover edges
6	..... Timber Plan and Cross Sections
7	..... Typical Details
8	..... Typical Details
9	..... Typical Details
10	..... Typical Details
11	..... Technical Specifications
12	..... Technical Specifications
13	..... Technical Specifications



Location Map
N.T.S.



LOCATION MAP
SCALE: 1" = 500'



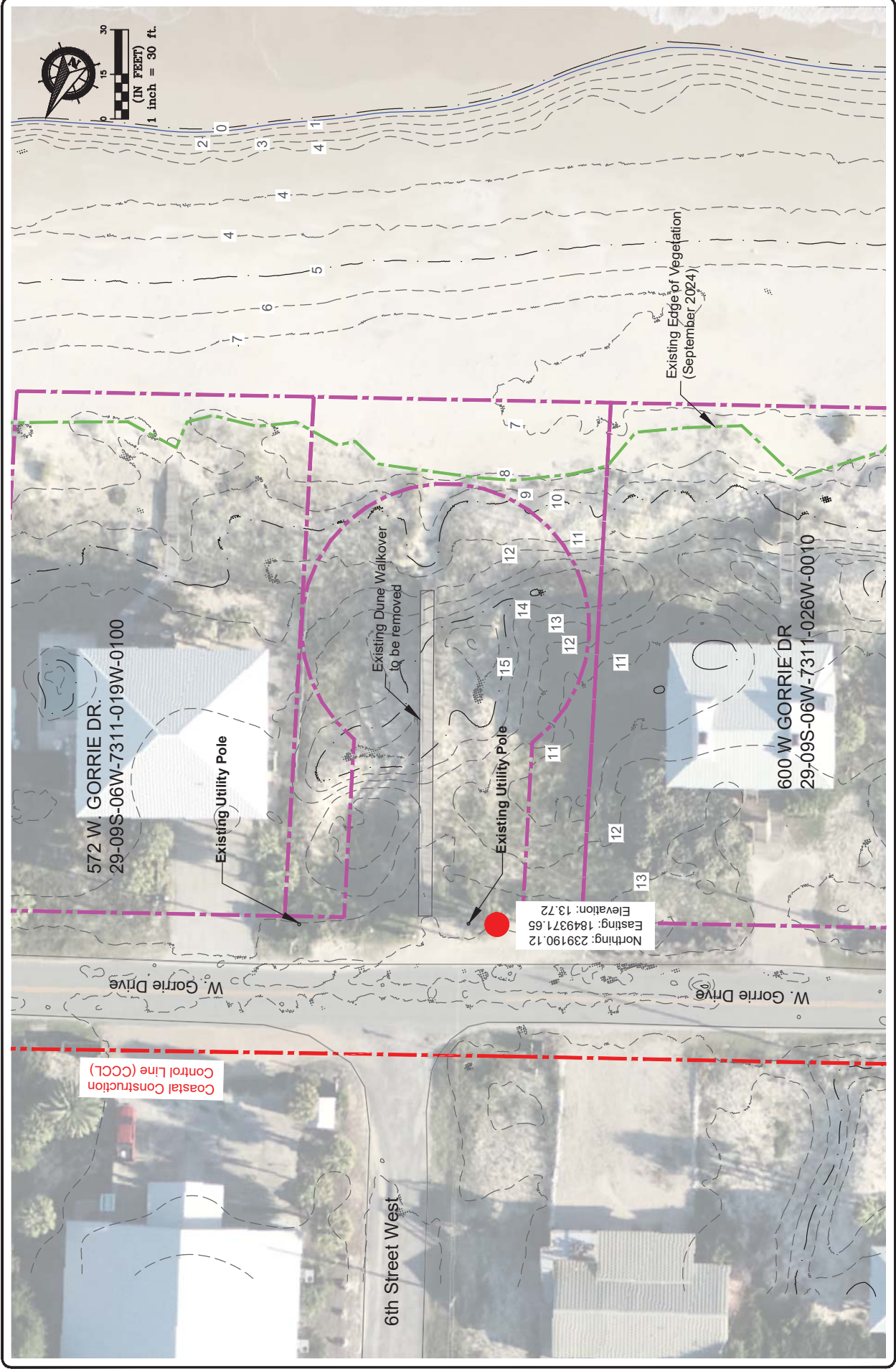
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY:
 YUBERT Y. BACON, P.E. NO. 97026 ON 11/26/2024.
 PRINTED COPIES OF THIS DOCUMENT ARE NOT
 VALID UNLESS THEY ARE SIGNED AND SEALED AND THE SIGNATURE
 MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

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COVER SHEET AND INDEX OF SHEETS
 6th Street West Dune Walkover
 Franklin County Board of Commissioners
 33 Market Street, Suite 305, Apalachicola, Florida, 32320

Yubert Y. Bacon, P.E.
 Florida P.E. Number 97026
 Date: November 11, 2024
 Sheet Rev Date:
 PROJECT NUMBER
 SHEET NUMBER
 24-495-007
 1

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EXISTING CONDITIONS AND DEMOLITION PLAN
6th Street West Dune Walkover

Franklin County Board of Commissioners
33 Market Street, Suite 305, Apalachicola, Florida, 32320

Yubert Y. Bacon, P.E.
Florida P.E. Number 97026

Date: November 11, 2024
Sheet Rev Date:
PROJECT NUMBER: 24-495.007
SHEET NUMBER: 2

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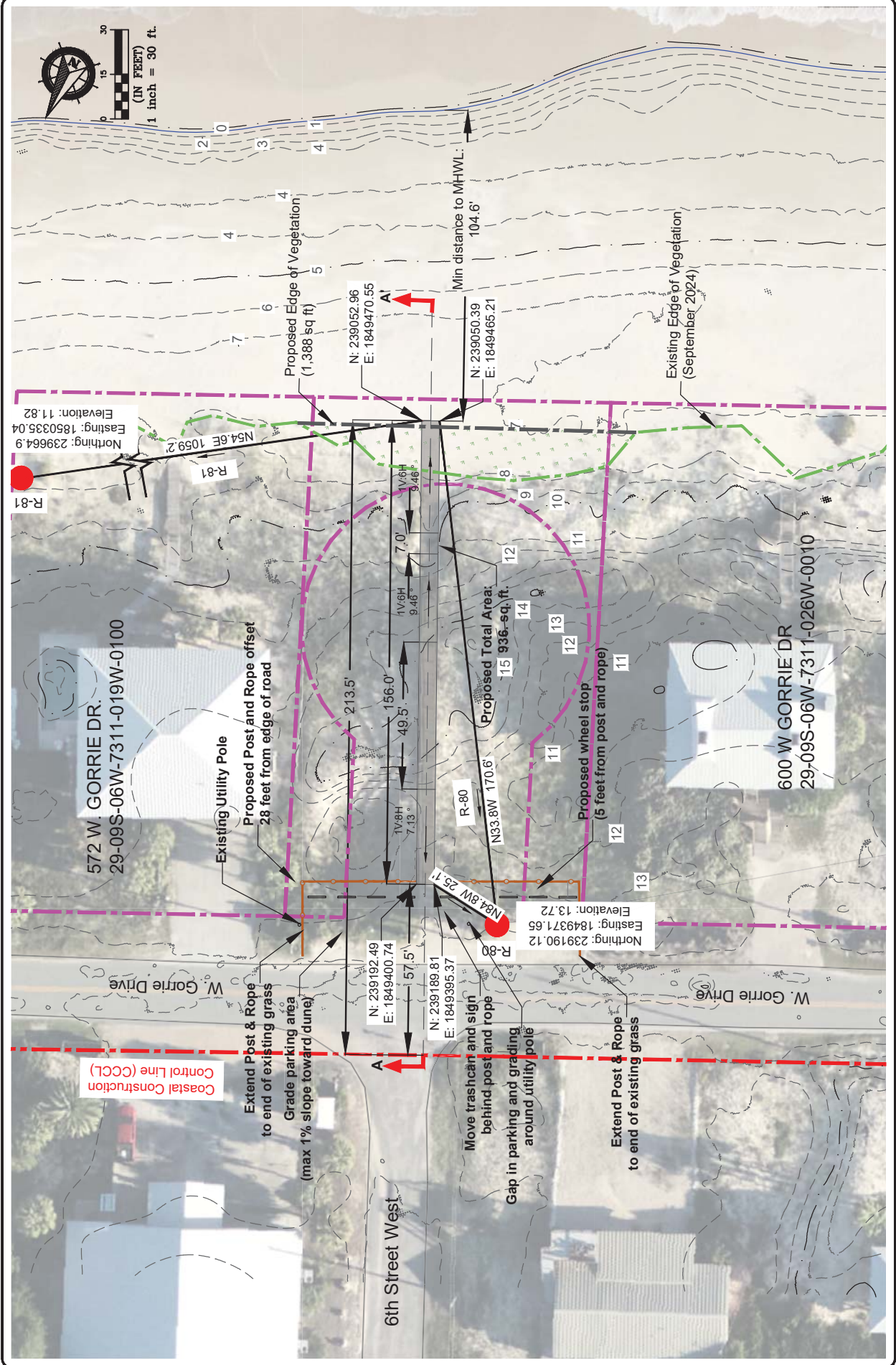


March, March & West Associates Engineering

SITE PLAN
 6th Street West Dune Walkover

Franklin County Board of Commissioners
 33 Market Street, Suite 305, Apalachicola, Florida, 32320

Yubert Y. Bacon, P.E.
 Florida P.E. Number 97026
 Date: November 11, 2024
 Sheet Rev Date:
 PROJECT NUMBER: 24-495.007
 SHEET NUMBER: 3

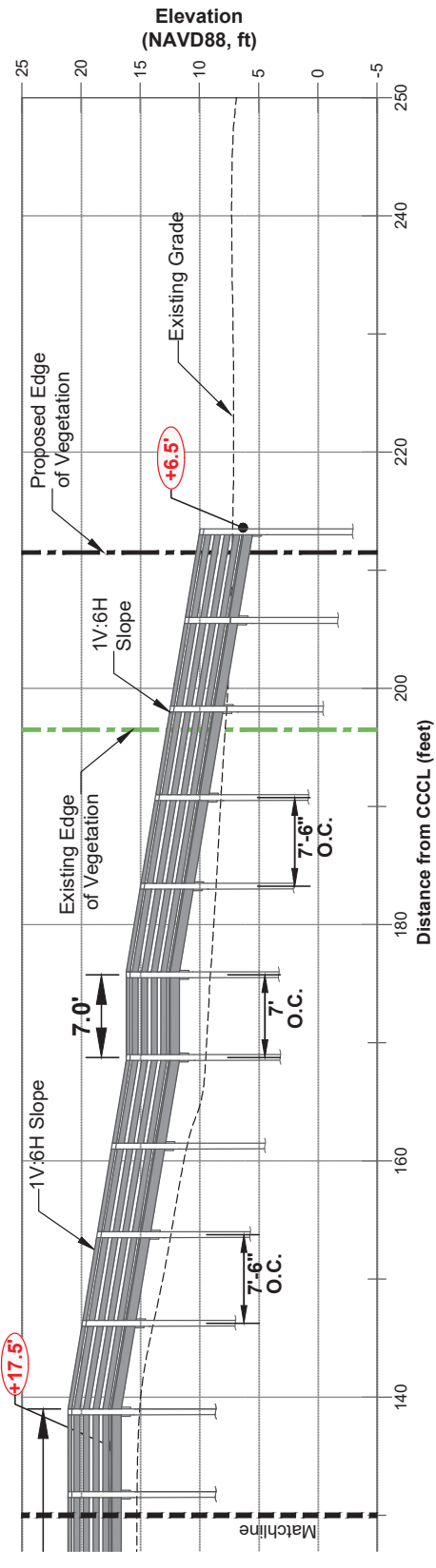
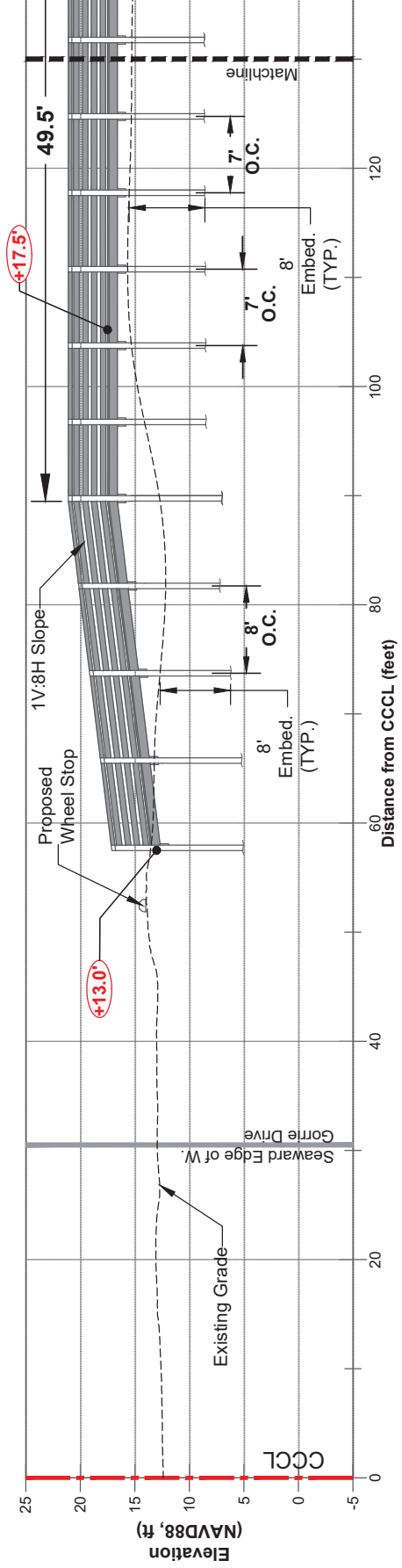


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CROSS SECTIONS
 6th Street West Dune Walkover
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 33 Market Street, Suite 305, Apalachicola, Florida, 32320

Yubert Y. Bacon, P.E.
 Florida P.E. Number 97026
 Date: November 11, 2024
 Sheet Rev. Date:
 PROJECT NUMBER: 24-495.007
 SHEET NUMBER: 4



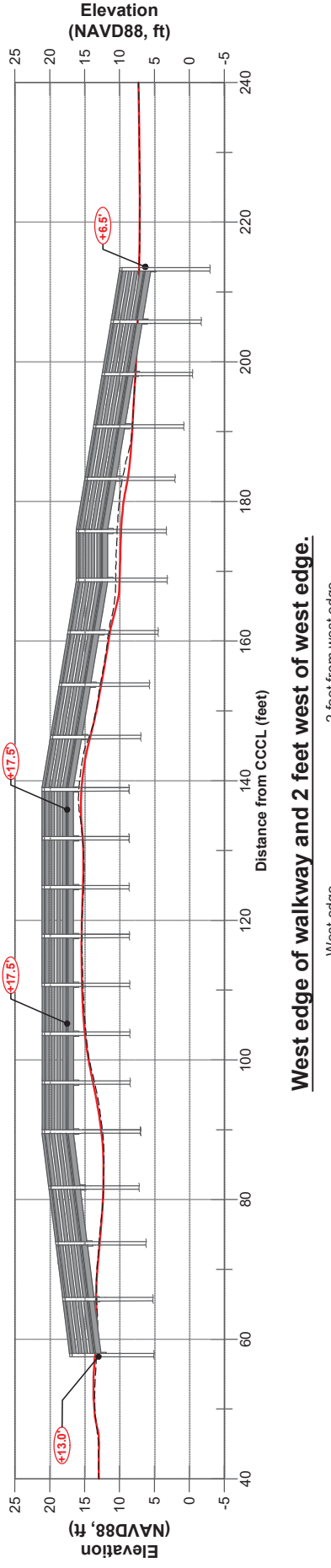
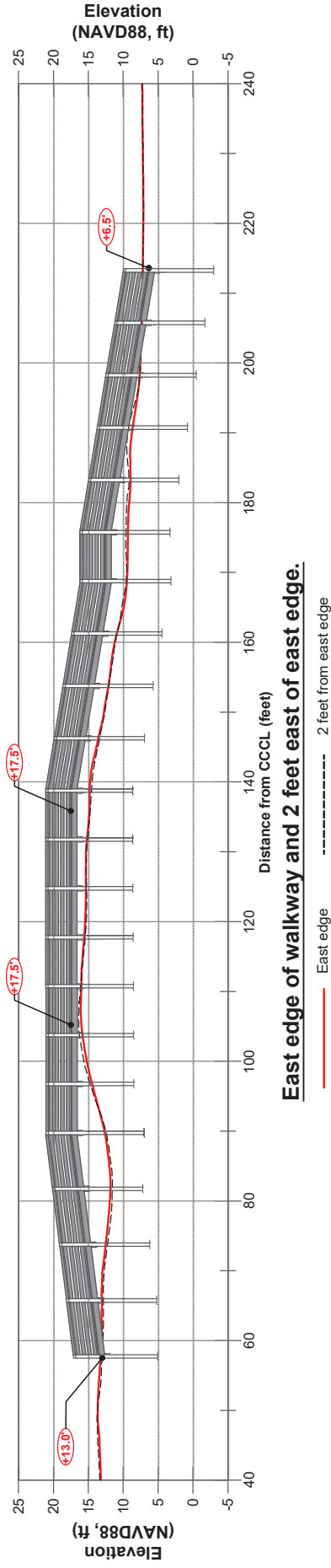
SECTION A-A' (continued)
 1" = 10'

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CROSS SECTIONS ALONG WALKOVER EDGES
 6th Street West Dune Walkover
 Franklin County Board of Commissioners
 33 Market Street, Suite 305, Apalachicola, Florida, 32320

Yubert Y. Bacon, P.E.
 Florida P.E. Number 97026
 Date: November 11, 2024
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 PROJECT NUMBER: 24-495.007
 SHEET NUMBER: 5



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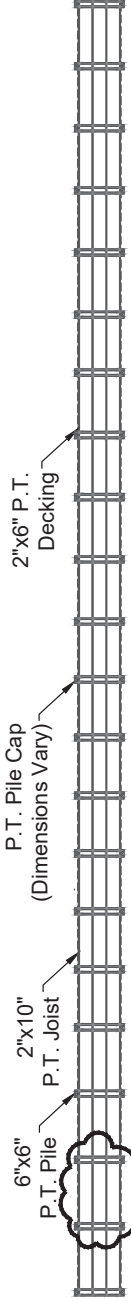
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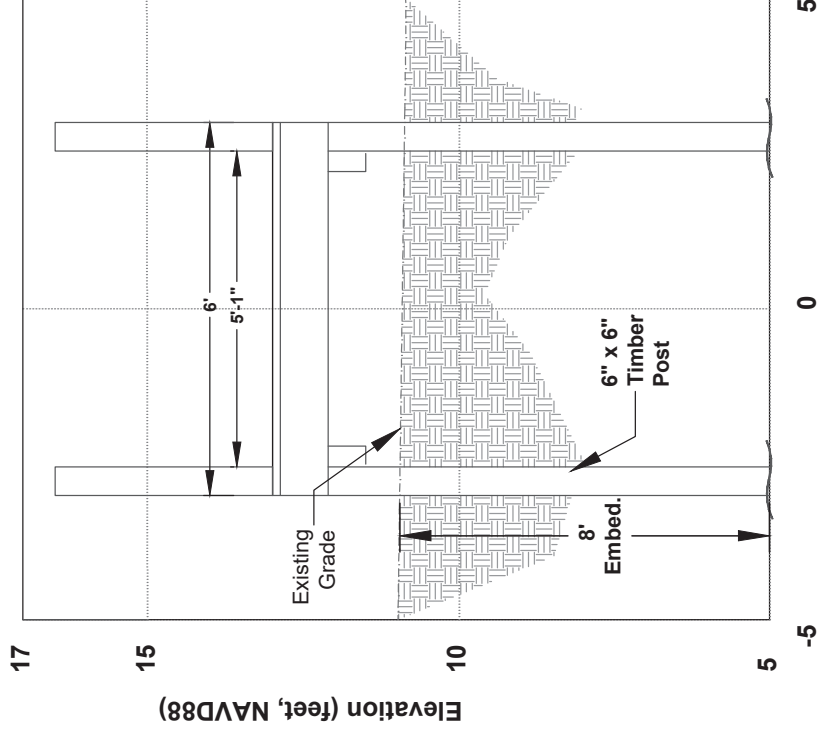
TIMBER PLAN AND CROSS SECTION
 6th Street West Dune Walkover

Yubert Y. Bacon, P.E.
 Florida P.E. Number 97026
 Date: November 11, 2024
 Sheet Rev Date:
 PROJECT NUMBER 24-495.007
 SHEET NUMBER 6



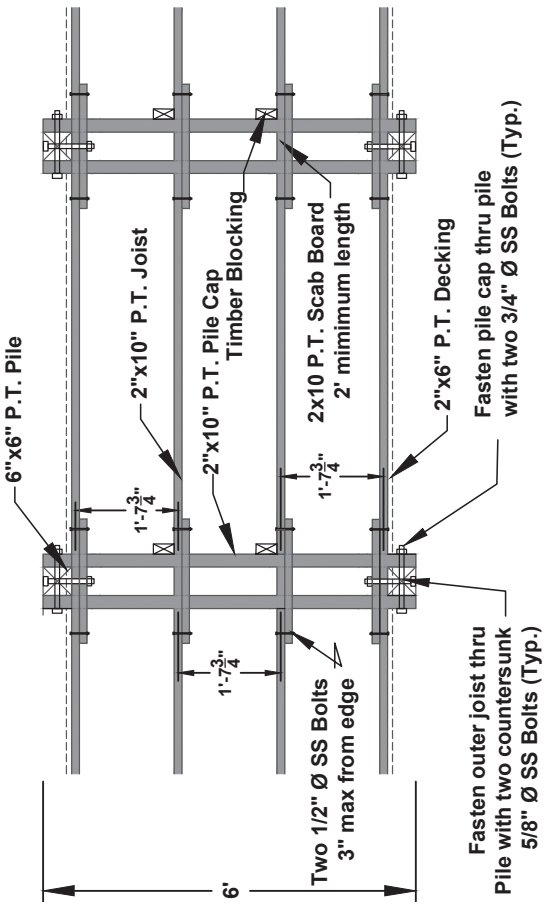
Timber Plan Detail

TIMBER PLAN
 1" = 15'



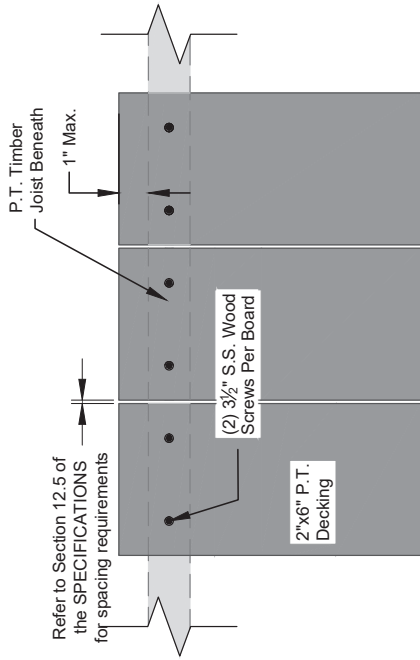
Distance in Feet from Centerline of Walkover

TYPICAL CROSS SECTION
 1" = 2'



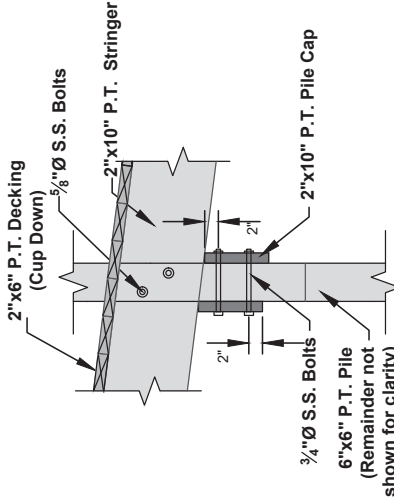
TIMBER PLAN DETAIL
 1" = 2'

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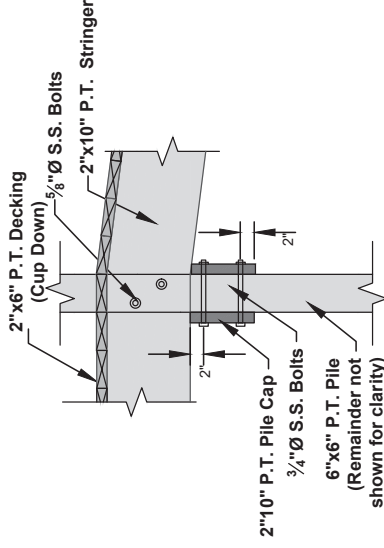
DECKING DETAIL - PLAN VIEW

NOT TO SCALE



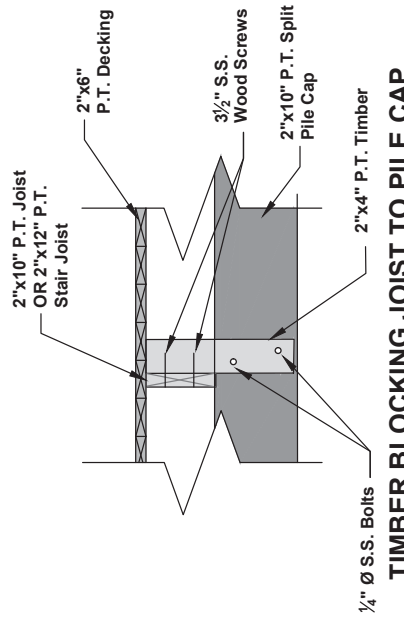
TYPICAL CONNECTION - MIDDLE OF RAMP

NOT TO SCALE



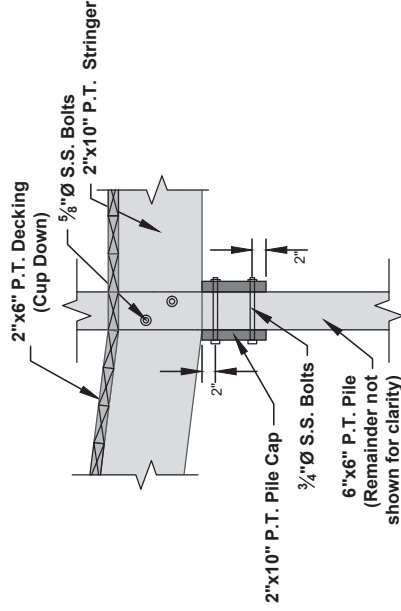
TYPICAL CONNECTION - TOP OF RAMP

NOT TO SCALE



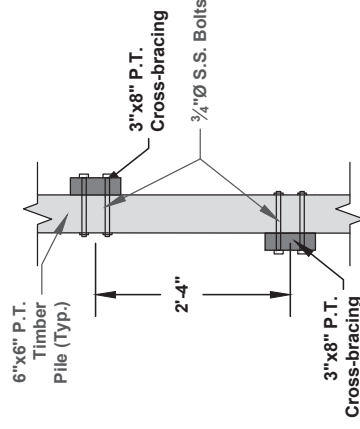
TIMBER BLOCKING JOIST TO PILE CAP CONNECTION - ELEVATION VIEW

NOT TO SCALE



TYPICAL CONNECTION - BOTTOM OF RAMP

NOT TO SCALE



TYPICAL CONNECTION - CROSS BRACING

NOT TO SCALE

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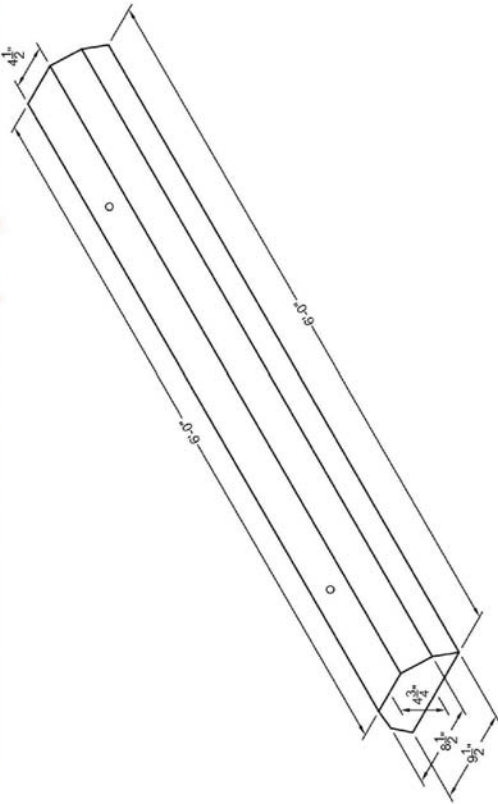
TYPICAL DETAILS
 6th Street West Dune Walkover
 Franklin County Board of Commissioners
 33 Market Street, Suite 305, Apalachicola, Florida, 32320

Yubert Y. Bacon, P.E.
 Florida P.E. Number 77026
 Date: November 11, 2024
 Sheet Rev. Number: 8
 PROJECT NUMBER: 24-495-007

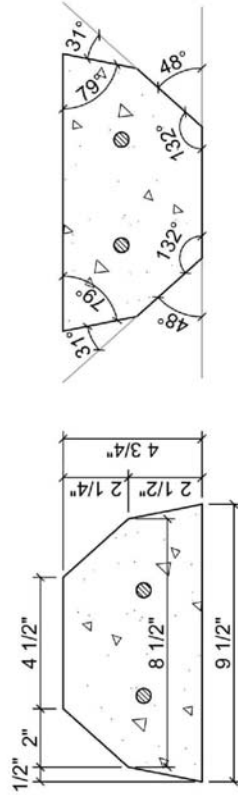
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Concrete Wheel Stop Spec Sheet



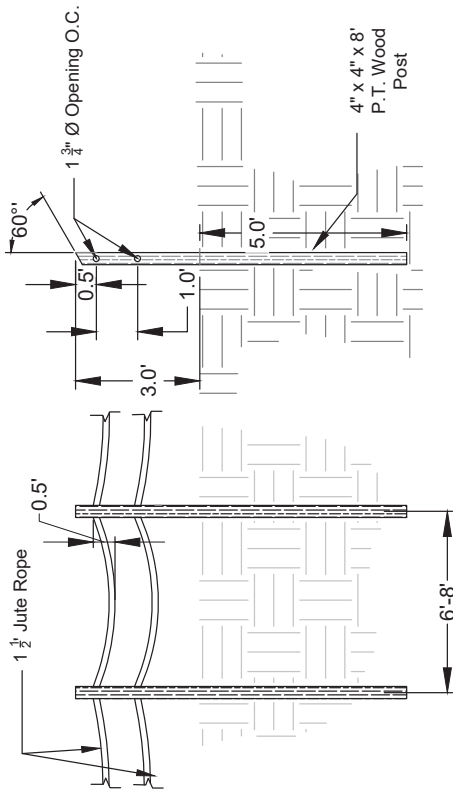
1 WHEEL STOP OVERALL DIMENSIONS
Scale: 1" = 1'-0"



2 WHEEL STOP GEOMETRICAL DETAILS
Scale: 3" = 1'-0"

TYPICAL WHEEL STOP

NOT TO SCALE



TYPICAL POST & ROPE FENCE

NOT TO SCALE

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Yubert Y. Bacon, P.E.
Florida P.E. Number 97026
Date: November 11, 2024
Sheet Rev Date:
PROJECT NUMBER: 24-495.007
SHEET NUMBER: 9

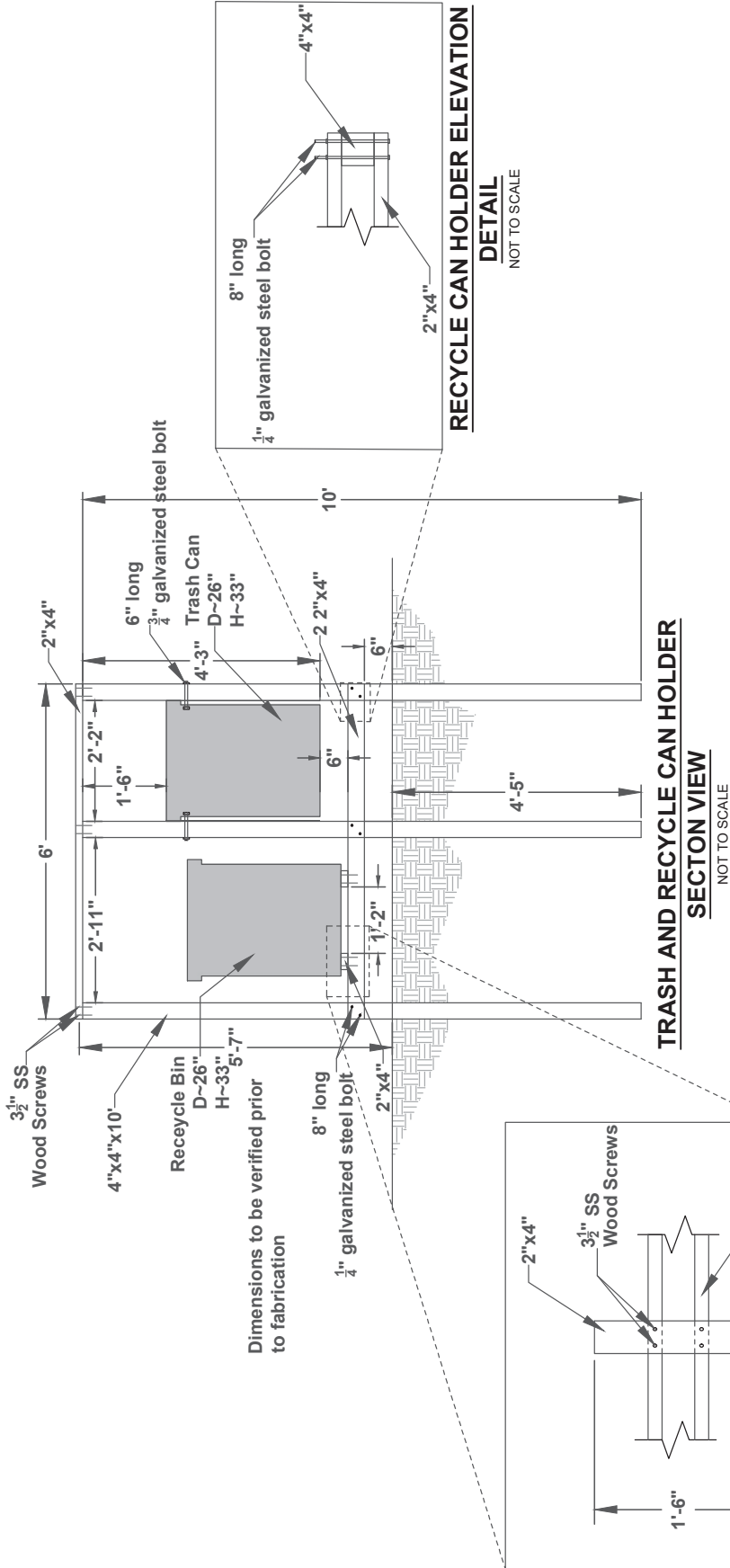
TYPICAL DETAILS
6th Street West Dune Walkover

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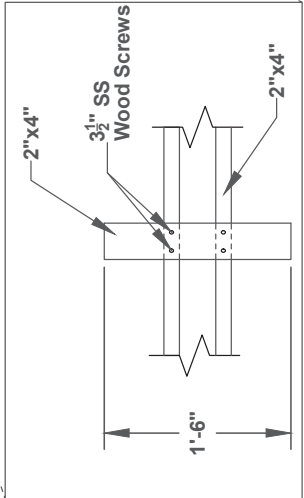
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TYPICAL DETAILS
 6th Street West Dune Walkover
 Franklin County Board of Commissioners
 33 Market Street, Suite 305, Apalachicola, Florida, 32320

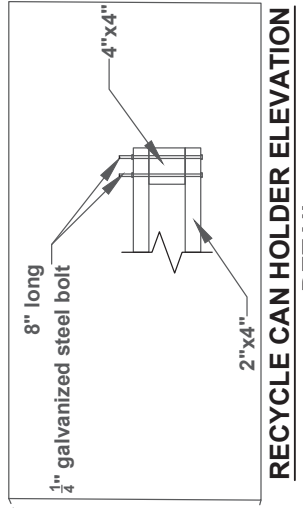
Yubert Y. Bacon, P.E.
 Florida P.E. Number 97026
 Date: November 11, 2024
 Project Number: 24-495.007
 Sheet Number: 10



TRASH AND RECYCLE CAN HOLDER SECTION VIEW
 NOT TO SCALE



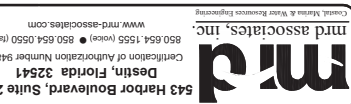
RECYCLE CAN HOLDER ELEVATION DETAIL
 NOT TO SCALE



RECYCLE CAN HOLDER ELEVATION DETAIL
 NOT TO SCALE

THE SKETCHES ARE FOR BIDDING PURPOSES ONLY AND NOT FOR CONSTRUCTION

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3300 Main St. Ft. Walton Beach, Florida



Franklin County Board of Commissioners
33 Market Street, Suite 305, Apalachicola, Florida, 32320
6th Street West June Walker
TECHNICAL SPECIFICATIONS

Yubert Y. Bacon, P.E.
Florida P. Number 97026
Date: November 11, 2024
Sheet Number
11
24-495.007

1.0. SCOPE
The Work consists of furnishing all labor, equipment, and materials, and performing all operations in connection with construction of the features as described in these Construction Drawings and Technical Specifications.

2.0. GENERAL NOTES
1) These Construction Drawings and Technical Specifications are not valid for construction without being signed and sealed by a Registered Professional Engineer licensed in the State of Florida.
2) Signed and sealed - refers to a signed and sealed document of a Registered Professional Engineer or Surveyor (as appropriate for the type of Work) licensed in the State of Florida.
3) The Contractor is responsible for and shall verify all quantities, measurements, conditions, plans and drawings PRIOR to submission of bid.
4) The Work consists of furnishing all labor, equipment, and materials (except where indicated) and performing all operations in connection with the construction of the Project as described and inclusive in these Construction Drawings and Technical Specifications (also referred to Drawings and Specifications).
5) Prior to mobilization to the site, a Pre-Construction Conference between the Contractor, Engineer, and Owner shall meet to verify construction access and staging locations, design details, and methods of construction.
6) Construction Drawings and Technical Specifications are all inclusive.
7) Engineer - unless clearly stated or implied otherwise, Engineer shall mean the Owner's designated representative. The Engineer shall have the final say in the interpretation of these Drawings and Specifications.

3.0. INDEMNIFICATION REQUIREMENTS
The Contractor shall indemnify and hold harmless the Owner and Engineer and their respective representatives, agents, and employees, in both individual and official capacities, against all lawsuits, claims, damages, losses and expenses, including attorney fees, caused by, resulting from, and/or incidental to the performance of the Work under the full extent as allowed by the laws of the State of Florida and not beyond any extent which would render these provisions void or unenforceable. In the event of any such injury, death, loss, or damage, or claims thereof, the Contractor shall give prompt notice to the Owner and the Engineer.

4.0. SITE PROTECTION
During construction operations, the Contractor shall assume responsibility for protecting the site as well as any existing structures in the vicinity of active construction operations not specifically identified to be demolished, removed, or modified. This includes existing and new structures, utilities, environmental resources, lands, existing topographic and site features that are not identified to be removed, repaired, or replaced will remain intact and undamaged during construction activities. The Contractor shall not remove, cut, deface, injure or destroy land resources including vegetation, trees, shrubs, vines, grasses, topsoil and landforms.
Repair of site features (including vegetation) or structures damaged during the construction period shall be at the Contractor's expense and to the satisfaction of the Engineer. Any debris materials encountered resulting from construction shall be transported offsite, and the Contractor shall take responsibility for appropriately disposing of these materials.

5.0. UTILITIES
The Contractor shall take full responsibility for works in the vicinity of existing utility lines. The Contractor shall verify and coordinate the location of all existing utilities a minimum of 48 hours before commencing construction in an area. The Contractor shall have all existing buried utilities "Line Spotted" by calling 811 or 1.800.432.4770 (CALL SUNSHINE). Other utilities may exist within the project area which shall be identified and located.

6.0. CONSTRUCTION SURVEY AND STAKING
The Contractor shall be responsible for establishing adequate control points and elevations and be responsible for construction layout in accordance with the permits, and these Drawings and Specifications. The Contractor shall retain a professional land Surveyor licensed in the State of Florida. All benchmarks, control points, monuments and elevations shall be maintained and protected throughout the duration of the construction of the Project.

7.0. PERMITS
All Work shall conform to the Drawings and Specifications, and approved permits. The Contractor and sub-Contractors shall abide by all conditions in the permits and authorizations. In the case of conflict with these Specifications, the permits shall govern. If the Contractor violates any condition of the permits and Work is stopped and/or fines are levied by the State of Florida, federal government, or any other public entity, then any additional costs incurred shall be paid by the Contractor and not charged to the Owner. The Contractor shall post at the Project site all permit placards and comply with all terms of the permits pertaining to the performance of the Work.

8.0. REFERENCE CODES AND STANDARDS
Standards listed by reference, including revisions by issuing authority, form a part of these Specifications to the extent indicated. Standards listed are identified by issuing authority, authority abbreviation, designation number, title, or other designation established by issuing authority. Standards subsequently referenced herein are referred to by issuing authority abbreviation and standard designation. In case of conflict, the requirement in these Specification shall prevail. Other codes and standards not listed herein may apply and are required to be adhered to. The latest publication as of the issue of this specification shall govern, unless indicated otherwise.
1) Book of Standards of the American Wood-Preservers Association (AWPA).
2) Florida Building Code and any municipal building codes.
3) SPIB Standard Grading Rules for Southern Pine Lumber, current recent.
4) ANSI B18.2 - Square/Hex Bolts/Screws Including Hex Cap Screws/Lag Screws.
5) ASTM A123 - Standard Specification for Zinc (Hot-Dip Galvanized) Coatings on Iron and Steel Products.
6) ASTM A153 - Zinc Coating (Hot Dip) on Iron and Steel Hardware.
7) ASTM F593-02 - Stainless Steel Bolts, Hex Cap Screws, and Studs.
8) ASTM F594-09 - Stainless Steel Nuts.
9) ASTM F606-09 - Standard Test Method for Determining the Mechanical Properties of Externally and Internally Threaded Fasteners, Washers, and Rivets.
10) ASTM F2329-11 - Standard Specification for Zinc Coating, Hot-Dip, Requirements for Application to Carbon and Alloy Steel Bolts, Screws, Washers, Nuts, and Special Threaded Fasteners.
11) OSHA - All OSHA Safety Regulations, current edition.
12) American with Disabilities Act Accessibility Guidelines (ADAAG)

9.0. SUBMITTALS
The Contractor shall submit all the necessary items listed in this section to the Engineer a minimum of 15 days prior to the pre-construction meeting. Any delays will count towards the construction days.
9.1. Equivalent or Substitute Materials
The Contractor shall supply the materials specified in these Drawings and Specifications. Any proposed changes in the materials by the Contractor must be submitted to the Engineer for review and approval prior to the ordering or installation of materials by the Contractor. The written request to the Engineer must state the justification for the substitution, include copies of these Technical Specifications and datasheets of the proposed materials, and include a detailed side-by-side comparison of the specified materials versus the proposed materials indicating how the proposed materials meet or exceed the specified materials. The intent of allowing Equivalent or Substitute Materials is to use identical or similar materials produced by the specified or different manufacturer or supplier that will be available at the time of installation. A substitution will not be considered for a change in the type of material, different product, change in configuration or any other change not in conformance with the specified product. A proposed change in materials will also not be considered if the Project is required to be re-designed or permits need to be modified to accommodate the proposed change in materials. The Engineer has the ultimate authority to approve or deny the equivalent and substitute materials proposed by the Contractor. In addition, the Engineer also has the authority to change materials as the Engineer deems appropriate. The Engineer's decision to approve or deny substitute materials is final.
9.2. Construction Materials Certification
The Contractor shall submit the manufacturer's information verifying the materials (i.e., timber, connectors, fasteners, etc.) meets these Specifications. The Shop Drawings shall be submitted by the Contractor for the Engineer's review and approval prior to ordering the materials by the Contractor. Prior to the installation of any CCA treated piles, pile caps, joists and decking, and as a condition of its acceptance, the Contractor shall furnish the Engineer with a Manufacturer's Certificate of Quality and Compliance with specifications for materials, water-borne preservatives, and method of pressure treatment, as set forth in these Specifications.
9.3. Construction Schedule and Sequencing Plan
The Contractor shall submit a construction schedule and sequencing plan to the Engineer and Owner no less than 14 days prior to the pre-construction meeting. The schedule may be refined periodically but shall be submitted to the Engineer for review. The sequencing plan shall layout the order of construction and shall reference the construction schedule.

10.0. PRE-CONSTRUCTION MEETING
Prior to commencement of construction, the Contractor shall meet on site with the Engineer and Owner to verify the construction access, trailer location, construction fence and erosion control, pre-construction conditions of the site (photographs will be taken by the Engineer), and other issues related to site features and construction. The Contractor shall stake out the location of the structure including the elevation profile along the bottom of the joists to show the relative height of the structure to the existing grade. Slight modifications to the height may be required.
11.0. SITE VISITS
The Engineer will make periodic site visits to address specific issues or questions, to observe and monitor construction progress, review the site for general compliance with the Drawings and Specifications and permits, and at key construction milestones. These key construction milestones shall be identified in

the Construction Schedule provided by the Contractor, and periodically updated, if necessary.

As a minimum, the Engineer shall conduct site visits during the following key construction stages:

- i. Initial site preparation and foundation installation.
- ii. Structural framing installation.
- iii. Decking installation.
- iv. Installation of handrails and guardrails.
- v. Final walkthrough and inspection.

More than one milestone could be verified during one site visit at the Engineers discretion.

The Contractor is required to provide the Engineer with a minimum of five (5) business days' notice prior to the commencement of each task listed above to facilitate scheduling of site attendance.

The Contractor is required to provide the engineer weekly monitoring reports including photographs.

12.0. EROSION CONTROL MEASURES, AND STAGING AREAS:

12.1. The Owner shall designate access, staging areas and work limits during the preconstruction meeting prior to commencement.

12.2. The Contractor shall implement and maintain erosion control measures as necessary to comply with all federal, state, and local regulations. Erosion control measures include but are not limited to mulching, hay bales, and silt fence. If a violation occurs, the Contractor shall be wholly responsible for all damage and all costs which may result including legal fees, construction costs, and fines.

12.3. The location and configuration of the Erosion Control Measures may be required to be adjusted due to conditions existing at the time of construction. However, at no time shall the effectiveness of these measures be compromised. The Contractor shall coordinate with the Engineer or impact existing vegetation. The Contractor shall maintain the Engineer on any modifications. Erosion Control Measures shall be maintained for the entire duration of the project or until sodding, grass and/or vegetation is established, if required by these Specifications.

12.4. Silt fences and filter barriers shall be inspected immediately after each rainfall and at least daily during prolonged rainfall. Any repairs required shall be made immediately. The site Contractor is responsible for removing the temporary erosion and sediment control devices after completion of construction.

12.5. The Contractor shall comply with OSHA's regulations regarding restrooms facilities.

13.0. DUNE WALKOVER

Pressure treated timber meeting the specifications listed herein may be available through PRIDE Enterprises (223 Morrison Road, Brandon, FL, 33511, 813-324-8700)

13.1. Timber Piles

All timber piles shall be Southern Pine No. 1 Grade lumber (or better), pressure treated with ground contact Chromated-Copper-Arsenate (CCA) water-borne preservative, 2.5 (or greater) pounds dry chemical retention per cubic foot in accordance with AWWPA Standard U1, to the requirements of UC5C. The timber piles shall be new, in one piece, straight from butt to tip, of approved timber containing no evidence of decay, and free from short knots, large knots or reverse bends. The piles shall also be installed to the minimum penetration depth shown on the Drawings. Extreme care is required to plumb and space

the piles according to the dimensions indicated on the Drawings. The Contractor will order and install piles for true length.

13.2. Pile Installation

Pile installation equipment shall have a capacity at least equal to the manufacturer's recommendation for the total weight of pile, type of pile, and character of subsurface material to be encountered. The Contractor shall select the size and type of equipment, which will install the piles to the specified bearing capacity or minimum tip elevation without damaging the pile. The Contractor shall install all piles to the depth of minimum piles tip elevation indicated on these Drawings. The Contractor may install piles using a combination of augering and/or jacking, but driving is not allowed.

All piles shall be installed with a variation of not more than 0.06 inch per foot of pile length from the vertical. Butts shall be within two (2) inches of the location indicated. The Contractor shall check all piles for heave and if so, shall be re-installed to the required tip elevation. Piles damaged, mislocated, or installed out of alignment shall be replaced. Pile splicing is not permitted.

Cant hooks shall not be used in handling treated piles. Cutting of piles shall be with pneumatic tools, sawing, or other means approved by the Engineer. Holes for bolts shall be of a size that will ensure driving fit. After piles have been installed and cut off, all cut, bored, and dapped surfaces shall be field treated with preservative as specified in AWWPA M4.

13.3. Timber Pile Caps

Timber pile caps shall be the size specified on the Drawings and shall be pressure treated Southern Pine No. 2 Grade lumber, or better. The lumber shall be pressure treated to a minimum retention (pounds per cubic foot) of 0.60 CCA in accordance with the AWWPA Standard U1, to the requirements of UC4B for saltwater splash. The timber shall be new, in one piece, straight from end to end, of approved timber containing no evidence of decay, and free from short knots, large knots or reverse bends. The Contractor shall accomplish fastening using 316 stainless steel fasteners with the sizes, dimensions, and spacing's shown on these Drawings.

13.4. Timber Joists

Joists shall be the size specified on the Drawings and shall be pressure treated Southern Pine No. 2 Grade lumber. The lumber shall be pressure treated to a minimum retention (pounds per cubic foot) of 0.60 CCA in accordance with the AWWPA Standard U1, to the requirements of UC4B for saltwater splash. Scab boards joists shall be fastened as shown on the Drawings and shall only occur over pile caps as indicated in the Drawings. The timber shall be new, in one piece, straight from end to end, of approved timber containing no evidence of decay, and free from short knots, large knots or reverse bends. The Contractor shall accomplish fastening using 316 stainless steel fasteners with the sizes, dimensions, and spacing's shown on these Drawings.

13.5. Timber Cross Braces

Timber Cross Braces shall be required on all piles where the distance between grade and the bottom of the pile cap is 3 feet or greater.

Braces shall be the size specified on the Drawings and shall be pressure treated Southern Pine No. 1 Grade lumber. The lumber shall be pressure treated to a minimum retention (pounds per cubic foot) of 0.60 CCA in accordance with the AWWPA Standard U1, to the requirements of UC4B for saltwater splash. Scab boards joists shall be fastened as shown on the Drawings and shall only occur over pile caps as indicated in the Drawings. The timber shall be new, in one piece, straight from end to end, of approved timber containing no evidence of decay, and free from short knots, large knots or reverse bends. The Contractor

shall accomplish fastening using 316 stainless steel fasteners with the sizes, dimensions, and spacing's shown on these Drawings.

Gap between braces to be filled with a solid piece lumber with at least the same characteristic of the Timber Piles as described in 13.1. Packing blocks to be placed and fasten as shown in the details of the Drawings.

13.6. Connections

Connections between the timber pile caps and piles, and timber joists and piles shall be as shown in these Drawings. Carriage bolts shall be used for the handrail with the head on the inside along the walkway and nuts/washers installed on the outside of the rail and countersunk. Stainless steel threaded rod cut to appropriate length and double-nutted may be substituted for bolts as necessary - except for the carriage bolts as specified. However, all bolt ends shall be cut off to within 2 threads of the nut. The diameter of all fasteners shall not be decreased from that as indicated on these Drawings and Specifications. All hardware including, but not limited to, nails, screws, bolts, nuts, and washers shall be 316 Stainless Steel.

13.7. Decking

Decking shall be the size specified on the Drawings and shall be pressure treated Southern Pine No. 1 Prime Grade lumber with S4S surface texture. The lumber shall be pressure treated to a minimum retention (pounds per cubic foot) of 0.25 CCA in accordance with AWWPA Standard U1, to the requirements of UC4B for saltwater splash. The timber shall be new, in one piece, straight from end to end, containing no evidence of decay, and free from short knots, large knots or reverse bends. Deck panels shall be fastened with stainless steel wood screws as shown in the Drawings. The Contractor shall be responsible for verifying the dimensions of the decking prior to installation. If the width of the boards is between 5-1/2" and 5-5/8", the spacing between boards shall be 1/8". If the width of the boards is 5-3/4", boards shall be butted together. If the width of boards is greater than 5-3/4", boards must be given time to dry prior to installation. The boards shall be placed "cuping down"

13.8. Handrails

Handrails to be wood and composite wood as shown on the Drawings.

13.7.1 Wood segments: The handrail cap shall be the size specified on the Drawings and shall be pressure treated Southern Pine No. 2 Prime Grade lumber -. The handrail rails shall be the size specified on the Drawings and shall be pressure treated Southern Pine No. 1 Grade lumber with S4S surface texture. The lumber shall be pressure treated to a minimum retention (pounds per cubic foot) of 0.60 CCA in accordance with AWWPA Standard U1, to the requirements of UC4B for saltwater splash. The timber shall be new, in one piece, straight from end to end, of approved timber containing no evidence of decay, and free from short knots, large knots or reverse bends. Timber shall be fastened with 3 1/2" stainless steel wood screws as shown in the Drawings. The handrail cap and rails shall be attached "cup down". The Contractor shall be responsible for verifying the dimensions of the handrail cap and rails prior to installation.

13.7.2 Composite Wood:

Product: Lumber Weardeck™ Decking, 1/2" x 10", color: Sand.

Application: To be installed on top of the handrail cap as detailed in the Drawings.

Finish: Final edges must be rounded or chamfered for a finished appearance in accordance with manufacturer recommendations.

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Yubert Y. Bacon, P.E.
 Florida P.E. Number 79026
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THE SKETCHES ARE FOR BIDDING PURPOSES ONLY AND NOT FOR CONSTRUCTION

Composite Wood Fasteners: Two rows of screws at 16" on center. Use 1.5" stainless steel composite screws as recommended by the manufacturer.

Alternative Products: Alternative composite wood products may be considered in accordance with Section 9.1 "Equivalent or Substitute Materials". The alternatives shall be equal or better than specified in these Specifications including Cool Technology, demonstrate stain and mold resistance, and withstand both saltwater and freshwater exposure as a minimum requirement.

14.0. SITE RESTORATION

The Contractor shall restore site features to pre-construction conditions or better but not limited to all roads, access points, landscape features, elevations, and natural vegetation damaged or destroyed during construction operations which are not specifically allowed under these Drawings and Specifications. During the substantial completion site visit, the Engineer shall document any and all items to be restored, repaired, or replaced, and a written list of these items to be corrected shall be provided to the Contractor. Based on the list, the Contractor shall complete all such corrections at the Contractor's expense. The Engineer will conduct a follow-up site visit to determine if all items were corrected and shall be a condition of final acceptance.

15.0. PARKING FACILITIES

15.1. Grading

Existing vegetation within the footprint of the proposed parking area shall be removed as necessary. Excavation and/or fill material shall be placed to ensure a level ground with a maximum 0.1-inch drop per linear foot directed toward the seaward edge of the parking lot. The ground shall be compacted to 95% of its maximum dry density.

15.2. Materials

Well-graded aggregate 3/4-inch crushed stone or natural gravel (ASTM D2940 for base course or equivalent).

15.3. Placement

The material shall be deposited, spread, processed, and compacted on the prepared subgrade to a thickness between 8 to 10 inches. After being spread, the material shall be watered, mixed, shaped to the required section and compacted to 95% of its maximum dry density. The completed parking area shall be smooth, true to grade, and free from ruts, humps, depressions, and irregularities.

15.2. Wheel Stops

Concrete wheel stops shall be as indicated in the drawings or similar and shall be placed as indicated. The Wheel Stop length shall be 6' long and at least 4.5" tall. Wheel stops shall be attached to the ground with rebar.

16.0. POST AND ROPE

16.1. Posts

All posts shall be Southern Pine No. 1 Grade lumber (or better), pressure treated with ground contact Chromated-Copper-Arsenate (CCA) water-borne preservative, 0.80 (or greater) pounds dry chemical retention per cubic foot in accordance with AWPA Standard U1, to the requirements of UC4B. The timber posts shall be new, in one piece, straight from butt to tip, of approved timber containing no evidence of decay, and free from short knots, large knots or

reverse bends. The piles shall also be installed to the minimum penetration depth shown on the Drawings.

16.2. Rope

Rope shall be 1-1/2" non dyed jute rope. Location, heights and lengths are shown on the Drawings.

17.0. TRASH HOLDER

All Lumber shall be Southern Pine No. 2 Grade lumber (or better), pressure treated with ground contact Chromated-Copper-Arsenate (CCA) water-borne preservative, 0.80 (or greater) pounds dry chemical retention per cubic foot in accordance with AWPA Standard U1, to the requirements of UC4B. The lumber shall be new, in one piece, straight from butt to tip, of approved timber containing no evidence of decay, and free from short knots, large knots or reverse bends. The piles shall also be installed to the minimum penetration depth shown on the Drawings.

18.0. FINAL CLEAN-UP

Upon completion of the Work, the Contractor will remove and properly dispose of all debris, materials, equipment, etc. within the limits of construction and as generated by this Work.

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